



the ranch

AT EASTVALE

October 26, 2015

Approval Date:
December 9, 2015



**SUMMIT DEVELOPMENT
CORPORATION**

450 Newport Center Drive, Suite 625
Newport Beach, CA 92660-7610



the
ranch

AT EASTVALE

Specific Plan

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1.0 INTRODUCTION1-1

1.1 Background..... 1-1

1.2 Project Summary 1-1

 1.2.1 Project Location..... 1-1

 1.2.2 Site Description..... 1-5

 1.2.3 Project Description 1-5

 1.2.4 Project Objectives 1-6

1.3 Format 1-7

1.4 Relationship to the City of Eastvale General Plan..... 1-7

2.0 DEVELOPMENT STANDARDS2-1

2.1 Land Use Plan..... 2-1

 2.1.1 Allowable Land Uses 2-4

 2.1.2 Prohibited Land Uses 2-7

2.2 Project-Wide Development Plans and Standards..... 2-8

 2.2.1 Circulation Plan..... 2-13

 2.2.2 Drainage Plan 2-20

 2.2.3 Conceptual Landscape Plan 2-27

 2.2.4 Conceptual Water and Sewer Plans 2-29

 2.2.5 Conceptual Grading Plan..... 2-33

 2.2.6 Phasing Concept..... 2-36

2.3 Comprehensive Improvement Financing..... 2-37

 2.3.1 Developer Impact Fees 2-37

 2.3.2 Transportation-Related Fees 2-37

 2.3.3 Developer Financing..... 2-38

 2.3.4 Other Financing 2-38

2.4 Maintenance Plan..... 2-39

2.5 Land Use Planning and Design Standards by Planning Area 2-41

 2.5.1 Planning Area 1..... 2-41

 2.5.2 Planning Area 2..... 2-43

 2.5.3 Planning Area 3..... 2-45

 2.5.4 Planning Area 4..... 2-47

 2.5.5 Planning Area 5..... 2-49

 2.5.6 Planning Area 6..... 2-51

 2.5.7 Planning Area 7..... 2-53

 2.5.8 Planning Area 8..... 2-55

 2.5.9 Planning Area 9..... 2-57

2.6 Specific Plan Administration 2-59

 2.6.1 Interpretation..... 2-59

 2.6.2 Severability..... 2-59

 2.6.3 Approval Authority 2-59

 2.6.4 Environmental Review and Authority..... 2-60

 2.6.5 Review and Approval of Implementing Development Proposals..... 2-60

 2.6.6 Appeals..... 2-62

 2.6.7 Sunset Provision 2-62

3.0 DESIGN GUIDELINES AND STANDARDS 3-1

3.1 Architectural Theme 3-1

3.2 Architecture 3-1

 3.2.1 Industrial/Business Park Guidelines 3-1

 3.2.2 Industrial/Business Park Standards 3-3

 3.2.3 Commercial Retail Guidelines 3-5

 3.2.4 Commercial Retail Standards..... 3-6

3.3 Building Site Layout And Arrangement Standards and Guidelines 3-8

 3.3.1 Project-wide Site Layout Standards 3-8

 3.3.2 Project-wide Site Layout Guidelines..... 3-9

 3.3.3 Industrial Site Layout Guidelines 3-9

 3.3.4 Business Park Site Layout Guidelines 3-9

 3.3.5 Commercial Retail Site Layout Guidelines..... 3-9

3.4 Building Mass & Form Guidelines..... 3-10

 3.4.1 Industrial/Business Park Building Mass & Form Guidelines 3-10

 3.4.2 Commercial Retail Building Mass & Form Guidelines 3-11

3.5 Public Spaces and Pedestrian Access..... 3-13

3.6 Signs..... 3-14

3.7 Walls, Screening, and Fences..... 3-24

 3.7.1 Standards..... 3-24

 3.7.2 Guidelines 3-24

 3.7.3 Walls and Fences..... 3-25

 3.7.4 Walls and Fences Guidelines 3-25

3.8 Outside Furnishings 3-27

 3.8.1 Outside Furnishings Standards..... 3-27

 3.8.2 Outside Furnishings Guidelines..... 3-27

3.9 Trash Enclosures 3-28

 3.9.1 Trash Enclosures Standards..... 3-28

3.10 Lighting..... 3-28

 3.10.1 Standards..... 3-28

 3.10.2 Guidelines..... 3-29

3.11 ALUC Building Design Requirements..... 3-31

 3.11.1 ALUC Building Design Standards..... 3-31

4.0 LANDSCAPE GUIDELINES & STANDARDS.....4-1

4.1 General Landscape Requirements 4-1

4.2 Street Landscape Design Standards 4-4

4.3 Street and Buffer Landscape Standards..... 4-5

4.4 Parking Lot Landscaping..... 4-12

4.5 Infiltration Basin Landscaping 4-13

4.6 Planting Guidelines..... 4-15

4.7 Plant Palette..... 4-16

4.8 Irrigation Guidelines 4-19

5.0 GLOSSARY.....5-1

Section 1.0

Figure 1-1, Regional Map 1-2
 Figure 1-2, Vicinity Map 1-3
 Figure 1-3, Location Map..... 1-4

Section 2.0

Figure 2-1, Land Use Plan..... 2-2
 Figure 2-2, Circulation Plan..... 2-14
 Figure 2-3, Roadway Cross-Sections 2-16
 Figure 2-4, Non-Vehicular Circulation Plan 2-17
 Figure 2-5, Multi-Use Trail 2-18
 Figure 2-6, Conceptual Drainage Plan (Option A) 2-21
 Figure 2-7, Conceptual Drainage Plan (Option B) 2-22
 Figure 2-8, Proposed Offsite Basin 2-25
 Figure 2-9, Infiltration Basin 2-26
 Figure 2-10, Conceptual Landscape Plan 2-28
 Figure 2-11, Conceptual Water Plan 2-30
 Figure 2-12, Conceptual Sewer Plan 2-32
 Figure 2-13, Conceptual Grading Plan 2-34
 Figure 2-14, Planning Area 1 2-42
 Figure 2-15, Planning Area 2 2-44
 Figure 2-16, Planning Area 3 2-46
 Figure 2-17, Planning Area 4 2-48
 Figure 2-18, Planning Area 5 2-50
 Figure 2-19, Planning Area 6 2-52
 Figure 2-20, Planning Area 7 2-54
 Figure 2-21, Planning Area 8 2-56
 Figure 2-22, Planning Area 9 2-58

Section 3.0

Figure 3-1, Monument Sign Plan..... 3-17
 Figure 3-2, Primary Monument Sign..... 3-18
 Figure 3-3, Signage – Typical Secondary Monument..... 3-19
 Figure 3-4, Signage – Typical Major Monument..... 3-20
 Figure 3-5, Signage – Typical Minor Monument 3-21
 Figure 3-6, Signage – Typical Directional 3-22
 Figure 3-7, Signage – Typical Directory..... 3-23
 Figure 3-8, Fence and Wall Design..... 3-26

Section 4.0

Figure 4-1, Limonite Avenue Landscape Area 4-7

Figure 4-2, Limonite Avenue Northern Entry Landscape Area 4-8

Figure 4-3, Limonite Avenue Southern Entry Landscape Area 4-9

Figure 4-4, Hellman Avenue Landscape Area 4-10

Figure 4-5, Typical Streets A & B Landscape Area 4-11

Figure 4-6, Infiltration Basin Landscaping 4-14

Section 1.0

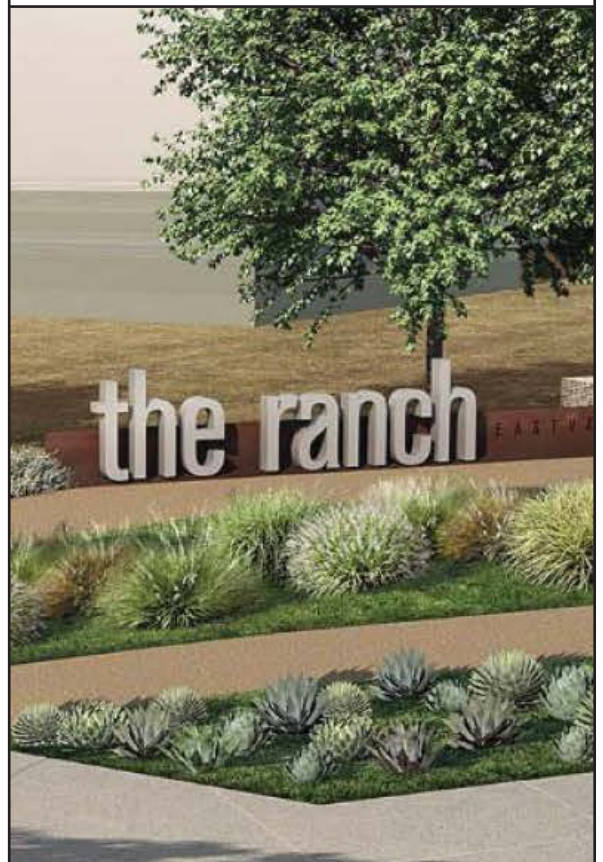
Table 1-1, Proposed Land Uses 1-6

Section 2.0

Table 2-1, Land Use Summary 2-3
Table 2-2, Allowable Land Uses 2-5
Table 2-3, Development Standards 2-11
Table 2-4, Conceptual Project Phasing 2-36
Table 2-5, Maintenance Program 2-39

Appendix A – Legal Description A

Section 1.0
Introduction



1.0 INTRODUCTION

The Ranch at Eastvale Specific Plan is a land use plan that guides future development of an area of approximately 119.9 gross acres along the western border of the City, as depicted in **Figure 1-1, Regional Map**. Approximately 44.5 acres of land is allocated for light industrial uses, approximately 45.6 acres for business park uses, and approximately 17.5 acres for commercial retail uses. This Specific Plan contains development standards and design and landscaping guidelines for the development of these uses within nine planning areas.

1.1 BACKGROUND

Prior to the incorporation of the City of Eastvale, the County of Riverside Board of Supervisors adopted The Ranch at Eastvale Specific Plan No. 358 on May 25, 2010. On October 1, 2010, the City of Eastvale (City) incorporated and The Ranch at Eastvale Specific Plan No. 358 was included within the new City boundary. The City adopted the zoning and land uses that were in existence, including The Ranch at Eastvale Specific Plan for the project site. Therefore, The Ranch at Eastvale Specific Plan establishes the zoning and land use planning document for the site.

1.2 PROJECT SUMMARY

1.2.1 Project Location

The Ranch at Eastvale Specific Plan project site is located along the western border of the City on approximately 119.9 gross acres, as depicted in Figure 1-1, Regional Map. The project site is located east of Hellman Avenue, north of American Heroes Park, west of San Bernardino County Flood Control Channel, and will be bisected by Limonite Avenue. The Riverside/San Bernardino County line forms the northern and western boundaries, as depicted in **Figure 1-2, Vicinity Map** and **Figure 1-3, Location Map**. The surrounding area includes the cities of Ontario to the north and Chino to the west, although the project boundaries are contiguous with Chino only.

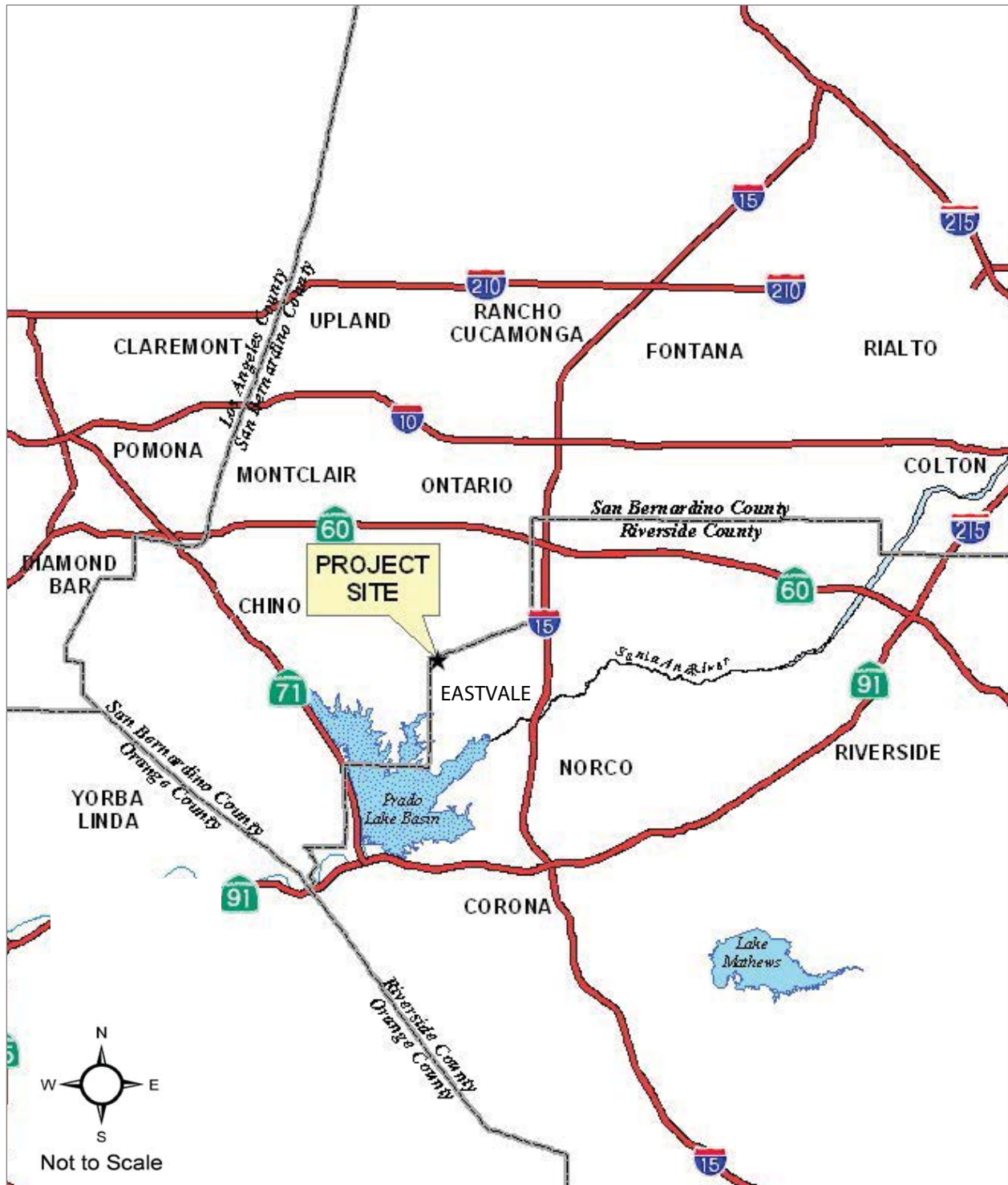


Figure 1-1
Regional Map

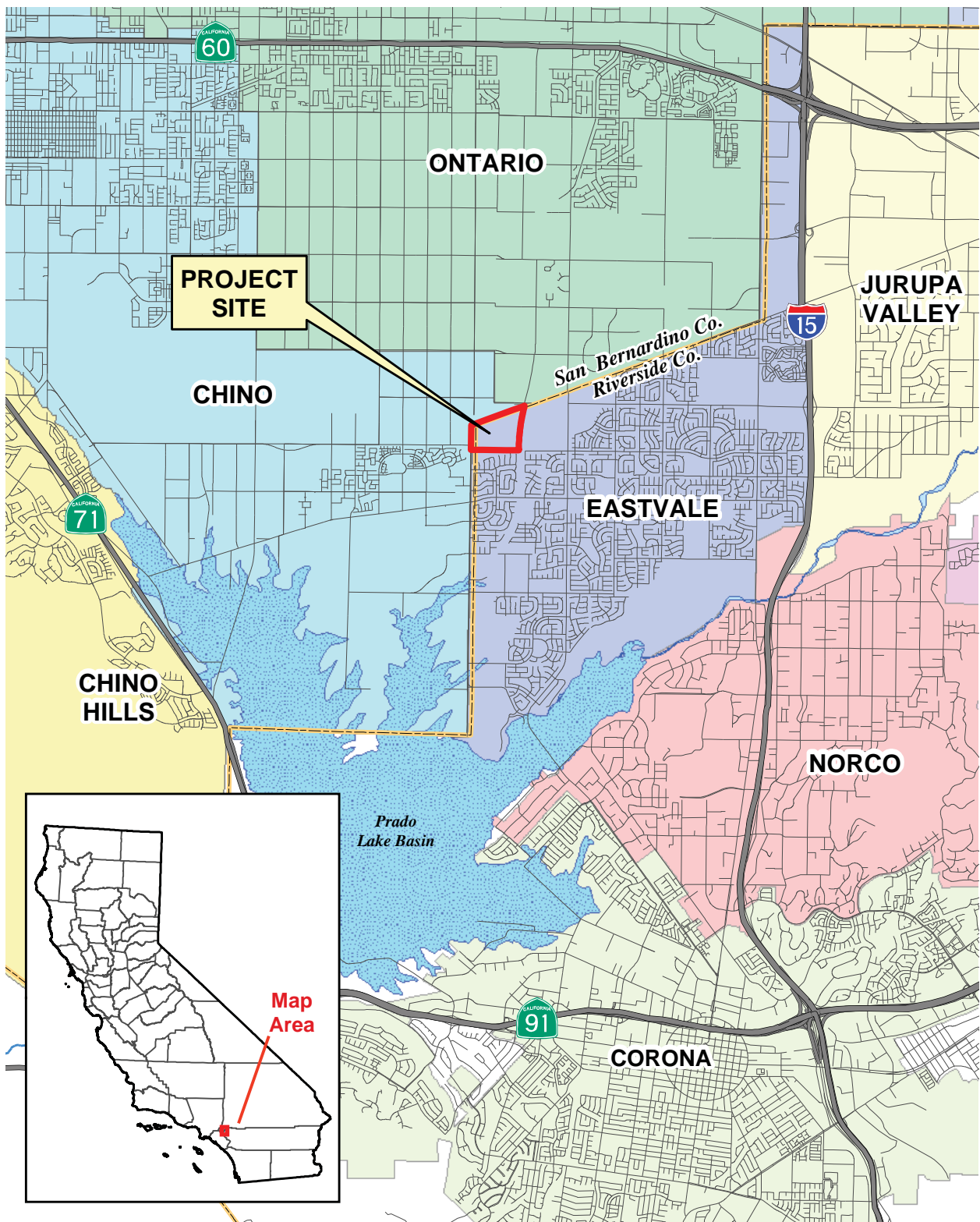


Figure 1-2
Vicinity Map

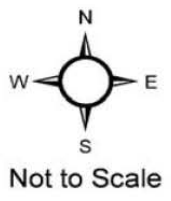


Figure 1-3
Location Map

1.2.2 Site Description

The project site consists of active agricultural uses. A dairy, including a cattle-holding area and field crops, currently occupies approximately 98 acres of the site. The remaining 22 acres of the site are used as a plant nursery and landscape materials yard. Four single-family homes, various storage buildings, and a dairy barn are located in the northern portion of the site.

The surrounding area has historically been comprised of dairy operations and agricultural uses. However, many of the dairy operations in the project vicinity have closed or moved out of the area. While the presence of dairies and former dairy operations still exist immediately to the north, east and west of the site, land use entitlements for non-agricultural uses are in process within the City of Chino.

The project site is relatively flat; sloping in a southwesterly direction with elevations ranging from approximately 630 feet to 640 feet above mean sea level.

1.2.3 Project Description

The Ranch at Eastvale Specific Plan provides the City with a comprehensive set of plans, regulations, conditions, and programs for guiding the systematic development of the project, and implements each applicable element of the City of Eastvale General Plan. The Ranch at Eastvale Specific Plan includes the land use plan, designation of planning areas, development standards, and design and landscaping guidelines to create a cohesive, high-quality, retail, business, and industrial park.

The Ranch at Eastvale Specific Plan includes approximately 45.6 acres of business park, 17.5 acres of commercial retail, and 44.5 acres of light industrial uses, dispersed among nine planning areas and 12.3 acres of roads. In total, the Specific Plan allows for the development of approximately 1.8 million square feet, as shown in **Table 1-1, Proposed Land Uses**.

**Table 1-1
Proposed Land Uses**

Planning Area	Acres	Land Use	Target Development Intensity ¹
1	36.1	Light Industrial	644,000
2	11.6	Commercial Retail	160,000
3	5.6	Business Park	120,000
4	17.7	Business Park	316,000
5	5.9	Commercial Retail	50,000
6	10.5	Business Park	88,000
7	8.4	Light Industrial	156,937
8	5.2	Business Park	122,216
9	6.6	Business Park	155,121
Roads	12.3	-	-
Total	119.9		1,812,274

¹ Preliminary concepts for the Specific Plan are based on these target development intensities. Square footage within each Planning Area is considered flexible and can be rearranged as necessary, as long as the Maximum Development Intensity (specified in Table 2-1, presented subsequently within Section 2) is not exceeded; and the project does not exceed 1,812,274 square feet in total.

1.2.4 Project Objectives

The overall intent of The Ranch at Eastvale Specific Plan is to provide high quality commercial retail, business park, and light industrial uses to serve existing and future residents of the City. To achieve this intent, the following are the basic development objectives of The Ranch at Eastvale Specific Plan:

- Provide for the development of a master-planned project consisting of a mix of commercial retail, business park, and light industrial land uses.
- Promote the development of a variety of stable employment and business uses that provide a diversity of employment opportunities for those that live and work in the community.
- Improve the relationship and ratio between jobs and housing so that residents in the surrounding community have an opportunity to live and work within the City and surrounding area.
- Provide a mix of commercial, business park, and light industrial land uses to help reduce automobile trips and travel distances, which can help improve air quality and encourage non-automobile trips.
- Encourage non-vehicular travel throughout The Ranch at Eastvale with pedestrian connections to sidewalks and walkways from one business area to another.

- Accommodate the development of a mix of land uses that are in response to the market demand and that maintain and enhance the City's fiscal viability, economic diversity, and environmental integrity.

1.3 FORMAT

The Ranch at Eastvale Specific Plan has been prepared pursuant to the State of California Government Code, Title 7, Division 1, Article 8, Section 65450 which grants authority to cities and counties to adopt Specific Plans for purposes of implementing the goals and policies of their General Plans. The Government Code states that specific plans may be adopted either by resolution or by ordinance and that the Specific Plan is required to be consistent with the General Plan. The Government Code sets forth the minimum requirements and review procedures for specific plans including the provision of a land use plan, infrastructure and public services plan, criteria and standards for development, and implementation measures. The Government Code also states that specific plans may address any other subjects, which in the judgment of the city or county are necessary or desirable for implementation of the General Plan. In addition, Specific Plans must be consistent with any Airport Land Use Plan in which they lie pursuant to Public Utilities Code 21676.

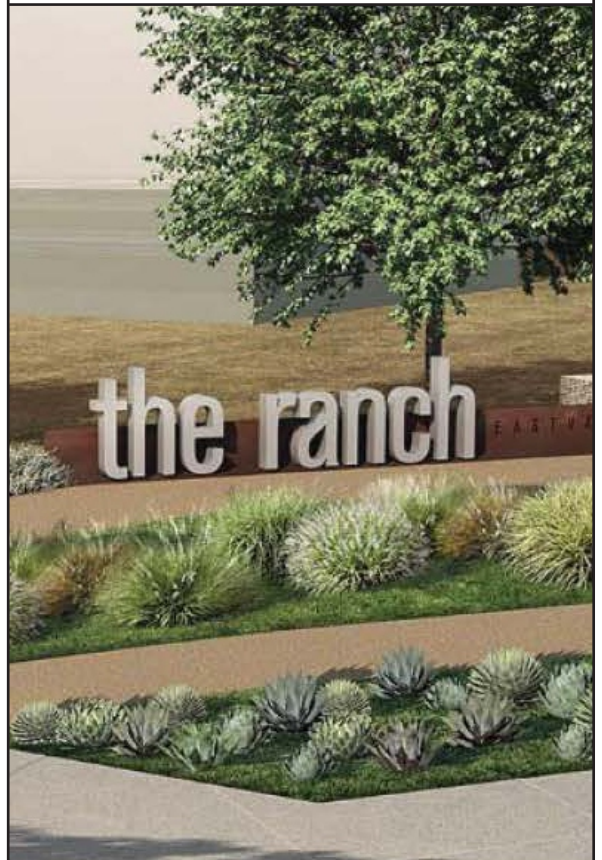
1.4 RELATIONSHIP TO THE CITY OF EASTVALE GENERAL PLAN

The City of Eastvale's General Plan was adopted by the City Council on June 13, 2012. The General Plan includes land use policies and land use maps to guide the future development of the City.

Pursuant to the General Plan, the "Light Industrial" land use designation allows for a wide variety of industrial and related uses, including assembly and light manufacturing, repair and other service facilities, warehousing, distribution centers, and supporting retail uses. Building intensity ranges from 0.25 to 0.6 Floor-Area-Ratio (FAR). The land uses permitted by The Ranch at Eastvale Specific Plan include light industrial uses consistent with the existing "Light Industrial" land use designation. Commercial retail and business park land uses within the Specific Plan are similar in scope and intensity as those permitted within the "Light Industrial" designation. A General Plan Amendment will be processed to modify the land use designations of the General Plan to match the land uses proposed by The Ranch at Eastvale Specific Plan (refer to Figure 2-1 Land Use Plan in Section 2). Since the "Light Industrial" designation section of the General Plan

supports the general type of development proposed by The Ranch at Eastvale Specific Plan, the proposed project (as amended) is considered to be consistent with the project site's General Plan land use designation.

Section 2.0
Development
Standards



2.0 DEVELOPMENT STANDARDS

For purposes of The Ranch at Eastvale Specific Plan, development standards will be interpreted as required development features of the project and development guidelines will be interpreted as recommendations. Variations from guidelines in implementing projects will be administratively approved by the Planning Department and an amendment to the Specific Plan or a minor revision shall not be required. The City Planning Director will determine the required level of review/application required for any variations from development standards in implementing projects, in accordance with Section 2.6.

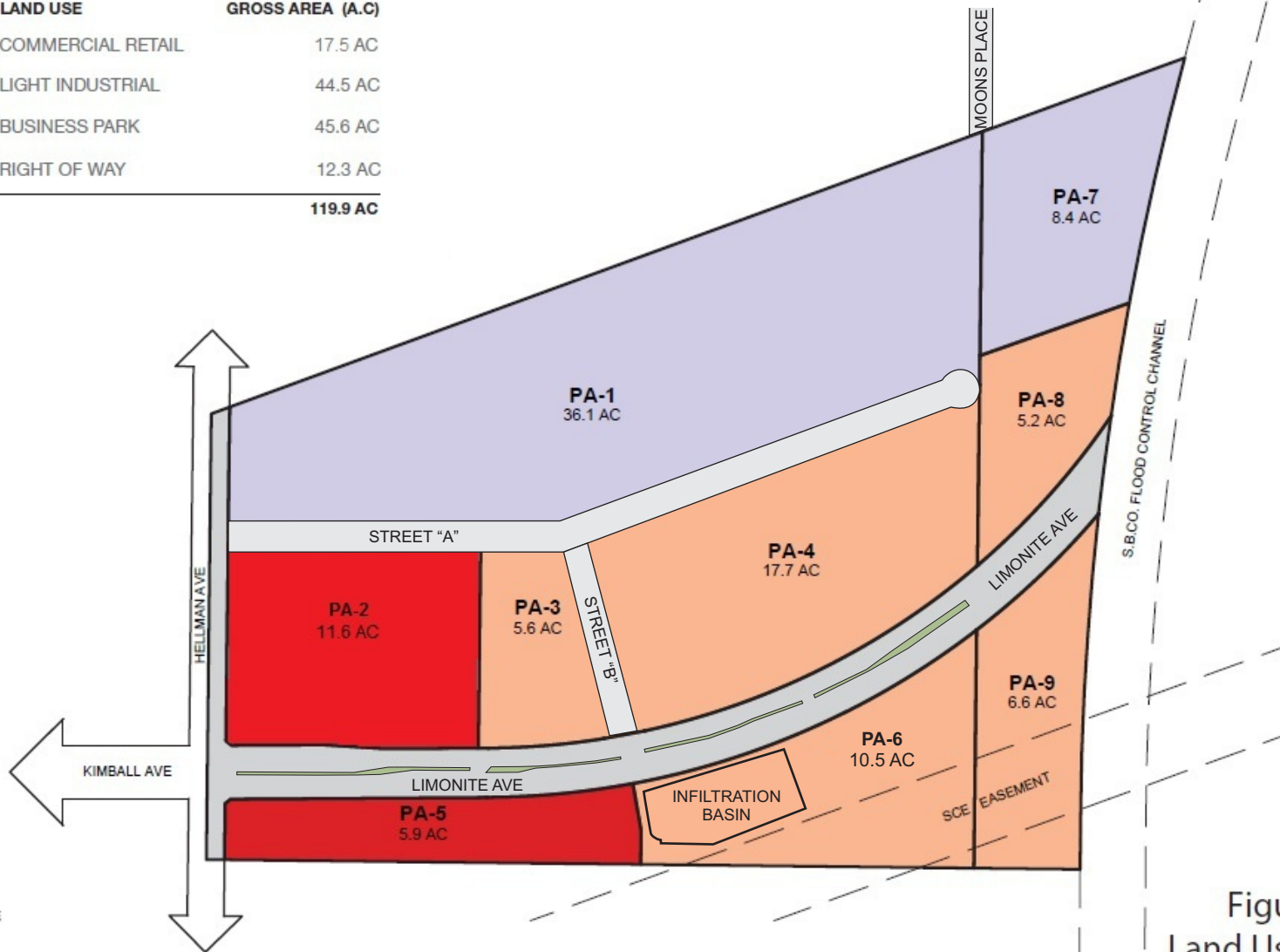
2.1 Land Use Plan

The Ranch at Eastvale Specific Plan is designed to create a contemporary mix of retail, business park, and light industrial uses that will appeal to residents and business owners to meet a variety of needs. Around the perimeter of this business center, the historic heritage of the area will be celebrated through the re-introduction of plantings along the adjacent streets of Limonite Avenue and Hellman Avenue. The main entry into the business center will come from Limonite Avenue.

The Ranch at Eastvale Specific Plan has been divided into nine planning areas with three different land uses as shown on **Figure 2-1, Land Use Plan** and **Table 2-1, Land Use Summary**. There are two commercial retail planning areas, totaling approximately 17.5 acres; five business park planning areas, totaling approximately 45.6 acres, and two light industrial planning areas, totaling approximately 44.5 acres.

LEGEND

P.A.	LAND USE	GROSS AREA (A.C)
	COMMERCIAL RETAIL	17.5 AC
	LIGHT INDUSTRIAL	44.5 AC
	BUSINESS PARK	45.6 AC
	RIGHT OF WAY	12.3 AC
TOTAL		119.9 AC



Not to Scale

Figure 2-1
Land Use Plan

**Table 2-1
Land Use Summary**

Planning Area	Acres ¹	Land Use	Target Development Intensity ²	Maximum Development Intensity
1	36.1	Light Industrial	644,000	800,000
2	11.6	Commercial Retail	160,000	170,000
3	5.6	Business Park	120,000	140,000
4	17.7	Business Park	316,000	411,835
5	5.9	Commercial Retail	50,000	60,000
6	10.5	Business Park	88,000	150,000
7	8.4	Light Industrial	156,937	156,937
8	5.2	Business Park	122,216	135,907
9	6.6	Business Park	155,121	155,121
Roads	12.3	-	-	-
TOTAL	119.9		1,812,274	N/A³

¹ Acreages expressed here and throughout this Specific Plan document are approximate.

² Preliminary concepts for the Specific Plan are based on these target development intensities. Square footage within each planning area is considered flexible and can be rearranged as necessary, as long as the Maximum Development Intensity is not exceeded; and the project does not exceed 1,812,274 square feet in total.

³ The Maximum Development Intensity is provided for illustrative purposes only, to demonstrate the allowable range of square footage within each planning area. Under no circumstances would every planning area develop at its Maximum Development Intensity.

The Specific Plan is meant to provide flexibility between planning areas. As such, square footages can be increased beyond the Target Development Intensity as long as the adjustments do not exceed the Maximum Development Intensity per planning area as shown on Table 2-1; and the overall project does not exceed 1,812,274 square feet. Any request to modify square footages that would result in a decrease in adjacent landowner's Target Development Intensity, shall require a written acknowledgement from the remaining property owners. Any request to increase Target Development Intensity shall be reviewed through the Substantial Conformance process.

2.1.1 Allowable Land Uses

The Ranch at Eastvale Specific Plan is designed to provide a wide range of allowable land uses as identified in **Table 2-2, Allowable Land Uses**, to respond to the market at the time development occurs. Please also refer to Section 5.0, Glossary.

Commercial Retail

Commercial retail land uses are intended to provide neighborhood and community commercial uses to serve current and future residents of the outlying area and the businesses within The Ranch at Eastvale Specific Plan. Allowable uses within the commercial retail designation include those uses derived from commercial uses found in the City of Eastvale Municipal Zoning Code (EMC) and set forth in Table 2-2. Uses include, but are not limited to restaurants, shops, drug stores, markets, gasoline sales, hotel, and other commercial uses that would serve the needs of the local residents, public uses, private businesses and office uses. Each commercial retail planning area's building intensity will not exceed a 0.35 Floor Area Ratio (FAR).

Light Industrial

The light industrial designation allows for a variety of light industrial and related uses, including, but not limited to: warehouse/distribution, manufacturing, storage, and minor auto service and repair. Each planning area's building intensity will not exceed a 0.60 FAR. Land uses allowable within the Light Industrial designation are set forth in Table 2-2, below.

Business Park

The business park designation allows for a variety of business park, light industrial, and related uses, as set forth in Table 2-2, below including, but not limited to: warehouse/distribution, manufacturing, research and development, technology centers, medical offices, hotels, and administrative and support offices. Each planning area's building intensity will not exceed a 0.60 FAR.

**Table 2-2
Allowable Land Uses**

Land Uses	Commercial Retail	Business Park	Light Industrial
Office Uses			
Administrative and professional offices or services (e.g., medical, doctors, physical therapy, chiropractic, financial planners, banks, insurance, real estate, architect) ¹	P ¹	P ¹	X
Laboratories (e.g., film, medical, dental, R & D). ¹ Please refer to Section 5.0, Glossary.	P ¹	P ¹	P ¹
Vehicle Related Uses			
An alternative fuel, truck fueling station (the sale of ancillary goods such as food, alcohol, drinks, and merchandise is not permitted)	X	X	C
Automobile or boat parts and supplies stores (new and used)	P	P	X
Automobile service and repair, major (e.g., bodywork, engine and drive train, painting)	C	C	C
Automobile service and repair, minor (e.g., oil change, tires, tune-ups, stereo installation)	C	C	P
Vehicle (e.g., car, RV, truck, boat) sales and leasing (new and used)	C	C	C
Vehicle (e.g., car, RV, truck, boat) auctions (new and used) ¹	X	X	P ¹
Vehicle (e.g., car, RV, truck, boat) rental	C	C	C
Car washes	C	C	C
Automobile service stations, not including concurrent sale of beer and wine	P	P	P
Automobile service stations, with concurrent sale of beer and wine	C	C	C
Industrial Uses			
Construction equipment sales, repair, and incidental retail sale of spare parts (operational shall occur within an enclosed building)	X	P	P
Contractors (e.g., construction, plumbing, janitorial, drywall, communications, HVAC, electrical and engineering), with storage enclosed within a building.	P	P	P
Contractors (e.g., construction, plumbing, janitorial, drywall, communications, HVAC, electrical and engineering), with storage outside of a building.	C	C	P
Manufacturing, light. Please refer to Section 5.0, Glossary.	X	P	P
Manufacturing, heavy. Please refer to Section 5.0, Glossary.	X	C	P
Mini storage, with or without a caretakers unit	C	P	P
Warehousing/distribution. Please refer to Section 5.0, Glossary.	X	P	P

Land Uses	Commercial Retail	Business Park	Light Industrial
Wholesaling (these activities shall occur within an enclosed building and typically do not result in large amounts of noise, dust, or smoke)	X	P	P
Eating/Drink Establishments²			
Bars/cocktail lounges/night clubs ¹	C ¹	C ¹	X
Catering Services/Kitchens ¹	P ¹	P ¹	X
Restaurants and other eating establishments, no drive-through ¹	P ¹	P ¹	X
Restaurants and other eating establishments, with drive-through ¹	C ¹	C ¹	X
Entertainment²			
Cigar, hookah, cigarette, tobacco, and electronic cigarette sales and lounges ¹	C ¹	C ¹	X
Indoor Fitness and Sports Facility less than 20,000 square feet: Predominantly participant sports and health activities conducted entirely within an enclosed building. Typical uses include indoor racquetball courts, indoor climbing facilities, soccer arenas, athletic clubs, and health clubs. ¹	P ¹	P ¹	P ¹
Indoor Fitness and Sports Facility larger than 20,000 square feet: Predominantly participant sports and health activities conducted entirely within an enclosed building. Typical uses include indoor racquetball courts, indoor climbing facilities, soccer arenas, athletic clubs, and health clubs. ¹	C ¹	C ¹	C ¹
Indoor Amusement/Entertainment facility: Establishments providing indoor amusement and entertainment services as primary uses for a fee or admission charge, including bowling alleys, billiard parlors, ice/roller skating rinks, dance halls and ballrooms and electronic game arcades. ¹	C ¹	C ¹	X
Medical			
Medical offices (e.g., doctors, dentists, chiropractic, physical therapy, outpatient surgery center, acupuncture/acupressure)	P	P	X
Personal Services²			
Miscellaneous services, such as barber/beauty/nail shops, day spas/reflexology, massage, hair salons, dry cleaners, laundromats (self-serve), banks and financial institutions, photography or portrait studio, tailor/shoe repair, miscellaneous repairs/service (e.g., clocks, jewelry, vacuums, electronic equipment) etc., which are typically used by the average person. ²	P	P	X
Tattoo parlor	C	C	X

Land Uses	Commercial Retail	Business Park	Light Industrial
Retail Uses²			
Alcohol sales, on- or off-site (as stand-alone store or as ancillary use to any other business)	C	C	X
Convenience stores/market	C	C	X
Copy centers/postal service centers/blueprinting	P	P	P
Equipment rental/sales/service yard	X	C	P
Farmers Markets	C	C	X
General retail sales (e.g., clothing, department stores, electronics, art, books, discount store, drug stores, flower/gift shops, home improvement, and supermarkets) inside stores that are less than 20,000 square feet. ²	P	P	X
General retail sales (e.g., clothing, department stores, electronics, art, books, discount store, drug stores, flower/gift shops, home improvement, and supermarkets) 20,000 square feet or larger, and/or with outdoor display/storage. ¹	C ¹	C ¹	X
Hotels	P	P	X
Nurseries/garden supplies	P	P	X
Office equipment/supplies	X	P	P
Animal Hospitals	C	C	C
Veterinary services, pet grooming (no boarding)	P	P	X
Public/Quasi-Public Uses			
Religious institutions in Planning Areas 5, 6, and 9 ¹	C ¹	C ¹	C ¹
Religious institutions in Planning Areas 1, 2, 3, 4, 7 and 8	X	X	X
Schools, business and professional, including art, barber, beauty, dance, drama, music, and swimming ¹	P ¹	P ¹	X
Wireless telecommunication facilities (subject to Development Plan Review per Eastvale Zoning Code)	P	P	P

P = Permitted, C = Conditionally Permitted, X = Prohibited

¹ This use requires additional review by the Riverside County Airport Land Use Commission pursuant to the Chino Airport Land Use Compatibility Plan if the use would be considered to have an occupancy level greater than one person per 100 square feet (minimum square feet per occupant less than 100) pursuant to ALUC intensity calculation criteria.

² Any use with a drive through requires a Conditional Use Permit.

2.1.2 Prohibited Land Uses

The following uses have been determined to be inappropriate in this Specific Plan and are prohibited.

- Abattoir (slaughterhouse)
- Auto wrecking
- Check-cashing and payday advance

- Junk or salvage yard
- Hazardous materials processing, treatment, or storage
- Kindergarten through 12th grade schools
- Medical Marijuana Dispensary
- Motel (temporary lodging with exterior room doors and halls)
- Outdoor manufacturing, processing or similar outdoor activities
- Recycling facilities
- Residential uses
- Single-room occupancy units
- Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
- Any use which would cause sunlight to be reflected toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport.
- Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which otherwise may affect safe air navigation within the area.
- Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

2.2 Project-Wide Development Standards and Plans

The following sections illustrate and describe the project-wide development plans and standards as they relate to land use, circulation, drainage systems, landscaping, water and sewer systems, phasing, grading, and comprehensive maintenance for the entire Specific Plan area. The project-wide development standards have been prepared to complement the standards applicable to each individual planning area. The project-wide standards such as maximum building sizes, setbacks and wall heights are set forth below and in **Table 2-3, Development Standards**.

Project-wide Development Standards

- 1) The Ranch at Eastvale Specific Plan shall be developed in general conformance with the Land Use Plan (Figure 2-1, Land Use Plan). General permitted uses will include Commercial Retail, Business Park, and Light

- Industrial, as delineated in Table 2-2, Allowable Land Uses, for the individual planning areas.
- 2) Planning areas may be developed with total square footages that are above or below the planning areas' identified Target Development Intensity (identified in Table 2-1) provided the Maximum Development Intensity (identified in Table 2-1) is not exceeded; and the project does not exceed 1,812,274 square feet in total. Transfer of density between planning areas shall be in compliance with Section 2.6.5 of the Specific Plan.
 - 3) Standards and guidelines relating to signs, landscaping, parking, and other related design elements will conform to the City of Eastvale Municipal Zoning Code effective at the time of development permit submittal(s), unless otherwise addressed by the guidelines and standards of The Ranch at Eastvale Specific Plan.
 - 4) Outdoor amenities shall be provided. Specific Plan land uses shall provide outdoor employee break areas to encourage the use of outdoor spaces for relaxation, socializing and informal gatherings. These areas shall be connected to main proximate building entries/exits via defined landscaped paths. Employee break areas will include enhanced paving, seat walls, trash receptacles, bike racks, tables and chairs. All outdoor break areas will include some form of shading, either from trees, trellises or umbrellas.
 - 5) Stormwater management devices shall be designed to be both functional and aesthetically pleasing. The use of naturalistic, flowing topography with rounded forms is preferred over rectangular shapes and sharp edges, while the use of cobble and mixed ornamental grasses will help to tie these drainage structures into the surrounding landscaping while providing the required filtering mechanisms. Fine textured organic mulch may be used within drainage areas and basins for temporary cover during plant establishment only and is discouraged for long-term use due to its tendency to wash into low-lying areas and clog drainage structures. Cobble will be used as a dispersion device at roof drains and outflow areas to minimize erosion and will also be used around drainage structures to help filter out larger organic particles. Tree groupings and boulders around the perimeter of these drainage areas will provide vertical interest and further reinforce the naturalistic appearance that is desired.
 - 6) All project lighting shall be in conformance with applicable City of Eastvale lighting standards effective at the time of development permit submittal(s). Site-specific development proposals shall meet the following standards:

- a) Parking lots, driveways, trash enclosures/areas, and mailboxes shall be illuminated with a minimum of 1 foot-candle and an average not to exceed 4 foot-candles.
 - b) Pedestrian walkways shall be illuminated with a minimum of ½ foot-candle and an average not to exceed 2 foot-candles.
 - c) Entry and exterior doors shall be illuminated with a minimum of 1 foot-candle measured within a 5 foot radius of each side of the door at ground level.
- 7) Development of the property shall be in accordance with the mandatory requirements of all the City of Eastvale ordinances and state laws; and shall conform substantially to The Ranch at Eastvale Specific Plan as filed in the office of the City of Eastvale Planning Department, unless otherwise amended.
 - 8) For the security and safety of future users of the facilities constructed within the Specific Plan area, the developer shall consider the following design concepts within each individual development proposal:
 - a) Circulation for pedestrians, vehicles, and police patrols.
 - b) Lighting of streets, walkways, and bikeways.
 - c) Visibility of doors and windows from the street and between buildings, where practical.
 - d) Fencing of appropriate heights and materials.
 - 9) The following crime prevention measures shall also be considered during the individual site and building layout design, in addition to those above, for the security and safety of future occupants of light industrial, business park, and commercial space:
 - a) Addresses which light automatically at night.
 - b) Installation of burglar alarms in all commercial buildings.
 - c) Special lighting requirements on any buildings that are grouped in a way that individual addresses are difficult to read.
 - 10) Each planning area shall comply with applicable City of Eastvale recycling requirements.
 - 11) Each proposed development shall contain enclosures for collection of recyclable materials.
 - 12) A minimum of 13.22 acres of open space area as defined by Riverside County Countywide Policy 4.2.4 of the 2004 Riverside County Airport Land Use Compatibility Plan shall be provided on site of which not less than 6.04 acres shall be located within the portion of the site within Compatibility Zone B1.

Such areas shall have a minimum width of 75 feet and a minimum length of 300 feet. These areas shall not be obstructed by walls, trash enclosures, large trees or poles (light poles or others) greater than 4 inches in diameter at a height greater than 4 feet, or overhead wires. Trees or plants less than 4 inches in diameter at a height of 4 feet would be allowed within the designated area.

- 13) Any properties located within a designated Agricultural Preserve Area will be limited to agriculture and related uses as interim uses until such time as the Agricultural Preserve Area has been diminished or disestablished and any corresponding Williamson Act contract is no longer in effect.

**Table 2-3
Development Standards**

Standards	Commercial Retail	Business Park	Light Industrial			
Site Specifications						
Minimum Lot Size	No Minimum	10,000 s.f.	20,000 s.f.			
Minimum Lot Width	No Minimum	75 feet	100 feet			
Maximum Building Size	No Maximum	235,000 s.f.	300,000 s.f.			
Minimum Landscape Coverage	15%	10%	10%			
Building and Parking Area Street Setbacks						
	Min. Bldg.	Min. Parking	Min. Bldg.	Min. Parking	Min. Bldg.	Min. Parking
Limonite Avenue frontage	19 ft.	10 ft.	25 ft.	10 ft.	25 ft.	10 ft.
Hellman Avenue frontage	12 ft.	10 ft.	25 ft.	10 ft.	25 ft.	10 ft.
A & B Street frontages	14 ft.	9 ft.	14 ft.	9 ft.	25 ft.	9 ft.
Planning Area Setbacks						
Where the front, side, or rear yard of any planning area adjoins a property designated for residential uses, the minimum building setback from the property line shall be:						
Front	25 feet	25 feet	50 feet			
Side	25 feet	25 feet	50 feet			
Rear	25 feet	25 feet	50 feet			
Where the front, side or rear yard of any planning area adjoins a property designated for other than residential uses, the minimum building setback measured from the front, side, and rear property line shall be:						
Front	No Minimum	No Minimum	No Minimum			
Side	No Minimum	No Minimum	10 feet for the two side lot areas combined			
Rear	No Minimum	No Minimum	15 feet			

**Table 2-3
Development Standards**

Standards	Commercial Retail	Business Park	Light Industrial
Landscaped Setbacks			
Landscape setbacks accommodate landscaping, fences, berms, walls, monument signs, and similar elements. Setbacks from street frontages shall be appropriately landscaped and maintained, except for designated pedestrian and vehicular access ways. Please refer also to the landscape provisions of this Section and Specific Plan Section 4.0, <i>Landscape Guidelines & Standards</i> .			
Building Height			
Maximum Building Height at Setback Line	35 feet	45 feet	43 feet
<p>-Any portion of a building which exceeds the setback line height shall be set back from the front, rear and side lot lines not less than two feet for each foot by which the height exceeds 35 feet. In no case shall buildings exceed 50 feet in height, or as otherwise height-restricted pursuant to the Chino Airport Land use Compatibility Plan (ALUCP).-Buildings within ALUCP Compatibility Zone B1 shall have no more than 2 habitable floors and buildings within Zone C shall have no more than 3 habitable floors.</p> <p>-Per ALUC Conditions of Approval, Building 4 is permitted to be constructed to height of 46 feet provided that the top of the building does not exceed 686 feet above mean sea level.</p>			
Wall/Fence Heights			
Perimeter Screen Wall/Fence w/berm Maximum Height (maximum 6- foot wall/fence with 2-foot berm)	8 feet	8 feet	8 feet
Trash Enclosure Wall Maximum Height	6 feet	6 feet	6 feet
Height of other walls/fences internal to the site, such as may be required at loading docks and/or required for security purposes, will be as determined by the City.			
Parking			
Parking areas shall be provided as required by Section 5.6 of the Eastvale Municipal Code, or correlating provisions of the Municipal Code effective at the time of development permit application(s). Parking area shall be landscaped pursuant to Specific Plan Sections 4.0, Landscape Guidelines & Standards and 2.2.3, Conceptual Landscape Plan Development Standards.			
Screening			
Please refer to standards presented at Specific Plan Section 3.7.			
Trash Collection Areas			
Please refer to standards presented at Specific Plan Section 3.9.			
Lighting			
Please refer to standards presented at Specific Plan Section 3.10.			

2.2.1 Circulation Plan

Vehicular Circulation

The roads that provide direct access to The Ranch at Eastvale Specific Plan site are identified within **Figure 2-2, Circulation Plan**. Primary north-south access to the site will be provided via Hellman Avenue along the project's western boundary. Primary east-west access will be provided via Limonite Avenue, which runs through the lower third of the project area.

The westerly Specific Plan boundary is formed by Hellman Avenue [alignment], which at this location also establishes the shared City of Eastvale/City of Chino municipal boundary. The City of Eastvale General Plan Circulation Element identifies Hellman Avenue as a Secondary Highway (four-lane undivided road) with an ultimate 100-foot right-of-way. The City of Chino Preserve Specific Plan identifies Hellman Avenue at this location as Major Arterial with Paseo (4 lanes within 123-foot right-of-way).

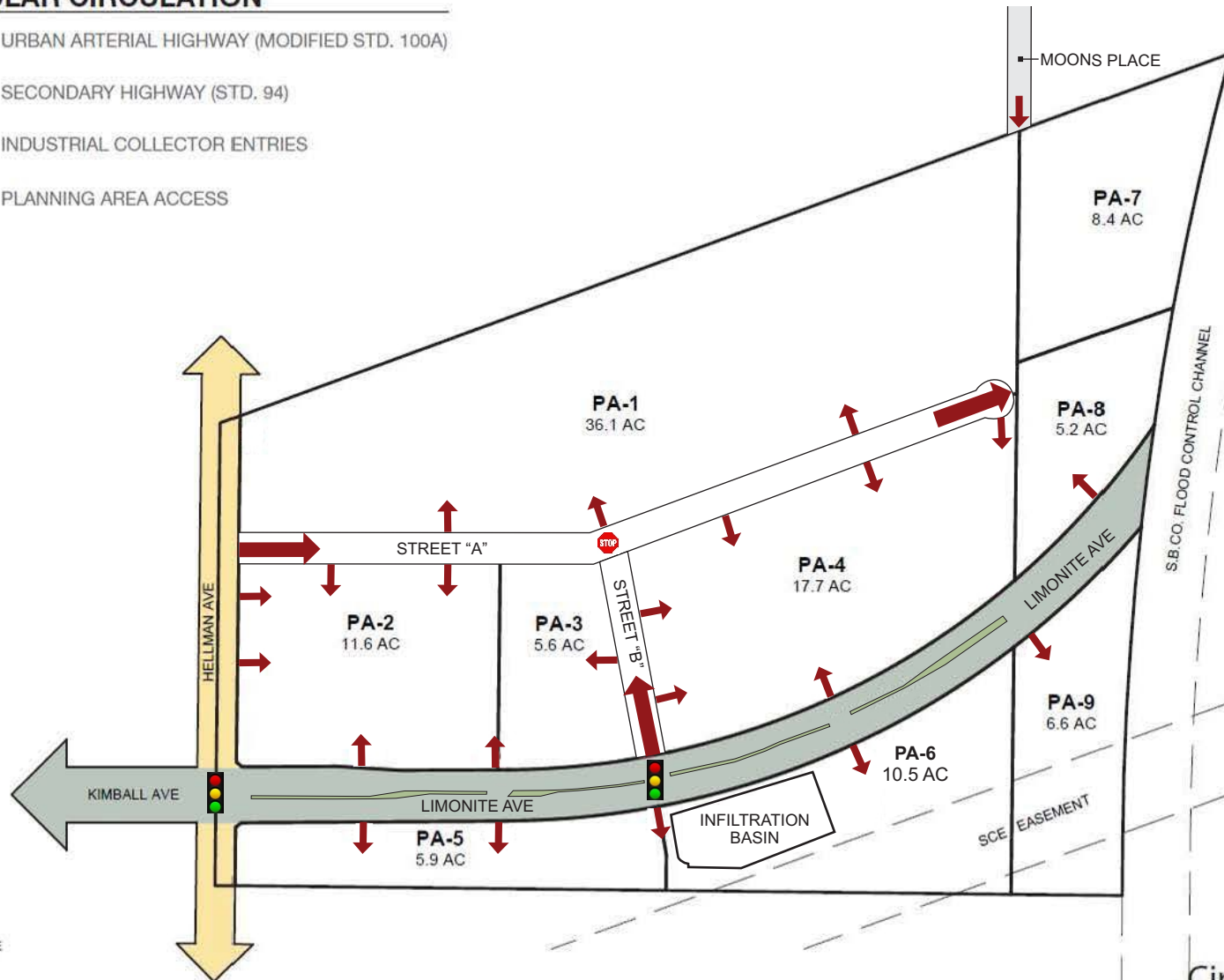
Limonite Avenue is generally an east-west road located through the southern portion of the project site. This road is designated by the Circulation Element as an Urban Arterial Highway (six-lane divided road) with an ultimate 152-foot right of way. Limonite Avenue currently ends northeast of the project site at Archibald Avenue.

The City of Eastvale Circulation Element shows the ultimate alignment of Limonite Avenue extending west of Archibald Avenue to connect with Kimball Avenue at its intersection with Hellman Avenue. The Ranch at Eastvale Specific Plan incorporates that portion of Limonite Avenue that extends from Hellman Avenue to the Specific Plan's easterly boundary.

Streets A and B within The Ranch at Eastvale Specific Plan will be classified as Industrial Collector Streets with a 78-foot right-of-way with one through-lane in each direction and a center left turn lane to accommodate turning movements into each planning area. The exact number and alignment of these streets, as needed, will be established in conjunction with future implementing development proposals. It is planned that Streets A and B will connect to the area wide circulation system at linkage points along Hellman Avenue and Limonite Avenue. Although the precise locations of these linkages will be established in conjunction with future implementing development proposals, conceptual locations of these linkages are shown on Figure 2-2, Circulation Plan.

VEHICULAR CIRCULATION

-  URBAN ARTERIAL HIGHWAY (MODIFIED STD. 100A)
-  SECONDARY HIGHWAY (STD. 94)
-  INDUSTRIAL COLLECTOR ENTRIES
-  PLANNING AREA ACCESS



Not to Scale

Notes: 1. Limonite Avenue will feature a landscaped median, regardless of whether or not it appears on subsequent graphics within this SPA.
 2. All turning movements and traffic control devices will be reviewed and approved by the City and included in the Project Conditions of Approval.

Figure 2-2
Circulation Plan

Mass transit services are not currently available to serve the Project site.

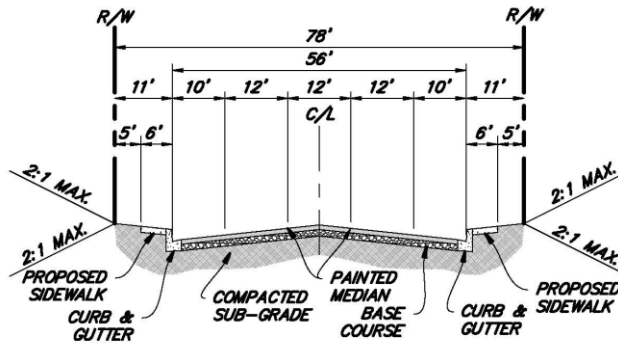
Roadway cross-sections for these roads are shown on **Figure 2-3, Roadway Cross-Sections**.

Non-Vehicular Circulation

In addition to the road circulation plan, a pedestrian circulation system is incorporated into the project as shown in **Figure 2-4, Non-Vehicular Circulation Plan**. These landscaped pedestrian pathways are designed to connect building entries with sidewalks along streets, employee break areas, plazas, and in between buildings. The pedestrian circulation system will promote non-vehicular access to and from all planning areas.

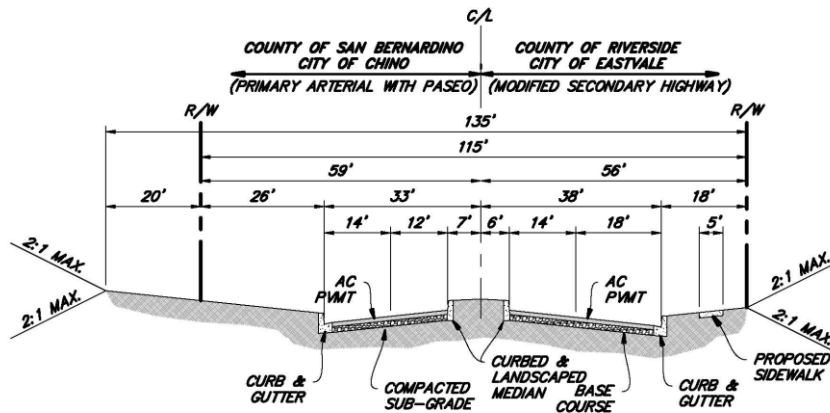
Class 2 bike paths are currently located along the east side of the flood control channel that borders the Specific Plan area to the east, and along 65th Street easterly of the channel. There are no existing or proposed bike trails along the periphery of the project site.

The Specific Plan non-vehicular circulation component also provides connection to the JCSD multi-use trail located southerly adjacent to the project site. Design and configuration of the multi-use trail connection are presented at **Figure 2-5, Multi-Use Trail**.



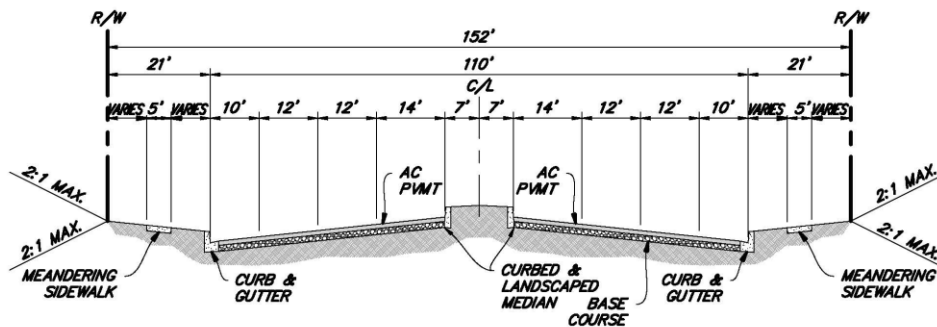
INDUSTRIAL COLLECTOR STREET

RIV. COUNTY STD. NO. 111
 1"=20'
 T.I.=8.0



HELLMAN AVENUE

1"=20'
 T.I.=8.5





TYPICAL SECTION - LIMONITE AVENUE

URBAN ARTERIAL
 RIV. COUNTY STD. NO. 91
 1"=20'
 T.I.=10

Figure 2-3
 Roadway Cross-Sections

NON-VEHICULAR CIRCULATION LEGEND

-  5' MIN. SIDEWALK - PEDESTRIAN CIRCULATION
-  JCSD MULTI-USE TRAIL (OFF-SITE CLASS 1)

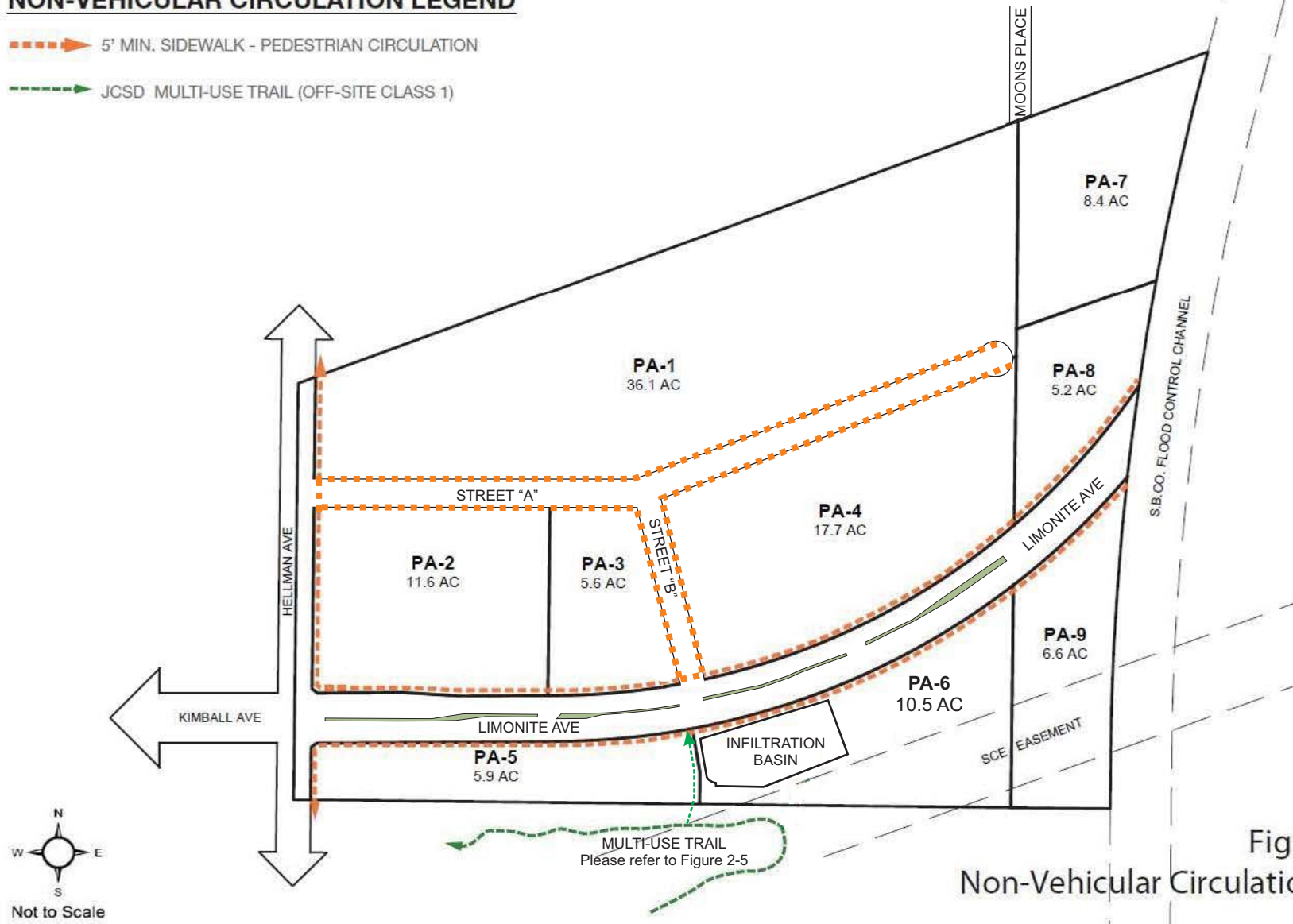







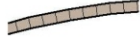




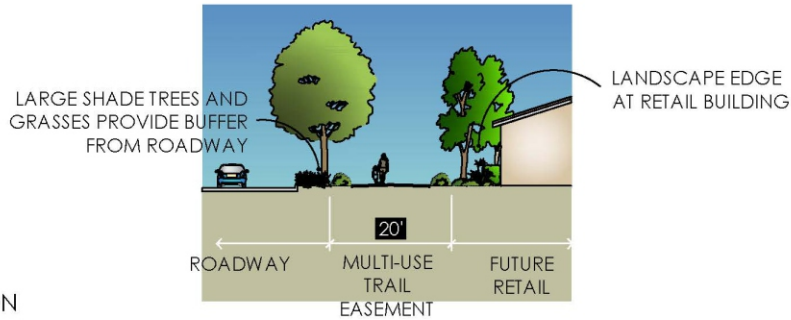
Figure 2-4
Non-Vehicular Circulation Plan



PLAN

LEGEND

-  Building Setback Line
-  Parking Setback Line
-  Face of Curb
-  Property Line
-  Property Boundary Fence
-  Infiltration Basin Planting - Ornamental Grasses
-  Groundcover and Low Planting
-  Meandering Concrete Sidewalk
-  Street Trees, Clustered (30' O.C. Average)
-  Canopy Tree at Perimeter of Basins



SECTION

Figure 2-5
Multi-Use Trail

Circulation System Development Standards

- 1) The engineering level alignment of those segments of roadways, adjacent to or within the Specific Plan boundary (as conceptually shown on Figure 2-2, Circulation Plan) will be determined at the implementing development stage.
- 2) Hellman Avenue shall be constructed as shown on Figure 2-3, Roadway Cross-Sections, within the City of Eastvale adjacent to or necessary to provide access to the implementing development project as determined by the City Public Works Director. The portion of Hellman Avenue located within the City of Chino shall be constructed per City of Chino requirements.
- 3) Limonite Avenue shall be constructed, with a raised landscaped median, as shown on Figure 2-3, Roadway Cross-Sections, adjacent to or necessary to provide access to the implementing development project as determined by the City Public Works Director.
- 4) Streets A and B shall be designed and constructed per the standard cross-sections shown in Figure 2-3, Roadway Cross-Sections.
- 5) All intersection spacing and/or access openings shall be per City of Eastvale standards.
- 6) No textured pavement accents will be allowed within City maintained right-of-way unless approved by the City.
- 7) Mid-block crosswalks are not allowed on public streets.
- 8) No driveways or access points as shown in the Specific Plan are approved. All access points shall conform to City of Eastvale standard access spacing, depending upon the streets' classifications, line-of-sight limitations and safety.
- 9) Landscaping within public road rights-of-way will require approval by the City and assurance of continuing maintenance through the establishment of a landscape maintenance district, similar mechanism, or Conditions, Covenants and Restrictions (CC&Rs), as approved by the City.
- 10) All bike trails or lanes developed as part of this Specific Plan shall be approved by the City.

2.2.2 Drainage Plan

The Ranch at Eastvale Specific Plan project is located within the Chino Basin, which is part of the larger Santa Ana River Watershed. The Santa Ana River is the major drainage feature within the Santa Ana Watershed that conveys drainage runoff to the Pacific Ocean from the San Bernardino Mountains and portions of San Bernardino, Riverside and Orange Counties.

In general, surface runoff from the surrounding area and project site flows naturally north to south towards the Santa Ana River and into Prado Basin. There are no defined drainage courses within the project site; however, the improved San Bernardino County Flood Control Cucamonga Creek Channel is located along the east project boundary and flows south to the Santa Ana River.

The conceptual drainage system developed in conjunction with The Ranch at Eastvale Specific Plan consists of offsite and onsite components, as described below.

Offsite Drainage Stormwater Management System

Two Drainage Plan options (A and B) are provided for capture and conveyance of off-site stormwater as described below. The anticipated Option A is presented at **Figure 2-6, Conceptual Drainage Plan (Option A)**. Option B is presented at **Figure 2-7, Conceptual Drainage Plan (Option B)**. In addition to the options depicted in this section for acceptance of historical storm water from north of the Specific Plan area, the developer may propose additional options which achieve the objectives of the options shown here, subject to the approval of the City Engineer.

Drainage Plan Option A

There are currently two industrial projects proposed above this project's northern boundary that will ultimately capture and convey all runoff (from the north to the Hellman Avenue storm drain system to the west and the Cucamonga Creek Channel to the east) so no offsite drainage reaches this project. If The Ranch at Eastvale project proceeds to construction prior to construction of the two projects to the north, an interim drainage system (Drainage Plan Option A) will be constructed.

Currently, offsite drainage from the north is collected by an existing earthen berm on the adjacent property along the project's north boundary then conveyed westerly to an existing offsite detention/water quality basin at the northwest corner of the project. Under Drainage Plan Option A the existing berm would be refined and reinforced and the detention/water quality basin will be enlarged to accept and convey the 100 year flows.

LEGEND

- PROPOSED 72" STORM DRAIN LINE
- - - EXISTING 54" STORM DRAIN LINE
- · · 36" DIAMETER STORM DRAIN LINE
- · · · · 48" DIAMETER STORM DRAIN LINE
- 60" DIAMETER STORM DRAIN LINE

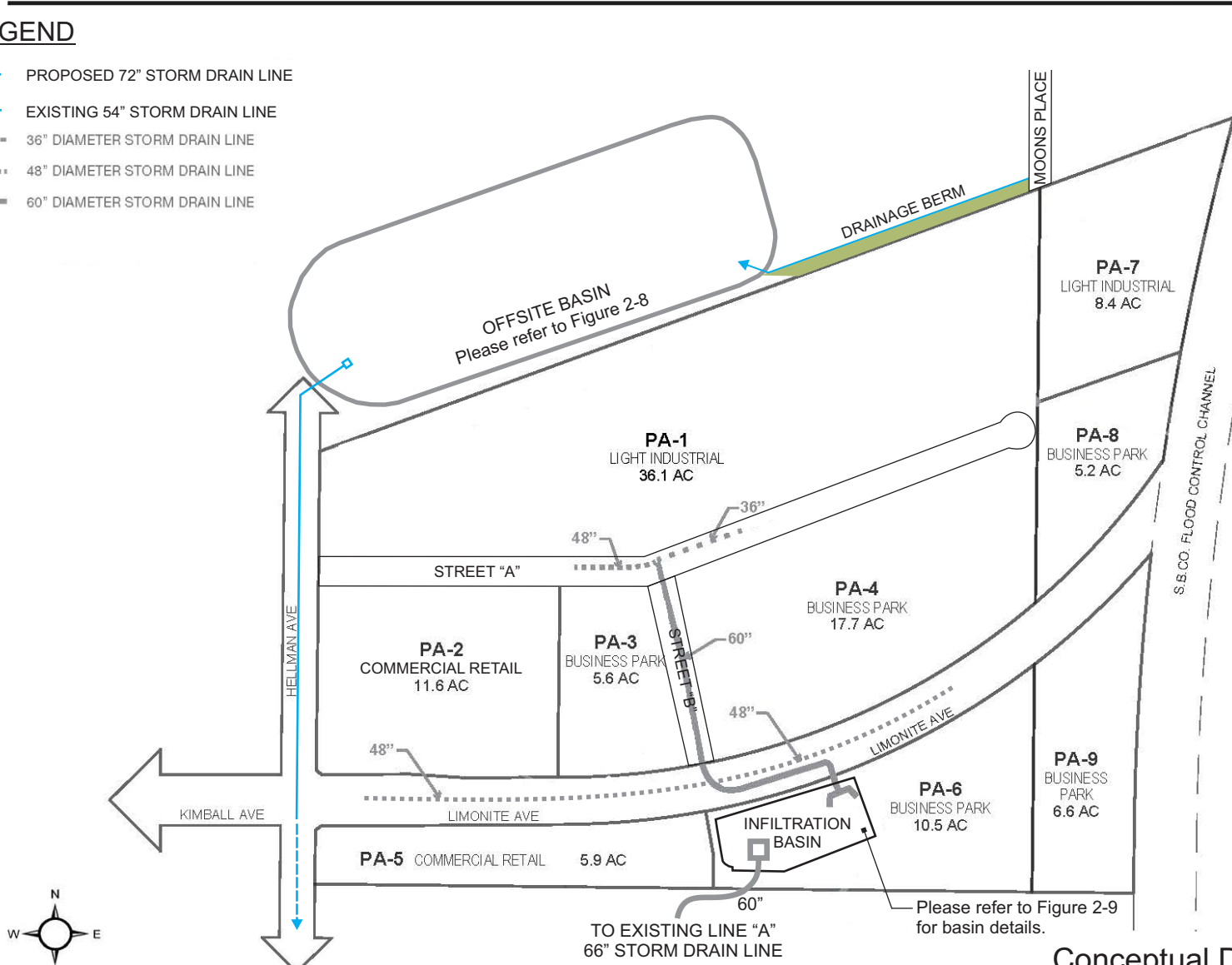








Figure 2-6
Conceptual Drainage Plan
(Option A)

LEGEND

-  RECTANGULAR INTERCEPTOR CHANNEL
-  CONNECTION TO THE CHANNEL
-  36" DIAMETER STORM DRAIN LINE
-  48" DIAMETER STORM DRAIN LINE
-  60" DIAMETER STORM DRAIN LINE
-  72" DIAMETER STORM DRAIN LINE FOR OFFSITE FLOW PICKUP

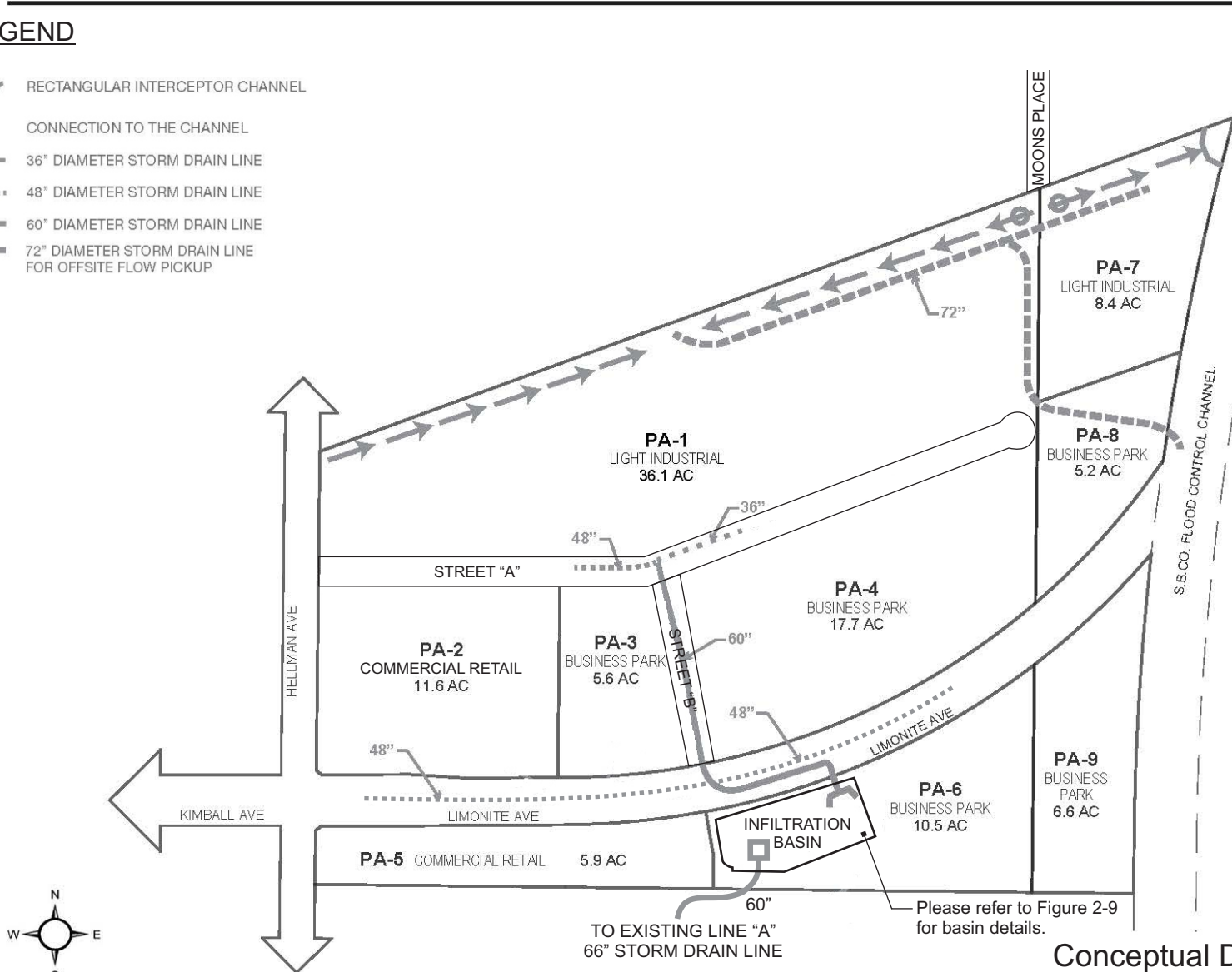


Figure 2-7
Conceptual Drainage Plan
(Option B)

The enhanced berm and basin concepts are presented at **Figure 2-8, Proposed Offsite Basin**. The enlarged basin would reduce the offsite 100-year peak flow of approximately 239 cubic feet per second (cfs) down to the available 150 cfs capacity of the existing City of Chino 54" storm drain in Hellman Avenue. The mitigated 150 cfs flow from the detention/water quality basin will outlet to a 72" pipe and run south in Hellman Avenue and connect to the existing 54" pipe at the Kimball and Hellman intersection. The 54" pipe will be upgraded by the project to the north when that project is developed. That system continues south to the Cucamonga Creek Channel.

Drainage Plan Option B

Under Drainage Plan Option B, offsite stormwaters would be conveyed by a 9 feet wide by 6 feet deep rectangular concrete interceptor channel located along the project's northern property line. The interceptor channel would capture flows not currently captured by the existing offsite earthen berm and detention/water quality basin system and direct flows via a 72" storm drain pipe east to the San Bernardino County Flood Control Channel and some to the existing storm drain in Hellman Avenue. In the event that Drainage Option A is utilized for the Specific Plan, the concrete truck court at the rear of each building in Planning Area 1 will be extended northerly, since the concrete interceptor channel (required under Drainage Option B) will not be required. Landscape islands/fingers will also be extended accordingly.

Onsite Drainage Stormwater Management System

In addition to the options described above to handle offsite flows, onsite drainage facilities will also be required to handle runoff from the site due to an increase in impervious surfaces. A preliminary estimate of onsite 100-year peak discharge from the post-developed project site is 189 cfs, an increase of 63 cfs over existing condition peak flows. American Heroes Park, immediately to the south of the project site, has a 66-inch storm drain capable of accepting 234 cfs from the project site. This is Line A of the Cucamonga Creek Schleisman Road Storm Drain system that ultimately connects to the Cucamonga Creek Channel. Since 189 cfs is less than 234 cfs, detention will not be required.

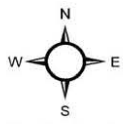
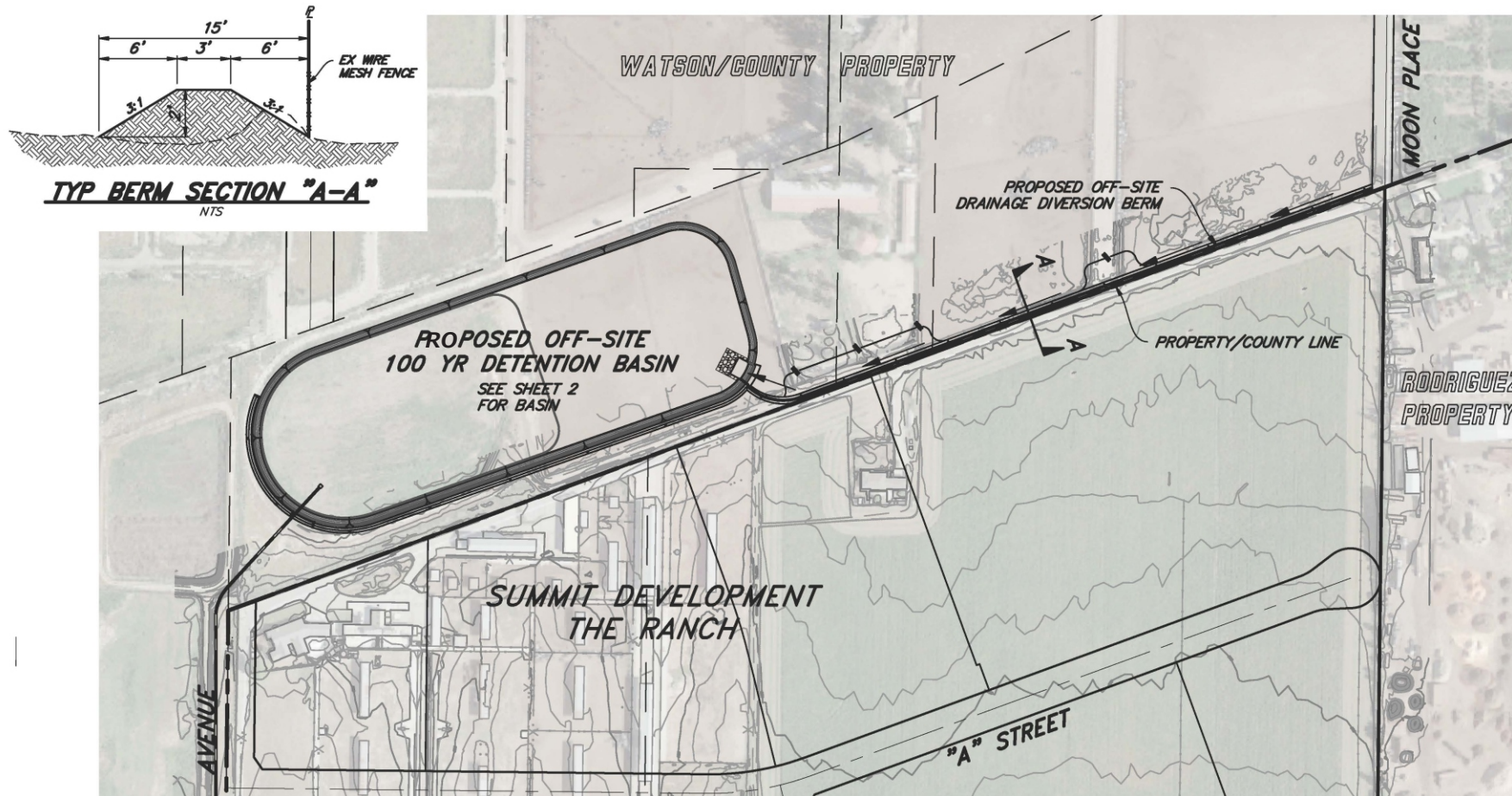
On-site drainage facilities will include the project's streets, catch basins, underground storm drains, and one or two infiltration basin(s) (one currently shown) designed to collect and convey 100-year flows through the project. The infiltration basin concept is presented at **Figure 2-9, Infiltration Basin**. The infiltration basin would function as a water quality element and, though detention is not required, would have some peak flow

reducing effects. The onsite infiltration basin would incorporate an emergency overflow spillway which, if needed, would discharge flows in excess of the 100-year storm event southerly to the American Heroes Park. The Park basin was originally designed to detain existing peak flows from the project site as well as areas north of the project site and has a peak inflow capacity of 269 cfs. Peak flows from the post-developed project site are estimated at only 189 cfs.

All developments are required to implement a Water Quality Management Plan (WQMP) in accordance with the most recently adopted Riverside County MS4 NPDES Permit (Board Order R8-2010-0033). Approval by the City of a WQMP plan requires submittal of a document with supporting data including a WQMP Site Map showing the location of all BMPs. Per permit requirements, Low Impact Design (LID) elements and Source Control BMPs must be incorporated into the site design. The permit calls for a hierarchy of LID BMPs to be analyzed in order to successfully treat the project's water quality volume. The water quality volume is the amount of runoff generated by the 85th percentile storm event on the project site. The first LID BMP in the permit's analysis hierarchy is infiltration into native soils. The most cost-effective way to infiltrate into native soils for a project site of this size is through one or more infiltration basins.

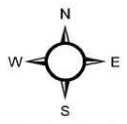
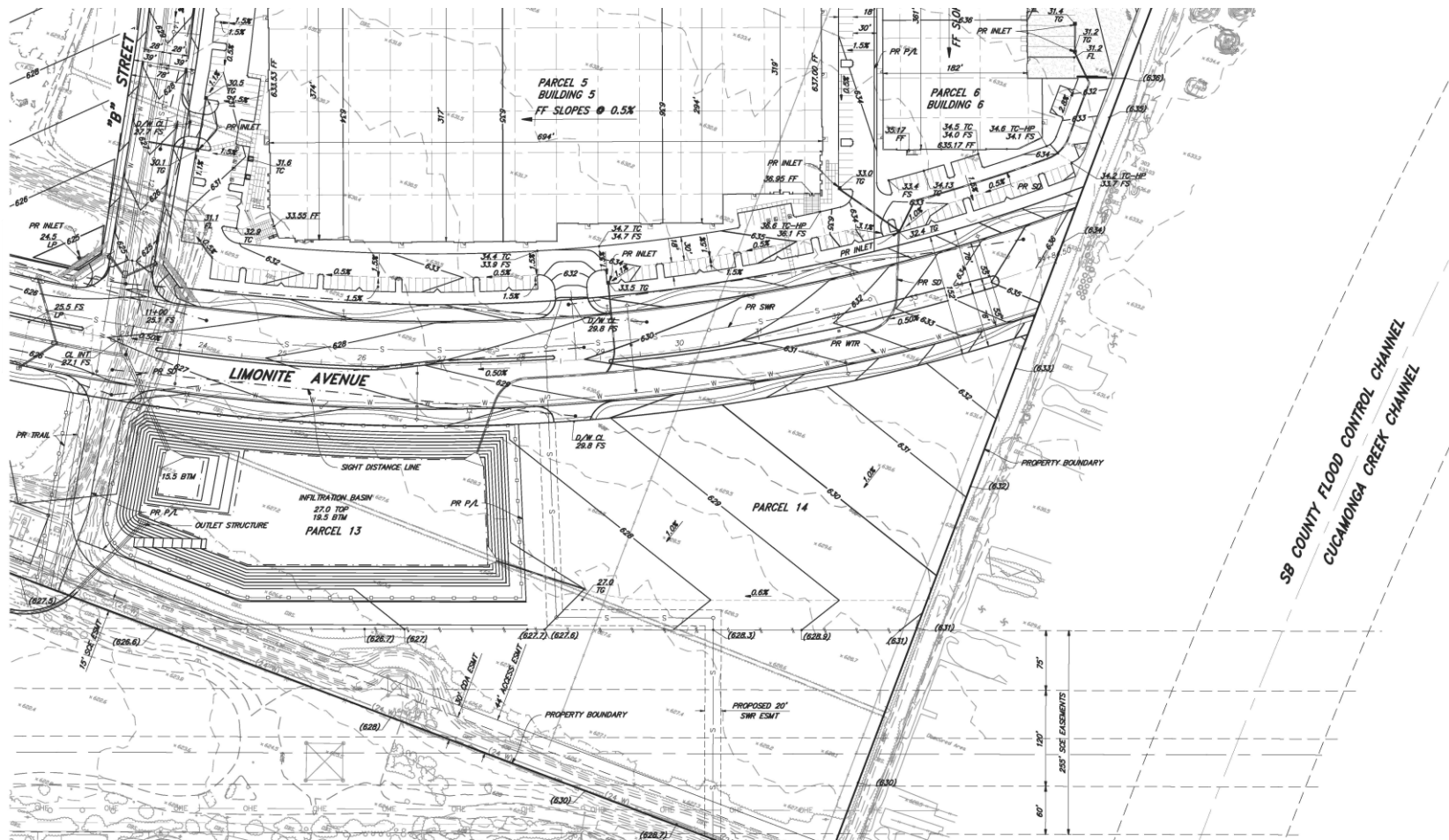
Preliminary infiltration testing done near the planned infiltration basin location indicates the infiltration LID BMP approach may satisfy water quality requirements. Infiltration testing done to date was performed in locations not accessible to the planned infiltration basin location (at the time of testing) and will need to be updated prior to preparation of the preliminary WQMP. If forthcoming infiltration testing done within the planned basin area indicates infiltration is not practical, then the hierarchy of LID BMPs outlined in the water quality permit will be followed, likely resulting in a basin designed to filter stormwater through engineered soil media and subsequently discharge the treated water from the basin into the public storm drain system.

The project site is exempt from hydromodification control requirements since it will discharge directly to improved storm drain facilities designed to handle flows in excess of water quality permit requirements.



Not to Scale

Figure 2-8
Proposed Offsite Basin



Not to Scale

Figure 2-9
Onsite Infiltration Basin

Drainage Plan Development Standards

- 1) Drainage and flood control facilities and improvements shall be provided in accordance with City of Eastvale Public Works and Riverside County Flood Control and Water Conservation District requirements.
- 2) Storm drain facilities shall ensure the acceptance and disposal of storm runoff without damage to streets or adjacent properties.
- 3) Any work within the San Bernardino County Flood Control Channel right-of-way shall be completed in accordance with San Bernardino County Flood Control District requirements.

2.2.3 Conceptual Landscape Plan









As illustrated in **Figure 2-10, Conceptual Landscape Plan**, The Ranch at Eastvale Specific Plan utilizes landscaping as a unifying element throughout the project area. Designs for enhanced landscape entries, streetscapes, building perimeter landscaping, public spaces and pedestrian linkages are all set forth in Section 4.0, Landscape Guidelines & Standards. There will be common elements within the landscaping which will support a unifying theme throughout the project. Site elements such as paving, signage, trellises, lighting, signs, and furnishings as well as street trees are chosen to unify and connect the various planning areas and to work harmoniously with the architectural style.

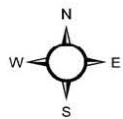
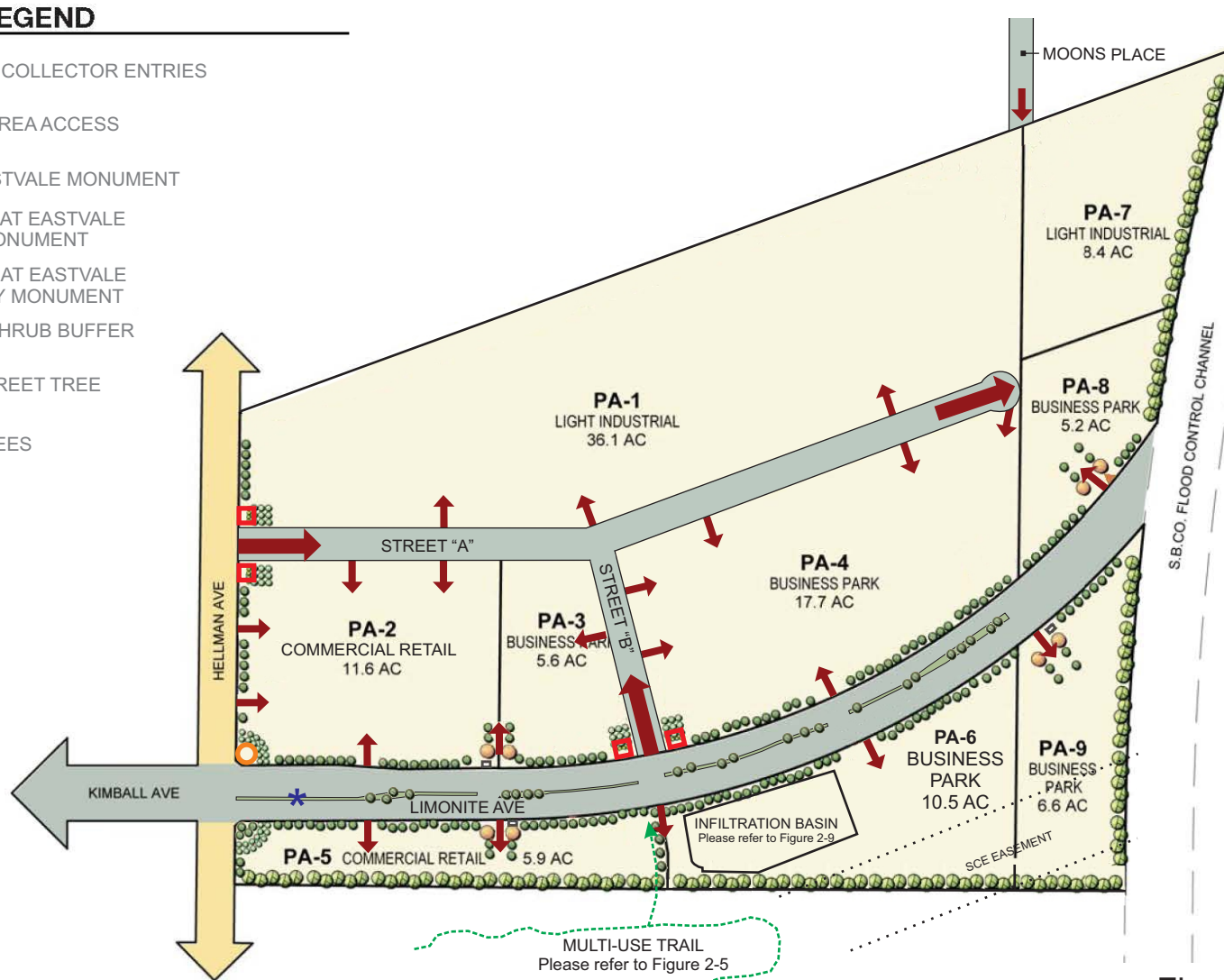
An overall landscape Plant Palette with a list of proposed trees, shrubs, vines, and ground covers has been provided in Section 4.0, Landscape Guidelines & Standards, and will be utilized for this project. This list is not intended to be all inclusive, but is provided to give an idea as to the plant material that could be used within the different landscaped areas of the project.

Individual implementing development projects within The Ranch at Eastvale Specific Plan will include landscaping and parking pursuant to the requirements set forth in this document and Section 5.6 (Off-Street Vehicle Parking) and Section 5.4 (Landscape General Provisions) of the City of Eastvale Municipal Zoning Code, or correlating provisions of the Municipal Code effective at the time of development permit submittal(s). The following development standards provide additional guidance for landscaping within the Specific Plan.

Please refer also to Specific Plan Section 4.0, Landscape Guidelines & Standards.

LANDSCAPE LEGEND

-  INDUSTRIAL COLLECTOR ENTRIES
-  PLANNING AREA ACCESS
-  CITY OF EASTVALE MONUMENT
-  THE RANCH AT EASTVALE PRIMARY MONUMENT
-  THE RANCH AT EASTVALE SECONDARY MONUMENT
-  TREE AND SHRUB BUFFER
-  TYPICAL STREET TREE
-  ACCENT TREES



Not to Scale

Figure 2-10
Conceptual Landscape Plan

Conceptual Landscape Plan Development Standards

- 1) All landscape plans shall reflect water conservation methods which may include: landscape design with low water consuming plants, grouping plants with similar irrigation requirements to reduce over-irrigation; use of mulch extensively since mulch applied on top of soil will improve the water holding capacity of the soil by reducing evaporation and soil compaction; and efficient irrigation systems design that minimizes runoff and evaporation and maximizes the amount of water that will reach the plant roots. Drip irrigation, rain sensors, and automatic irrigation systems represent methods of increasing irrigation efficiency.
- 2) Where the Specific Plan is silent, the project applicant and/or developer shall comply with the planting, irrigation, and implementation requirements set forth by Section 5.4 (Landscape General Provisions) of the City of Eastvale Municipal Zoning Code), or correlating provisions of the Municipal Zoning Code in effect at the time of development permit submittal(s).
- 3) All walls shall be maintained graffiti free through the use of two coats of anti-graffiti coating with or without vines.

2.2.4 Conceptual Water and Sewer Plans




The Ranch at Eastvale Specific Plan will be served by the Jurupa Community Services District (JCSD) which was formed in July 1956 as a general purpose Community Services District of the State of California. JCSD presently provides water and sewer service to the City of Eastvale, as well as parks, lighting and other services to various portions of western Riverside County.

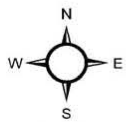
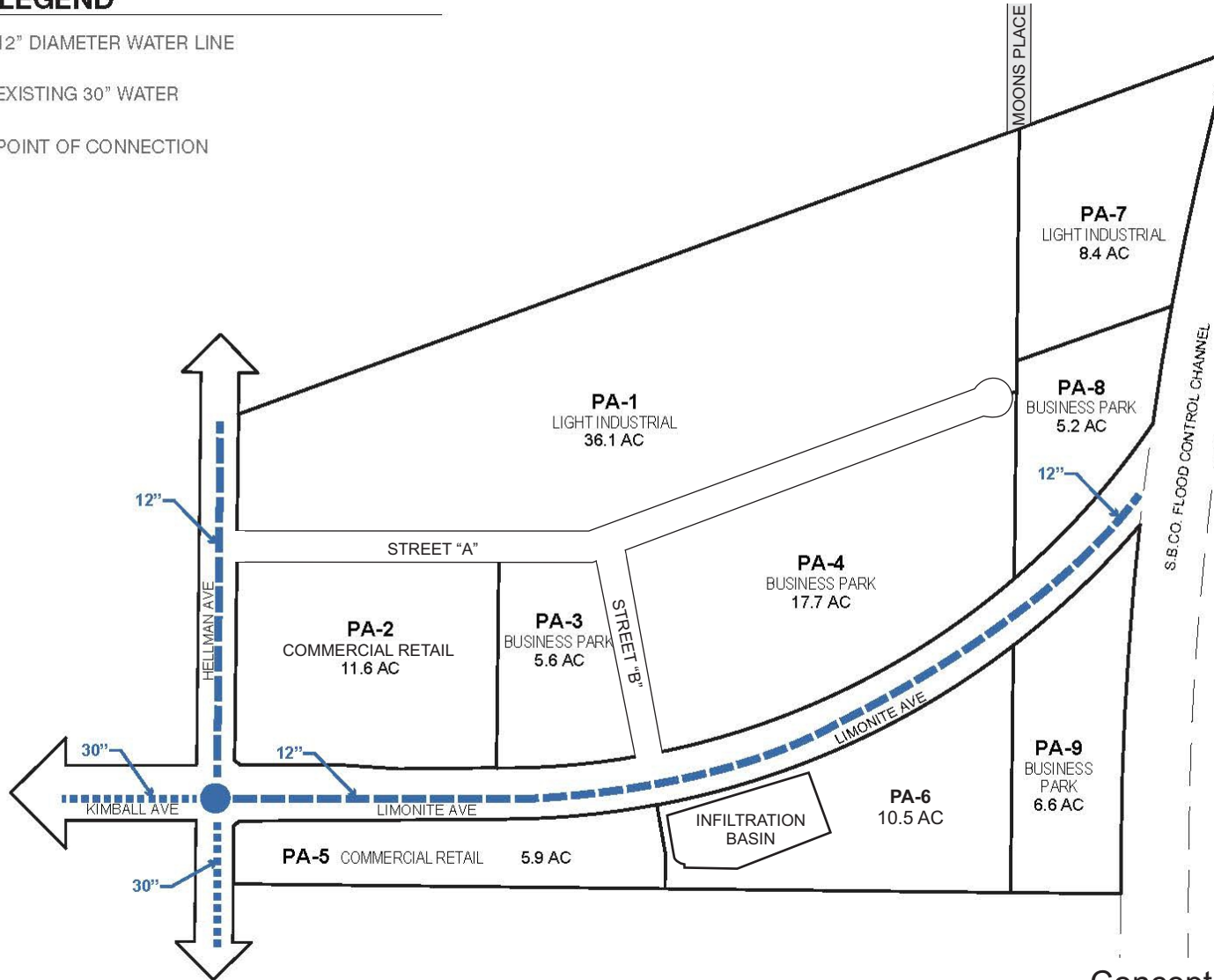
Conceptual Water Plan

As shown on **Figure 2-11, Conceptual Water Plan**, a 30-inch-diameter, 870-foot pressure zone water line exists within Hellman Avenue at its intersection with Kimball Avenue. The Specific Plan will be served by on-site 8-inch and 12-inch water lines located within the future street rights-of-way that will connect to the existing 30-inch diameter water line within Hellman Avenue. Additional water lines will be constructed on site on a phased basis as required to serve individual phases of The Ranch at Eastvale Specific Plan as they develop.

According to the JCSD, the estimated water demand for The Ranch at Eastvale Specific Plan will be 140,165 gallons per day (gpd) (157.0 acre feet per year.)

WATER LEGEND

-  12" DIAMETER WATER LINE
-  EXISTING 30" WATER
-  POINT OF CONNECTION



Not to Scale

Figure 2-11
Conceptual Water Plan





Conceptual Sewer Plan

As shown on **Figure 2-12, Conceptual Sewer Plan**, there are JCSD sewer system facilities immediately adjacent to The Ranch at Eastvale Specific Plan property within Tract No. 31309 at the southern boundary of the Specific Plan property. An additional connection to the JCSD sewer system is available within Tract No. 31309 in Prairie Smoke Road, approximately 200 feet east of Hellman Avenue. The Specific Plan will be served by 8-inch diameter sewer lines located within the future street rights-of-way. Additional on- and off-site sewer system facilities shall be developed on a phased basis if required to serve individual phases of The Ranch at Eastvale Specific Plan as they develop. The sewer flow generated by the subject project will be treated and disposed of through Western Riverside County Regional Wastewater Authority (WRCRWA) Regional Wastewater Reclamation Plant, located south of River Road and west of Archibald Avenue. The projected average daily wastewater that will be generated by The Ranch at Eastvale Specific Plan is approximately 194,400 gpd.

Water and Sewer Development Standards

- 1) The project developer shall submit information that provides estimates of the project's irrigation water demand and landscape/irrigation conceptual plans to the City of Eastvale and JCSD for review.
- 2) Water conservation measures will be incorporated into the project development to include water saving devices and systems, and the use of reclaimed water for irrigation where accessible through existing or future adjacent facilities.
- 3) Any design of off-site facilities shall be coordinated with the affected property owners and JCSD.
- 4) Water and wastewater facilities shall be installed in accordance with the requirements and specifications of the City of Eastvale and JCSD.
- 5) The design of all water facilities shall provide fire protection to the satisfaction of the City of Eastvale Fire Department.

SEWER LEGEND

-  8" DIAMETER SEWER LINE
-  POINT OF CONNECTION
To connect to Existing 8-inch Sewer Line near Southern Project Boundary in 65th Street near Bright Gem Court.
-  AVAILABLE ADDITIONAL 8" DIAMETER SEWER LINE
1,100 feet in Hellman Avenue and 200 ft in Prairie Smoke Road.
-  AVAILABLE ADDITIONAL POINT OF CONNECTION
To connect to existing 8-inch Sewer Line in Prairie Smoke Road.

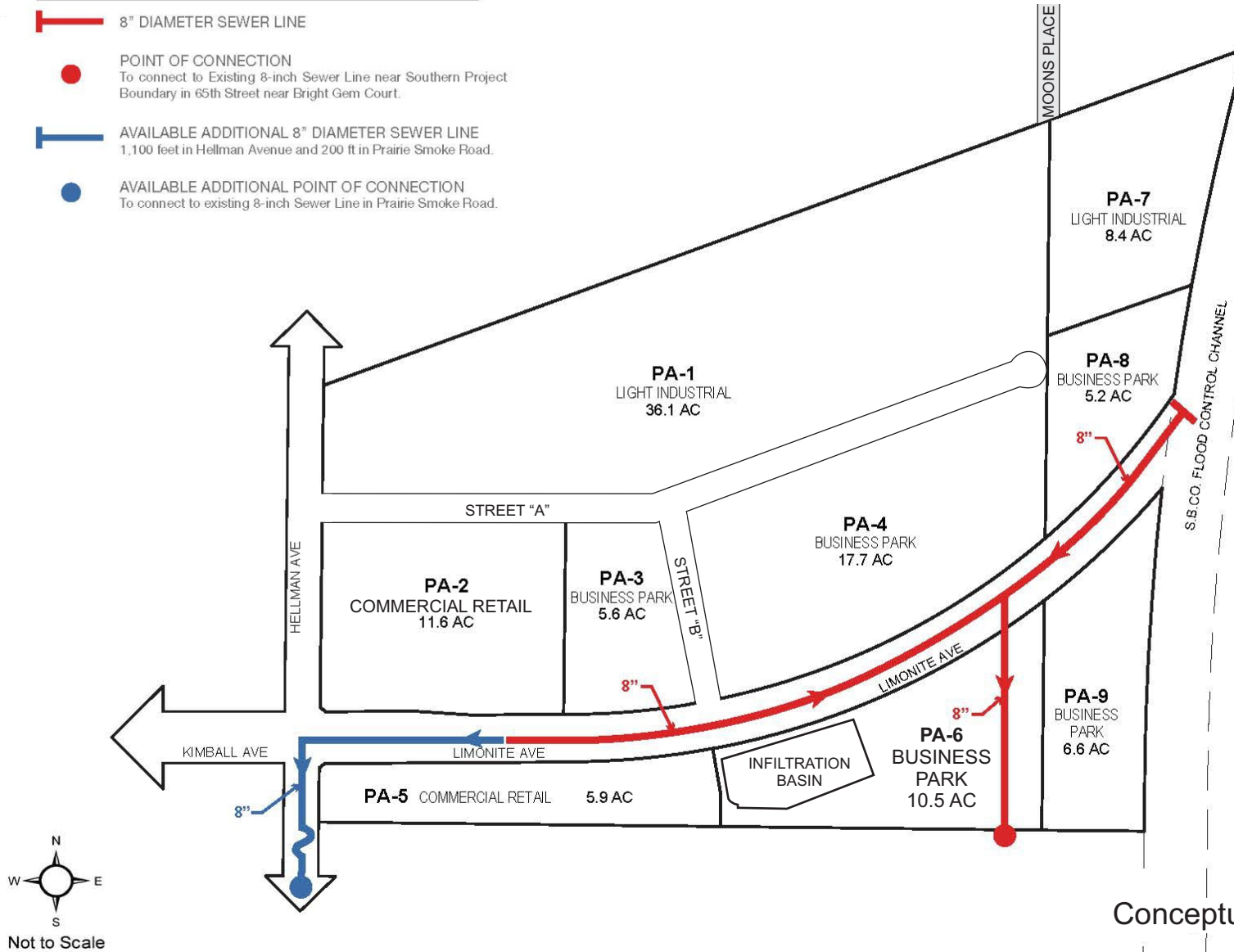


Figure 2-12
Conceptual Sewer Plan

2.2.5 Conceptual Grading Plan

Grading within The Ranch at Eastvale Specific Plan will generally mirror the existing topography of the site as reflected on **Figure 2-13, Conceptual Grading Plan**. Manure and organic-rich soil is present in the upper 1 to 2 feet on much of the project site. Where manure is located, it will be cleared and disposed of off-site prior to overexcavation and re-compaction. Organic-rich soil (organic content greater than 3 percent, including manure) shall also be removed from the site. However, minor amounts of organic-rich soil can be mixed and blended with clean soil to meet the final acceptable 1 percent organic compound specification. In areas where structures are planned, alluvial soil will be overexcavated and recompacted to depths ranging from 3 to 5 feet below the existing or finish grade, whichever is deeper. It is estimated that overall the project will require approximately 40,000 cubic yards of organic-rich soil to be removed from the site. The balance of the earthwork on the project site consisting of an estimated 220,500 cubic yards of raw cut and 103,000 cubic yards of overexcavation will be used on-site to address fill and re-compaction requirements. This earthwork total represents an estimate of rough grading earthwork magnitude over the entire The Ranch at Eastvale Specific Plan. Precise grading requirements and quantities will be determined at the development stage and shall comply with any requirements set forth in the project's geotechnical studies. Rough grading of the project site will either be completed at one time or in phases.

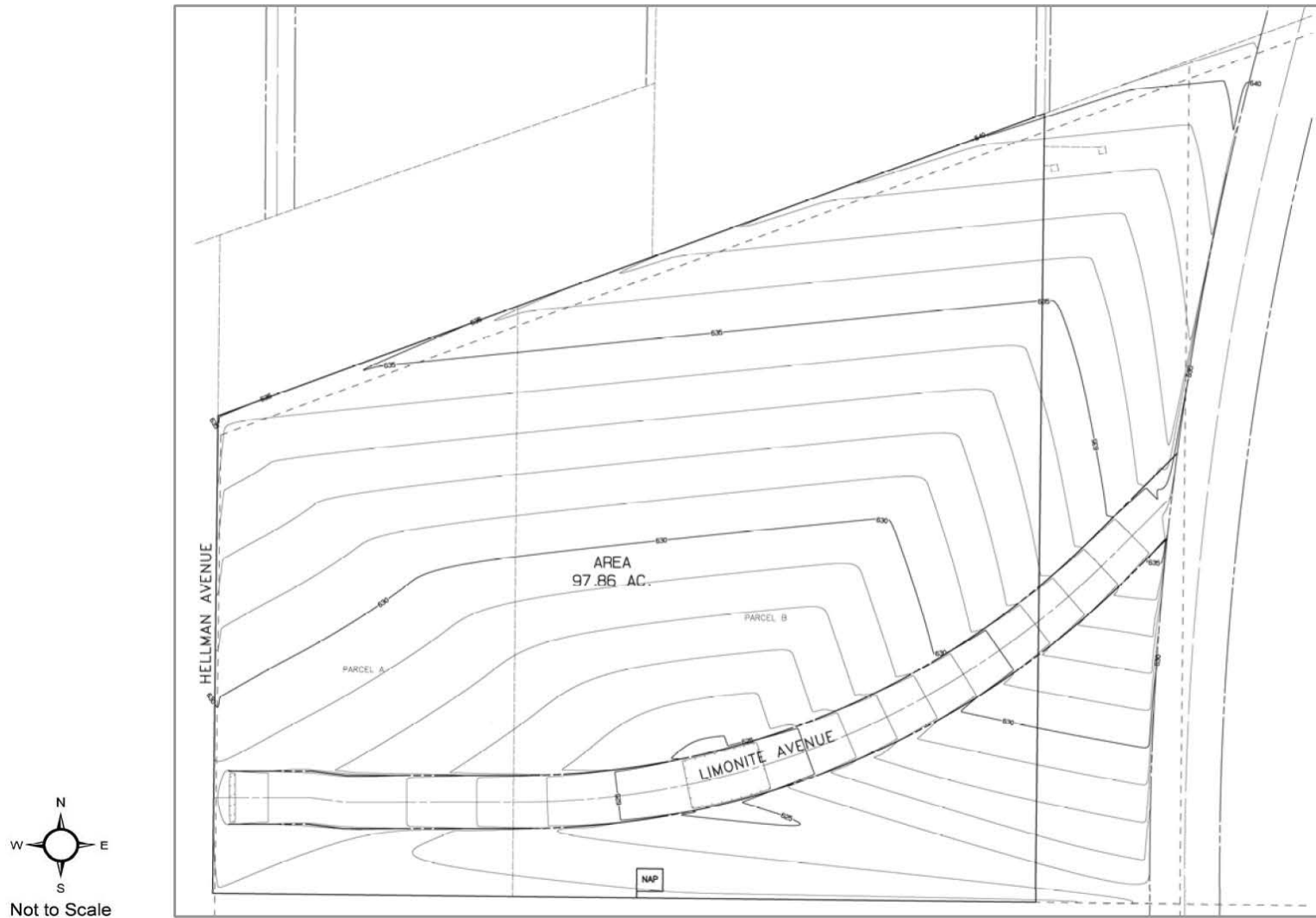


Figure 2-13
Conceptual Grading Plan

Grading Plan Development Standards

- 1) All streets shall have a minimum gradient of 0.5 percent.
- 2) The toes and tops of all slopes higher than ten feet (10') shall be rounded with curves and radii designed in proportion to the total height of the slope, where drainage and stability permits such rounding.
- 3) Prior to initial grading activities, a detailed soils report and geotechnical study shall be prepared to analyze on-site soil conditions and slope stability and include appropriate measures to control erosion and dust.
- 4) Slopes steeper than 2:1 and exceeding ten feet (10') in vertical height are allowed provided they are recommended to be safe in a Slope Stability Report prepared by a soils engineer or an engineering geologist and approved by the City. The Slope Stability Report shall also contain recommendations for landscaping and erosion control. The City of Eastvale setback requirements with regard to slopes shall be observed. Erosion control plans for all slopes over three feet (3') shall be submitted to the City of Eastvale for review and approval for type of ground cover, shrubs and trees.
- 5) Where cut and fill slopes are created higher than ten feet (10'), detailed landscaping and irrigation plans shall be submitted to the City prior to Grading Plan approval. The plans shall be reviewed for type and density of groundcover, shrubs, and trees.
- 6) Potential brow ditches, terrace drains, or other minor swales, as determined necessary by the City of Eastvale at future stages of project review, shall be lined with natural erosion control materials, wherever possible, or earth-toned concrete.
- 7) With the exception of the removal of organic-rich soil, grading work shall be balanced on-site, and within each development phase, if possible.
- 8) Grading within any development phase may encroach into an area of future development in order to achieve an earthwork balance. If such is the case, grading plans will be prepared and grading will be performed in a manner consistent with the overall Conceptual Grading Plan for the project as well as the grading plan for all future development phases.

2.2.6 Phasing Concept

It is expected that The Ranch at Eastvale Specific Plan would be developed in phases. The scope and sequence of development responding to local and regional market demands. Anticipated phasing of the project is presented at **Table 2-4, Conceptual Project Phasing**. The identified phases, or portions thereof, may be developed in any sequence or multiple phases can be developed concurrently. As the project builds out, planning areas may be developed individually or in combination with other planning areas, and individual planning areas may be developed with one or more implementing development proposals.

**Table 2-4
Conceptual Project Phasing**

Land Use	Estimated Building Square Footage	Planning Area(s)
Phase I		
Business Park	316,000	4
Light Industrial	644,000	1
Phase II		
Business Park	120,000	6
Commercial Retail	160,000	2
Phase III		
Commercial Retail	50,000	5
Business Park	88,000	3
Phase IV		
Business Park	277,337	8, 9
Light Industrial	156,937	7

Supporting infrastructure and services, including: roads, water, sanitary sewer, storm drainage, and dry utilities would be provided to support each phase or increment of development. City issuance of Certificate Occupancy Permits for any phase or increment of development would be contingent on demonstrated and documented availability and adequacy of supporting infrastructure and services.

Water System Phasing

The portion of the water system needed to serve a given area shall be operational for fire safety purposes prior to delivery of combustible framing materials on-site, or as approved by the City of Eastvale Fire Department. Domestic service shall be available prior to Certificate of Occupancy for each structure.

Sewer System Phasing

Required sewer system facilities needed to serve implementing development proposals shall be constructed and operational prior to the Certificate of Occupancy for any permanent structure within that development.

Storm Drain System Phasing

On- and off-site underground storm drain facilities required to serve the project shall be constructed and operational during each phase of construction within the Specific Plan, pursuant to City of Eastvale and Riverside County Flood Control and Water Conservation District requirements.

Street Improvements Phasing

Unless additional street improvements are required pursuant to formally approved traffic requirements, development of a lot will require that full half-width improvements to the respective portions of those streets required for access to the applicable individual lot(s) within the Specific Plan be constructed prior to the issuance of Certificate of Occupancy for each lot. Traffic signals shall be constructed per the timing warranted in the traffic studies for this project or as required by the City Engineer. All proposed streets within the project boundaries shall be constructed to serve the proposed development and to provide adequate emergency access, as approved by the City.

2.3 Comprehensive Improvement Financing

The construction and maintenance of public facilities and infrastructure improvements within The Ranch at Eastvale Specific Plan will be funded by a variety of mechanisms including development impact fees, transportation-related fees, developer financing, and other potential methods.

2.3.1 Developer Impact Fees

The City currently requires new development developers to pay mitigation fees to help offset the cost of providing public facilities. The project developer will be required to pay all applicable mitigation fees that are in effect at the time of construction.

2.3.2 Transportation-Related Fees

To ensure that area-wide traffic impacts of individual projects are mitigated, the City has established "fair share" mitigation fees, which include the Transportation Uniform Mitigation Fee (TUMF), Development Impact Fees (DIF) and the Road and Bridge

Benefit District (RBBD) fee. The Ranch at Eastvale will participate in the cost of off-site improvements through payment of the following “fair share” mitigation fees:

- TUMF, current at time of construction.
- City of Eastvale DIF Program.
- Mira Loma RBBD, zone D.

These fees shall be collected and utilized as needed by the City to construct improvements necessary to maintain the required level of service.

In addition, other funding mechanisms are available to the City for maintenance of public roadways and capital improvement projects including Gas Tax and Measure A sales tax revenue. These tax monies are allocated to the City as a whole and are not imposed upon the developer.

2.3.3 Developer Financing

Direct developer financing will be used to construct on-site improvements required to serve development in the specific plan area. The ultimate type of financing mechanism will be determined by property developers based upon final technical analysis of costs, financing requirements, duration of funding, reimbursement requirements, absorption rates, and market strategies.

2.3.4 Other Financing

Other financing mechanisms may be utilized as required by the City, the JCSD or other service providers, or as selected by the project developer. These financing mechanisms include, but are not limited to, the creation of a business owner association and the use of assessment and special tax secured financing, such as special assessment districts, community facilities districts and landscape and lighting maintenance districts.

2.4 Maintenance Plan

The project will have both public and private maintenance programs to insure the upkeep of public and common facilities and areas. **Table 2-5, Maintenance Program** identifies the anticipated maintenance responsibilities. Private property maintenance within The Ranch at Eastvale Specific Plan will be directed by a private maintenance association, which will be selected or created by the developer. The private maintenance association will direct the maintenance of signage, entries, open spaces, parking and loading areas, sidewalks, private stormwater management systems pedestrian amenities, and other facilities serving or common to the Specific Plan area in total, but that are not owned or operated by a specific tenant. The project applicant and/or master developer shall be responsible for maintenance and upkeep of all slope plantings, common landscaped areas, and irrigation systems until such time as these operations are the responsibility of other parties.

New public streets (A and B) would be conveyed to the City of Eastvale for maintenance. New public stormwater management systems and connections to public systems would be conveyed (as applicable) to the Riverside County Flood Control and Water Conservation District (RCFCWCD), San Bernardino County Flood Control District (SBCFCD), and/or City of Eastvale for maintenance.

**Table 2-5
Maintenance Program**

Improvements	Developed or Improved by	Owned by	Maintained by
Driveways and parking areas	Developer	Owner/PMA	Owner/PMA
Signs/Project entries	Developer	Owner/PMA	Owner/PMA
Water Quality Improvements	Developer	Owner/PMA	Owner/PMA
Individual lot improvements	Developer	Owner/PMA	Owner/PMA
Public right-of-way improvements per City requirements, including streetscape (Limonite and Hellman Avenues)	Developer	City of Eastvale	City of Eastvale/JCSD ¹
Public Sidewalks	Developer	City of Eastvale	City of Eastvale/JCSD
Street Lighting (public roadways)	Developer	SCE	JCSD
Street Lighting (internal project drives and parking areas)	Developer	Owner/PMA	Owner/PMA
Water & Sewer systems	Developer/JCSD	JCSD	JCSD
Dry Utilities (electric, gas,	Developer/	Developer/	Developer/ applicable

Improvements	Developed or Improved by	Owned by	Maintained by
telephone, and cable)	applicable service provider	applicable service provider	service provider
Private Stormwater Management Facilities-Includes cutoff channel and basin(s) northerly adjacent to Project site ²	Developer	Developer	Owner/PMA
Public Stormwater Management Facilities	Developer	SBCFCD, RCFCWCD, City	SBSFCD, Riverside County, City

Notes:

¹ JCSD maintains only the landscape in the roadway median. Landscape frontages along Limonite and Hellman shall be maintained by the property owner or PMA.

² Offsite detention basin will be owned and maintained by adjacent property owner pursuant to a binding legal document approved by the City of Eastvale.

JCSD= Jurupa Community Services District

PMA = Private Maintenance Association

SBCFCD= San Bernardino County Flood Control District

RCFCWCD= Riverside County Flood Control and Water Conservation District

SCE = Southern California Edison

2.5 LAND USE PLANNING AND DESIGN STANDARDS BY PLANNING AREA

In order to ensure the orderly and sensible development of the land uses proposed for The Ranch at Eastvale Specific Plan, land use planning and design standards have been created for each planning area. These planning area-specific standards, in addition to the project-wide standards, will assist in accommodating the proposed development and provide adequate transitions to neighboring land uses. Please refer also to Table 2-1, presented previously, which presents the Target and Maximum Development Intensity for each planning area.

2.5.1 Planning Area 1: Light Industrial

Planning Area 1, located along the northern project boundary as depicted in **Figure 2-14, Planning Area 1**, provides for development of approximately 36.1 acres of light industrial land uses. The Target Development Intensity for this planning area is 644,000 square feet with building sizes not to exceed 300,000 square feet.

Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to Table 2-2, Allowable Land Uses and Table 2-3, Development Standards, except as otherwise provided for in the text and exhibits of this Specific Plan.

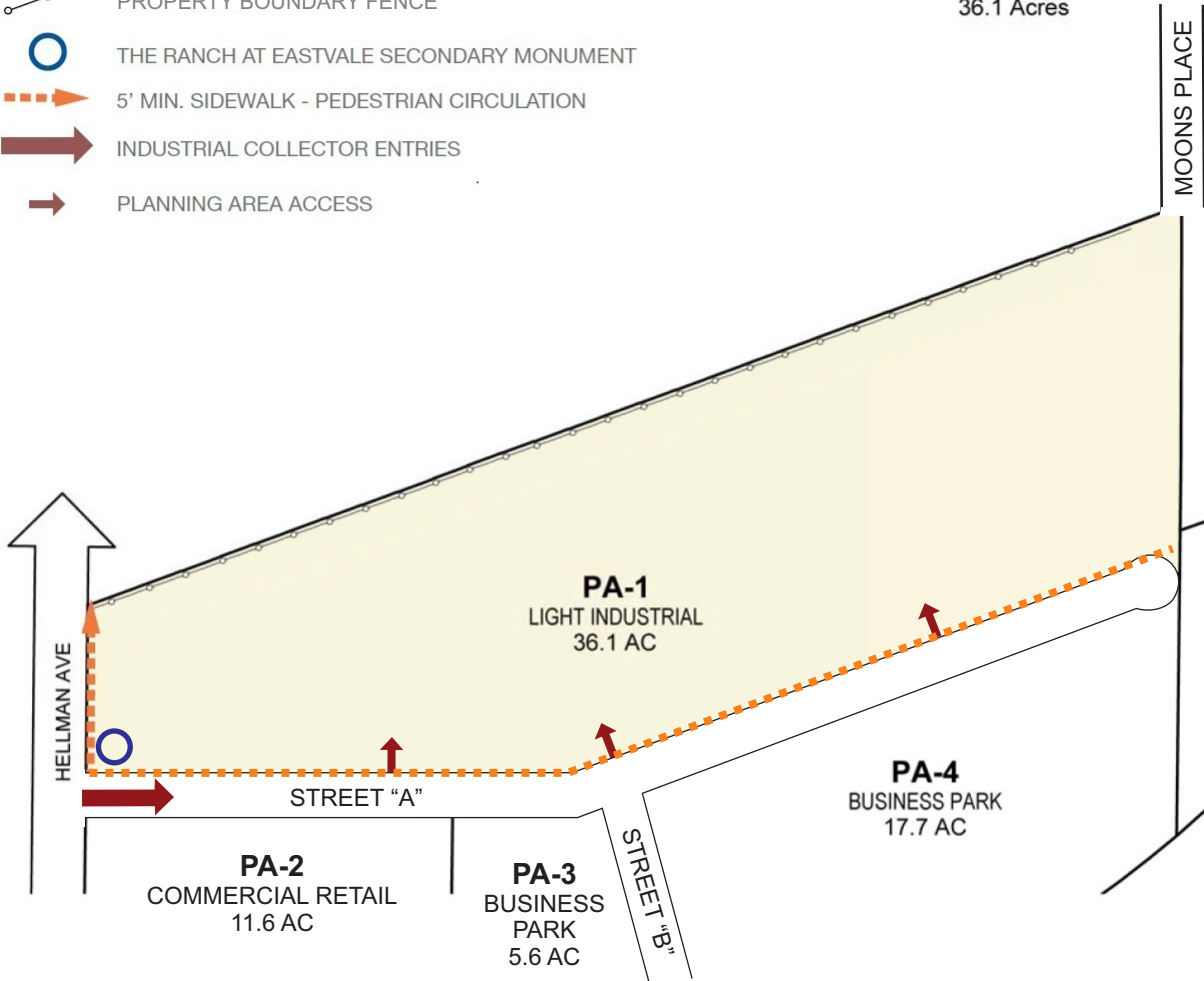
Planning Standards

- 1) Access to Planning Area 1 shall be provided from Hellman Avenue and/or Street A. Future development design may permit internal access between Planning Area 1 and adjoining planning areas.
- 2) The Ranch at Eastvale Secondary Monument shall be provided at the southwest corner of the planning area, as described in Section 3.6.
- 3) A property boundary fence shall be provided along the northern boundary of Planning Area 1.
- 4) Drainage plan concepts and standards are discussed at Section 2.2.2. In the event that Drainage Option A is utilized for the Specific Plan, the concrete truck court at the rear of each building in Planning Area 1 will be extended northerly, since the concrete interceptor channel (required under Drainage Option B) will not be required. Landscape islands/fingers will also be extended accordingly.
- 5) Please refer to Section 3.0 for specific Design Guidelines & Standards and other related design criteria and to Section 4.0 for specific Landscape Guidelines & Standards.
- 6) Please refer to Sections 2.2 through 2.5 for Development Plans and Standards that apply site-wide.

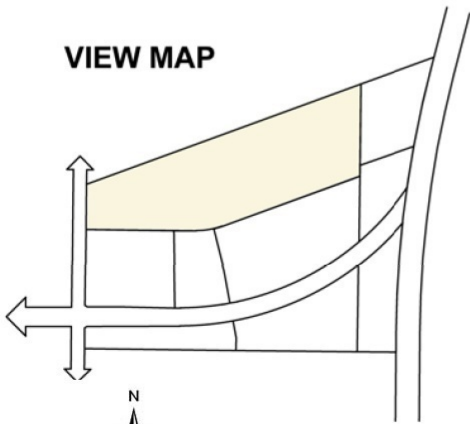
LEGEND

-  PROPERTY BOUNDARY FENCE
-  THE RANCH AT EASTVALE SECONDARY MONUMENT
-  5' MIN. SIDEWALK - PEDESTRIAN CIRCULATION
-  INDUSTRIAL COLLECTOR ENTRIES
-  PLANNING AREA ACCESS

Planning Area 1
LIGHT INDUSTRIAL
36.1 Acres



VIEW MAP



Not to Scale

Figure 2-14
Planning Area 1

2.5.2 Planning Area 2: Commercial Retail

Planning Area 2, located along the western project boundary along the east side of Hellman Avenue and north of Limonite Avenue as depicted in **Figure 2-15, Planning Area 2**, provides for the development of approximately 11.6 acres of commercial retail land uses. The Target Development Intensity for this planning area is 160,000 square feet with no limitation on building size.








Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to Table 2-2, Allowable Land Uses and Table 2-3, Development Standards, except as otherwise provided for in the text and exhibits of this Specific Plan.

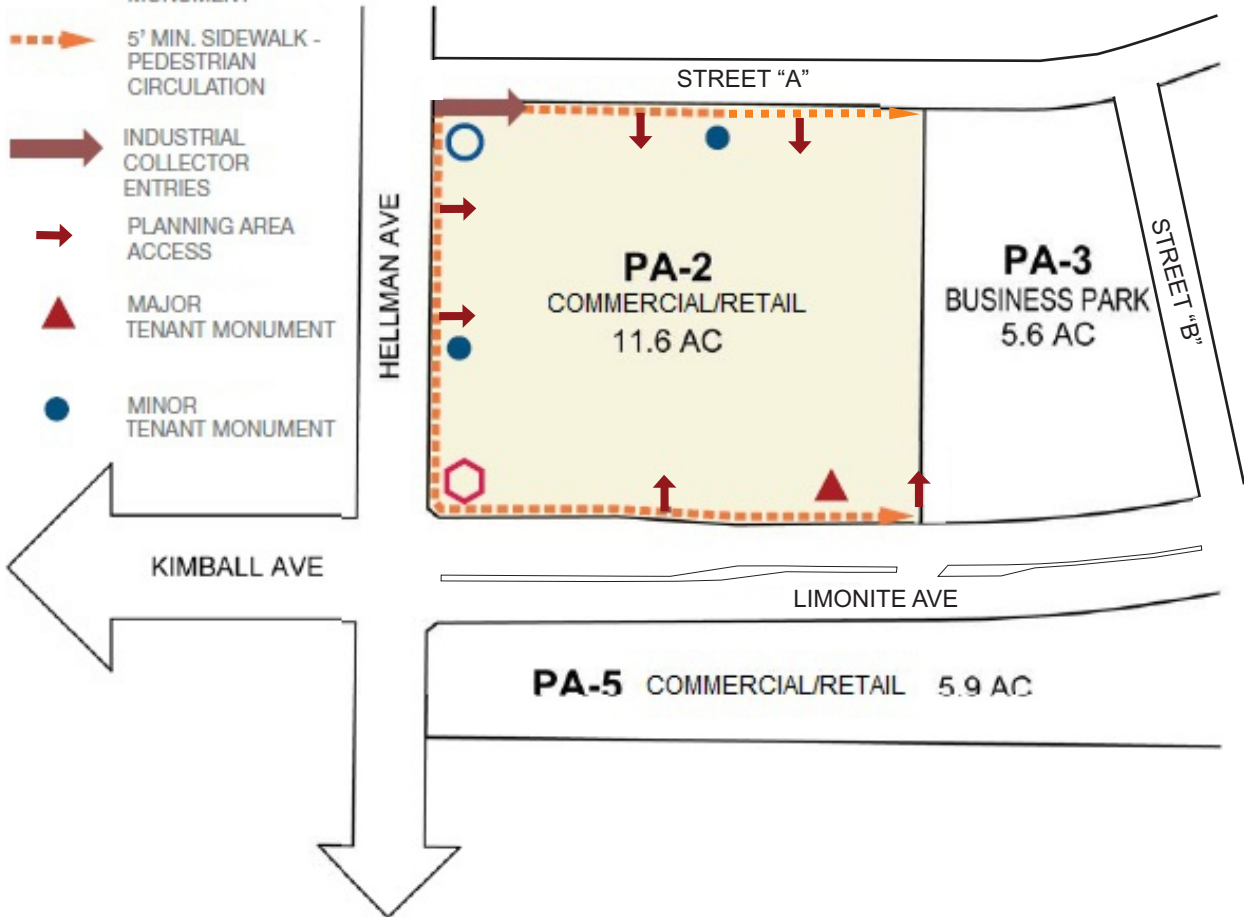
Planning Standards

- 1) Access to Planning Area 2 shall be provided from Hellman Avenue, Limonite Avenue, and Street A. Future development design may permit internal access between Planning Area 2 and adjoining planning areas.
- 2) Pedestrian access is by way of sidewalks along roads and internal pathways to individual businesses that provide connections throughout the project as further described in Section 3.5.
- 3) A Ranch at Eastvale Primary Monument shall be provided at the southwest corner of the planning area, as described in Section 3.6.
- 4) A Ranch at Eastvale Secondary Monument shall be provided at the northwest corner of the planning area, as described in Section 3.6.
- 5) A Major Tenant Monument may be provided along a minimum of one entry road/driveway accessing Planning Area 2 from Limonite Avenue as described in Section 3.6.
- 6) A Minor Tenant Monument may be provided along a minimum of one entry road/driveway accessing Planning Area 2 from Hellman Avenue and along a minimum of one entry road/driveway accessing Planning Area 2 from Street A to the north of Planning Area 2 as described in Section 3.6.
- 7) Please refer to Section 3.0 for specific Design Guidelines & Standards and other related design criteria and to Section 4.0 for specific Landscape Guidelines & Standards.
- 8) Please refer Sections 2.2 through 2.5 for Development Plans and Standards that apply site-wide.

LEGEND

-  THE RANCH AT EASTVALE PRIMARY MONUMENT
-  THE RANCH AT EASTVALE SECONDARY MONUMENT
-  5' MIN. SIDEWALK - PEDESTRIAN CIRCULATION
-  INDUSTRIAL COLLECTOR ENTRIES
-  PLANNING AREA ACCESS
-  MAJOR TENANT MONUMENT
-  MINOR TENANT MONUMENT

Planning Area 2
COMMERCIAL/RETAIL
11.6 Acres



VIEW MAP

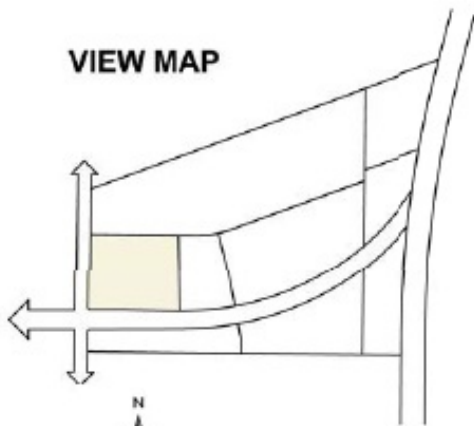


Figure 2-15
Planning Area 2

2.5.3 Planning Area 3: Business Park

Planning Area 3 in the west central internal portion of The Ranch at Eastvale Specific Plan north of Limonite Avenue, depicted in **Figure 2-16, Planning Area 3**, provides for the development of approximately 5.6 acres of business park land uses. The Target Development Intensity for this planning area is 120,000 square feet with building sizes not to exceed 120,000 square feet.

Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to Table 2-2, Allowable Land Uses and Table 2-3, Development Standards, except as otherwise provided for in the text and exhibits of this Specific Plan.

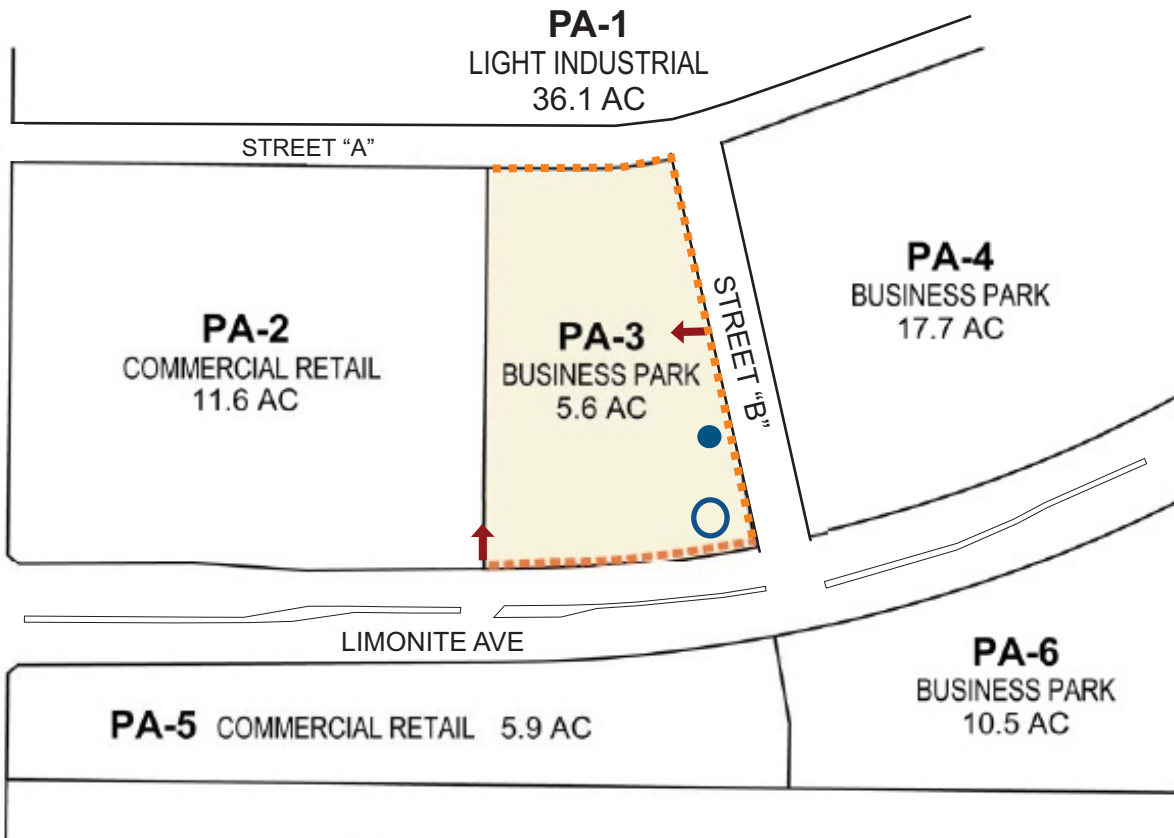
Planning Standards

- 1) Access to Planning Area 3 shall be provided from Limonite Avenue and Street B. Future development design may permit internal access between Planning Area 3 and adjoining planning areas.
- 2) Pedestrian access is by way of sidewalks along roads and internal pathways to individual businesses that provide connections throughout the project as further described in Section 3.5.
- 3) A Ranch at Eastvale Secondary Monument shall be provided at the southeast corner of the planning area, as described in Section 3.6.
- 4) A Minor Tenant Monument may be provided along a minimum of one entry road/driveway accessing Planning Area 3 from Street B as described in Section 3.6.
- 5) Please refer to Sections 3.0 for specific Design Guidelines & Standards and other related design criteria and to Section 4.0 for specific Landscape Guidelines & Standards.
- 6) Please refer to Sections 2.2 through 2.5 for Development Plans and Standards that apply site-wide.

LEGEND

-  THE RANCH AT EASTVALE SECONDARY MONUMENT
-  5' MIN. SIDEWALK - PEDESTRIAN CIRCULATION
-  PLANNING AREA ACCESS
-  MINOR TENANT MONUMENT

Planning Area 3
BUSINESS PARK
5.6 Acres



VIEW MAP

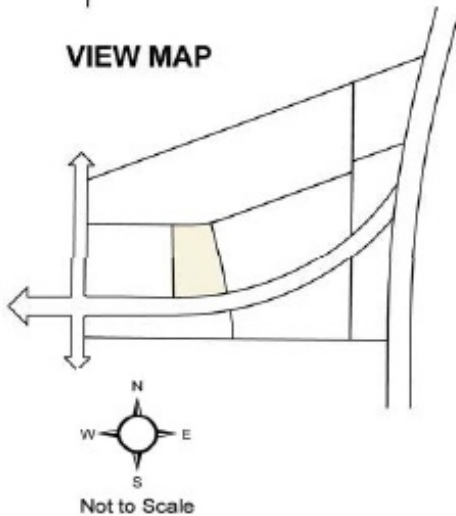


Figure 2-16
Planning Area 3

2.5.4 Planning Area 4: Business Park

Planning Area 4 in the central portion of The Ranch at Eastvale Specific Plan as depicted in **Figure 2-17, Planning Area 4**, provides for the development of approximately 17.7 acres of business park uses. The Target Development Intensity for this planning area is 316,000 square feet with building sizes not to exceed 235,000 square feet within Planning Area 4.

Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to Table 2-2, Allowable Land Uses and Table 2-3, Development Standards, except as otherwise provided for in the text and exhibits of this Specific Plan.

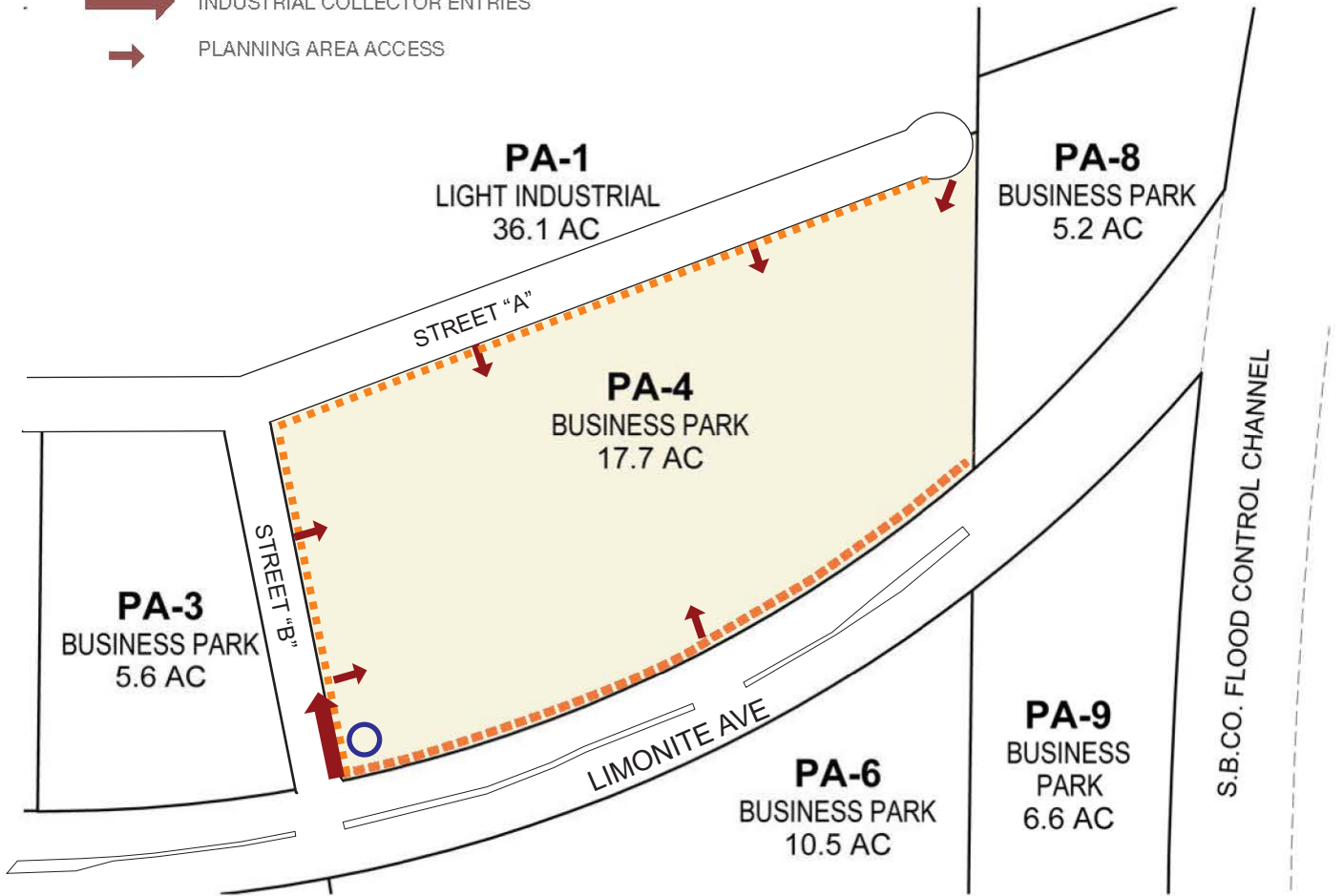
Planning Standards

- 1) Access to Planning Area 4 shall be provided from Limonite Avenue, Street A, and Street B. Future development design may permit internal access between Planning Area 4 and adjoining planning areas.
- 2) Pedestrian access is by way of sidewalks along roads and internal pathways to individual businesses that provide connections throughout the project.
- 3) A Ranch at Eastvale Secondary Monument shall be provided at the southwest corner of the planning area, as described in Section 3.6.
- 4) Please refer to Section 3.0 for specific Design Guidelines & Standards and other related design criteria and to Section 4.0 for specific Landscape Guidelines & Standards.
- 5) Please refer to Sections 2.2 through 2.5 for Development Plans and Standards that apply site-wide.

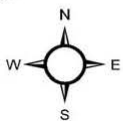
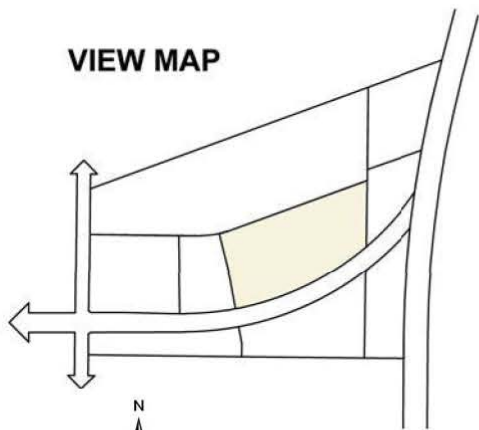
LEGEND

-  THE RANCH AT EASTVALE SECONDARY MONUMENT
-  5' MIN. SIDEWALK - PEDESTRIAN CIRCULATION
-  INDUSTRIAL COLLECTOR ENTRIES
-  PLANNING AREA ACCESS

Planning Area 4
BUSINESS PARK
17.7 Acres



VIEW MAP



Not to Scale

Figure 2-17
Planning Area 4

2.5.5 Planning Area 5: Commercial Retail

Planning Area 5 in the southwestern portion of site located south of Limonite Avenue and east of Hellman Avenue as depicted in **Figure 2-18, Planning Area 5**, provides for the development of approximately 5.9 acres of commercial retail land uses. The Target Development Intensity for this planning area is 50,000 square feet with no limitation on building size.




Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to Table 2-2, Allowable Land Uses and Table 2-3, Development Standards, except as otherwise provided for in the text and exhibits of this Specific Plan.

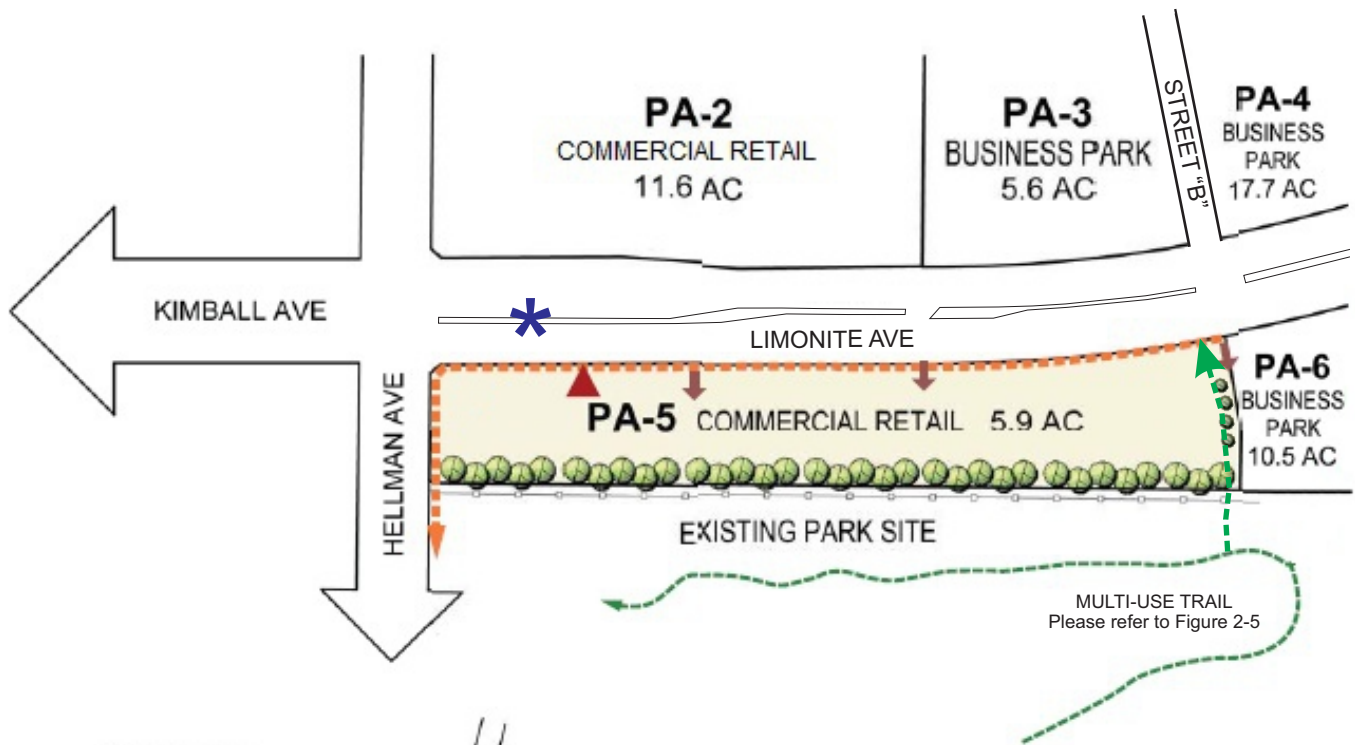
Planning Standards

- 1) Access to Planning Area 5 shall be provided from Limonite Avenue. Future development design may permit access from Hellman Avenue and internal access between Planning Area 5 and adjoining planning areas.
- 2) Pedestrian access is by way of sidewalks along roads, the trail connection to American Heroes Park, and internal pathways to individual businesses that provide connections throughout the project.
- 3) City of Eastvale Monument shall be provided within the Limonite median east of the intersection of Hellman Avenue and Limonite Avenue, or at an alternative location to be determined by the City.
- 4) A Major Tenant Monument may be provided along a minimum of one entry road/driveway accessing Planning Area 5 from Limonite Avenue as described in Section 3.6.
- 5) A tree and shrub buffer treatment (with a minimum of 10 feet in depth) shall be provided within the required setback between the commercial area and the park to the south. The shrub buffer will be implemented consistent with Sections 3.7, and 4.3.
- 6) Please refer to Section 3.0 for specific Design Guidelines & Standards and other related design criteria and to Section 4.0 for specific Landscape Guidelines & Standards.
- 7) Please refer to Sections 2.2 through 2.5 for Development Plans and Standards that apply site-wide.

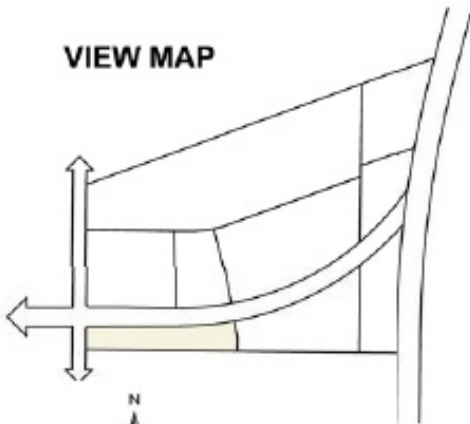
LEGEND

-  THE CITY OF EASTVALE MONUMENT
-  MAJOR TENANT MONUMENT
-  PROPERTY BOUNDARY FENCE
-  TREE EDGE AND SHRUB BUFFER
-  PLANNING AREA ACCESS
-  5' MIN. SIDEWALK - PEDESTRIAN CIRCULATION
-  JCSD MULTI-USE TRAIL (OFF-SITE CLASS 1)

Planning Area 5
COMMERCIAL RETAIL
5.9 Acres



VIEW MAP



Not to Scale

Figure 2-18
Planning Area 5

2.5.6 Planning Area 6: Business Park

Planning Area 6 in the central portion of The Ranch at Eastvale Specific Plan along Limonite Avenue as depicted in **Figure 2-19, Planning Area 6**, provides for the development of approximately 10.5 acres of business park land uses. The Target Development Intensity for this planning area is 88,000 square feet with building sizes not to exceed 40,000 square feet.

Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to Table 2-2, Allowable Land Uses and Table 2-3, Development Standards, except as otherwise provided for in the text and exhibits of this Specific Plan.

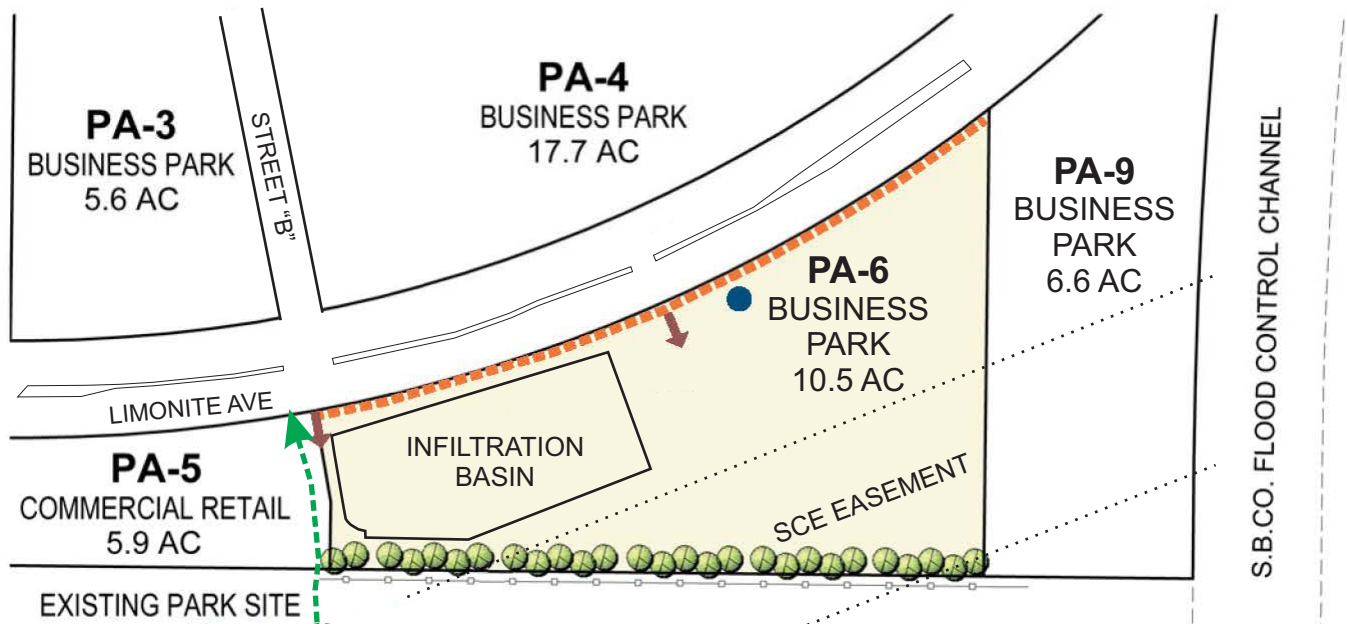
Planning Standards

- 1) Access shall be provided from Limonite Avenue. Future site design may permit internal access between Planning Area 6 and adjoining planning areas.
- 2) Pedestrian access is by way of sidewalks along roads and internal pathways to individual businesses that provide connections throughout the project.
- 3) A Minor Tenant Monument may be provided along a minimum of one entry road/driveway accessing Planning Area 6 from Limonite Avenue as described in Section 3.6.
- 4) Detention basin location and configuration will be determined by final site and grading plans as reviewed and approved by the City. The detention basin shall be a) screened with plants or fencing, b) landscaped in a manner consistent with the approved landscaped plans for surrounding properties, and/or c) designed to serve as functional open space. If the Planning Area 6 basin decreases in size when compared to the concepts presented herein, the resulting area(s) will be added to Planning Area 6.
- 5) A tree and shrub buffer treatment, with a minimum of 10 feet in depth, shall be provided within the required setback between the planning area and the park to the south. The buffer will be implemented along the southern boundary of Planning Area 6, consistent with Sections 3.7 and 4.3. Coordination with Southern California Edison will be required, and may determine an acceptable location and alignment of this feature. If the planter area cannot be located within 50 feet of the park boundary, the City Planning Director shall have authority to delete or modify this requirement.
- 6) Please refer to Section 3.0 for specific Design Guidelines & Standards and other related design criteria and to Section 4.0 for specific Landscape Guidelines & Standards.
- 7) Please refer to Sections 2.2 through 2.5 for Development Plans and Standards that apply site-wide.

LEGEND

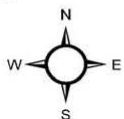
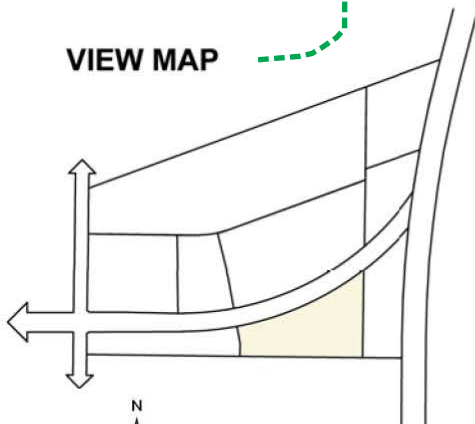
-  MINOR TENANT MONUMENT
-  PROPERTY BOUNDARY FENCE
-  TREE EDGE AND SHRUB BUFFER*
-  PLANNING AREA ACCESS
-  5' MIN. SIDEWALK - PEDESTRIAN CIRCULATION
-  JCS D MULTI-USE TRAIL (OFF-SITE CLASS 1)

Planning Area 6
BUSINESS PARK
10.5 Acres



* Note: Final location of tree and shrub buffer to be determined in coordination with the City and SCE.

VIEW MAP



Not to Scale

Figure 2-19
Planning Area 6

2.5.7 Planning Area 7: Light Industrial

Planning Area 7 located in the northeast corner of The Ranch at Eastvale Specific Plan as depicted in **Figure 2-20, Planning Area 7**, provides for the development of approximately 8.4 acres of light industrial land uses. The Target Development Intensity for this planning area is 156,937 square feet.

Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to Table 2-2, Allowable Land Uses and Table 2-3, Development Standards, except as otherwise provided for in the text and exhibits of this Specific Plan.

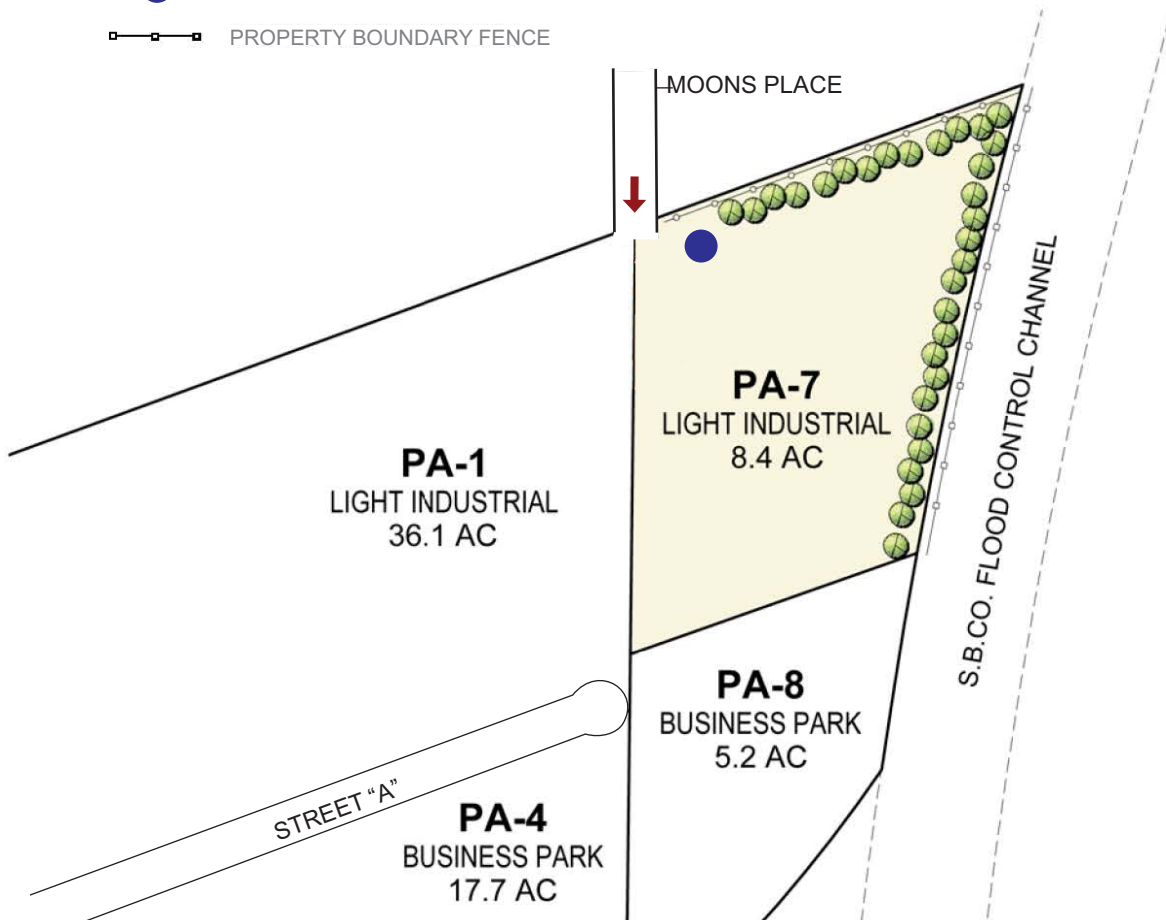
Planning Standards

- 1) Access to Planning Area 7 shall be provided from the north via Moons Place and public streets or private easements within the City of Chino. Future development design may permit internal access between Planning Area 7 and adjoining planning areas.
- 2) Pedestrian access is by way of sidewalks along roads and internal pathways to individual businesses that provide connections throughout the project.
- 3) Please refer to Section 3.0 for specific Design Guidelines & Standards and other related design criteria and to Section 4.0 for specific Landscape Guidelines & Standards.
- 4) Drainage plan concepts and standards are discussed at Section 2.2.2. In the event that Drainage Option A is utilized for the Specific Plan, the area reserved for the concrete interceptor channel (required under Drainage Option B) will become available for integration into future development plans for Planning Area 7.
- 5) Please refer to Sections 2.2 through 2.5 for Development Plans and Standards that apply site-wide.
- 6) A tree and shrub buffer treatment will be implemented along the northern and eastern property line of Planning Area 7, consistent with Section 3.7, Guideline 5.

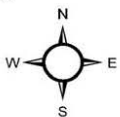
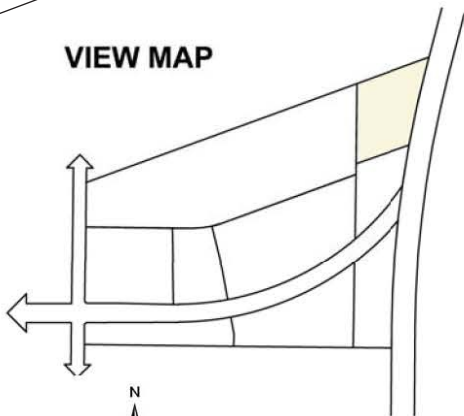
LEGEND

-  TREE EDGE AND SHRUB BUFFER
-  PLANNING AREA ACCESS
-  TENANT SIGNAGE
-  PROPERTY BOUNDARY FENCE

Planning Area 7
LIGHT INDUSTRIAL
8.4 Acres



VIEW MAP



Not to Scale

Figure 2-20
Planning Area 7

2.5.8 Planning Area 8: Business Park

Planning Area 8 located at the center of the eastern project boundary and on the north side of Limonite Avenue as depicted in **Figure 2-21, Planning Area 8**, provides for the development of approximately 5.2 acres of business park land uses. The Target Development Intensity for this planning area is 122,216 square feet.

Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to Table 2-2, Allowable Land Uses and Table 2-3, Development Standards, except as otherwise provided for in the text and exhibits of this Specific Plan.

Planning Standards

- 1) Access to Planning Area 8 shall be provided from Street A and may be provided from Limonite Avenue. Future development design may permit internal access between Planning Area 8 and adjoining planning areas.
- 2) Pedestrian access is by way of sidewalks along roads and internal pathways to individual businesses that provide connections throughout the project.
- 3) Please refer to Section 3.0 for specific Design Guidelines & Standards and other related design criteria and to Section 4.0 for specific Landscape Guidelines & Standards.
- 4) Please refer to Sections 2.2 through 2.5 for Development Plans and Standards that apply site-wide.
- 5) A tree and shrub buffer treatment will be implemented along the eastern property line of Planning Area 8 (along the flood control channel), consistent with Section 3.7, Guideline 5.

LEGEND

-  TENANT SIGNAGE
-  TREE EDGE AND SHRUB BUFFER
-  INDUSTRIAL COLLECTOR ENTRY
-  5' MIN. SIDEWALK - PEDESTRIAN CIRCULATION
-  PROPERTY BOUNDARY FENCE

Planning Area 8
BUSINESS PARK
5.2 Acres

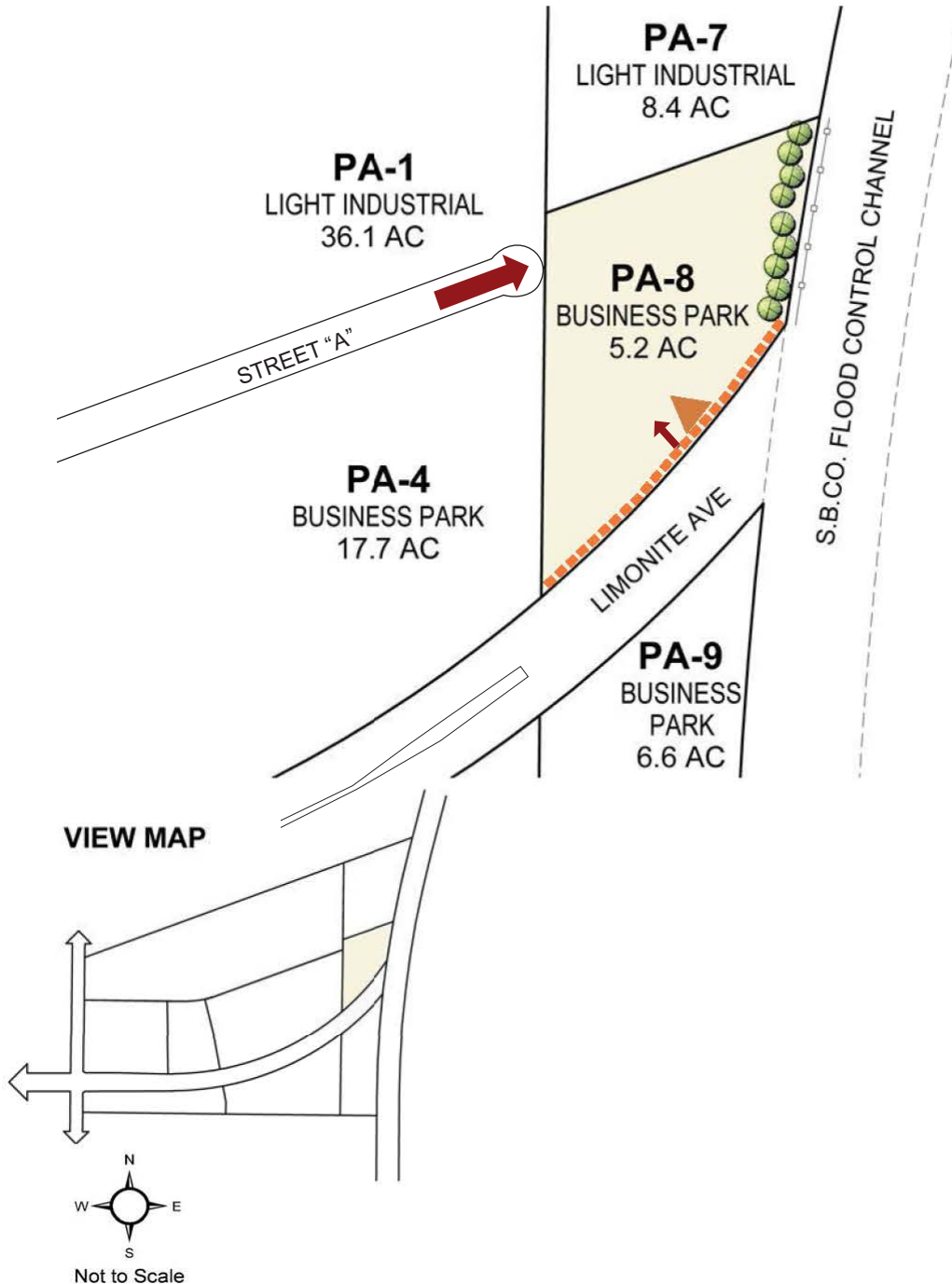


Figure 2-21
Planning Area 8

2.5.9 Planning Area 9: Business Park

Planning Area 9 located at the southeast corner of the project between the southern project boundary and the south side of Limonite Avenue as depicted in **Figure 2-22, Planning Area 9**, provides for the development of approximately 6.6 acres of business park land uses. The Target Development Intensity for this planning area is 155,121 square feet.






Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to Table 2-2, Allowable Land Uses and Table 2-3, Development Standards, except as otherwise provided for in the text and exhibits of this Specific Plan.

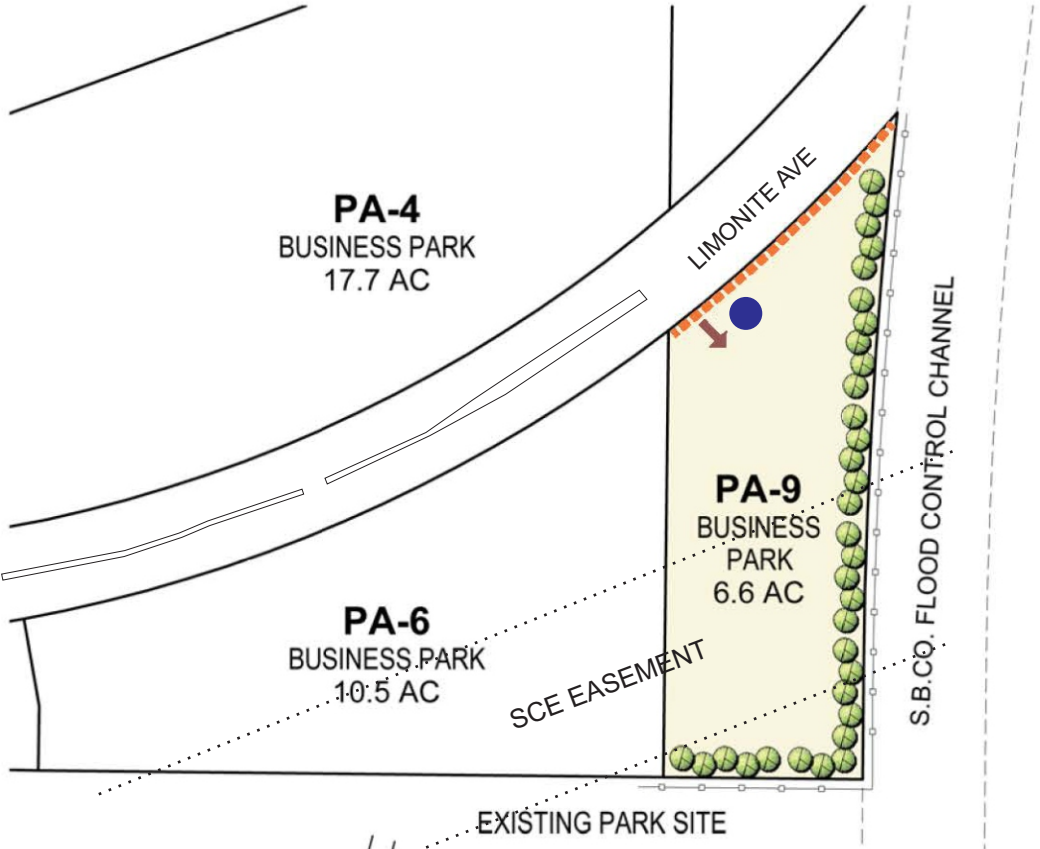
Planning Standards

- 1) Access to Planning Area 9 shall be provided from Limonite Avenue subject to approved traffic standards in effect for the planning area at the time of development.
- 2) Pedestrian access is by way of sidewalks along roads and internal pathways to individual businesses that provide connections throughout the project.
- 3) A tree and shrub buffer treatment with (a minimum of 10 feet in depth) shall be provided along the eastern and southern property line of Planning Area 9. The shrub buffer will be implemented consistent with Sections 3.7 and 4.3. Coordination with Southern California Edison will be required, and may determine an acceptable location and alignment of this feature. If the planter area cannot be located within 50 feet of the park boundary, the City Planning Director shall have authority to delete or modify this requirement.
- 4) Please refer to Section 3.0 for specific Design Guidelines & Standards and other related design criteria and to Section 4.0 for specific Landscape Guidelines & Standards.
- 5) Please refer to Sections 2.2 through 2.5 for Development Plans and Standards that apply site-wide.

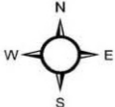
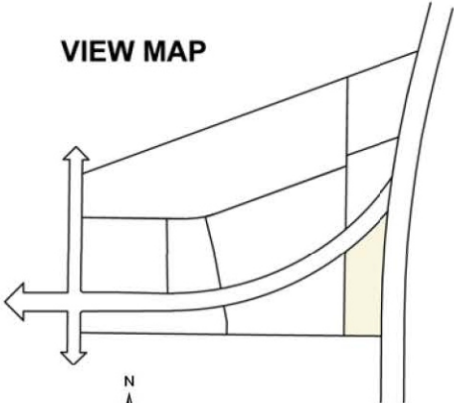
LEGEND

-  TREE EDGE AND SHRUB BUFFER
-  PLANNING AREA ACCESS
-  5' MIN. SIDEWALK - PEDESTRIAN CIRCULATION
-  PROPERTY BOUNDARY FENCE
-  TENANT SIGNAGE

Planning Area 9
 BUSINESS PARK
 6.6 Acres



VIEW MAP



Not to Scale

Figure 2-22
 Planning Area 9

2.6 Specific Plan Administration

2.6.1 Interpretation

In the event that there are conflicts between the proposed Specific Plan regulations and the provisions of the City of Eastvale Municipal Code, the provisions of the Specific Plan shall prevail.

In case of uncertainty or ambiguity to the meaning or intent of any provision of this Specific Plan, the Planning Director (Director) has the authority to interpret the intent of the provision. The Director has the authority to make interpretations and approve modifications to this Specific Plan, including the determination that a proposed project exceeds the flexibility, rules, and intent of the Specific Plan. In the latter case, an amendment to the Specific Plan would be necessary. The Director's determination shall be rendered within 15 working days of a request for interpretation.

The Planning Director may, at their discretion, refer interpretations to the Planning Commission for consideration and action. Such a referral shall be accompanied by an analysis of issues related to the interpretation. All interpretations made by the Director may be appealed to the Planning Commission, and subsequently the City Council.

2.6.2 Severability

If any section, subsection, sentence, clause, or phrase of this Specific Plan, or future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court, such decision shall not affect the validity of the remaining portions of the plan.

2.6.3 Approval Authority

The Planning Director shall be responsible for administering, interpreting, and enforcing all requirements and standards of the Specific Plan, including the acceptance and processing of all land use permit applications. The Director is also the final approval authority for the following:

- Substantial Conformance Interpretation Determination;
- Minor Development Plan Review, including Architectural Review;
- Sign Permits;
- Modification to Master Sign Program;
- Zoning Clearance for building permits;

- Certificates of Occupancy; and
- Temporary Use Permits.

The Planning Commission is the final approval authority for Major Development Review applications including but not limited to:

- Conditional Use Permits
- Adjustments
- Tentative Maps

The City Council is the final approval authority for Specific Plan Amendments and Final Maps.

2.6.4 Environmental Review and Authority

The evaluation of environmental impacts for The Ranch at Eastvale Specific Plan is contained in Environmental Impact Report (EIR) No. 498 prepared by the County of Riverside for Specific Plan No. 358 (The Ranch at Eastvale Specific Plan). Pursuant to Section 15183 of the State California Environmental Quality Act (CEQA) Guidelines, implementing development projects which do not result in worsening of significant impacts identified in the EIR than the development evaluated in EIR No. 498 or new significant impacts shall not require additional environmental review, except as might be necessary to make this determination. The Planning Director will make the determination of what level of CEQA documentation is appropriate and may require technical information necessary to do so. The Planning Commission will make CEQA compliance determinations for all implementing projects that require a Subsequent or Supplemental EIR.

2.6.5 Review and Approval of Implementing Development Proposals

In addition to the approval process identified within Section 2.6.3, above, the review and approval of subsequent development proposals will be accomplished by the means of the following processes.

Substantial Conformance Interpretation Determination

Where there is a question or ambiguity regarding the interpretation of any provision of the Specific Plan, the Planning Director has the authority to interpret the intent of the provision, however the spirit and intent of The Ranch at Eastvale should be the guide in making the interpretation. All interpretations are subject to appeal to the Planning

Commission and the City Council per the procedures contained within the Zoning Code that is in effect at the time of the appeal.

Minor Development Review

Development proposals are considered to comport with the Specific Plan and its requirements provided that such development is consistent with the land uses permitted within the Specific Plan (Table 2-2) and do not exceed the Maximum Development Intensity per planning area as shown in Table 2-1; and the overall Specific Plan does not exceed 1,812,274 square feet. Such developments shall be approved consistent with the procedures set forth in Section 2.1.B of the City of Eastvale Zoning Code, Minor Development Review.

Major Development Review

Projects that do not qualify for a Minor Development Review require a Major Modification. The filing, processing approval process of a Major Modification shall be considered pursuant to Section 2.1.C of the Eastvale Zoning Code, or correlating provisions of the Municipal Code effective at the time of development permit application(s).

Conditional Use Permits

Uses requiring the approval of a conditional use permit are identified in Table 2-2 of this Specific Plan with a "C" symbol. Uses requiring a conditional use permit shall be subject to the filing, required findings, notification, hearing, and appeal procedures identified in Section 2.2 of the Eastvale Zoning Code, or correlating provisions of the Municipal Code effective at the time of development permit application(s).

Adjustments

Where practical difficulties or unnecessary hardships would occur as a result of the strict interpretation and application of the provisions of this Specific Plan, an adjustment may be considered subject Section 2.3 of the Eastvale Zoning Code, or correlating provisions of the Municipal Code effective at the time of development permit application(s).

Specific Plan Amendments

Approval of this Specific Plan indicates acceptance by the City Council of a general framework for community development. Part of that framework establishes specific development standards that constitute the zoning regulations for the Specific Plan. It is anticipated that certain modifications to the Specific Plan text, exhibits, and/or

development mix may be necessary during the lifetime of the project. Any modifications to the Specific Plan text shall occur in accordance with the objectives and intent set forth herein.

Amendments may be requested at any time pursuant to Section 65453(a) of the Government Code, or correlating provisions of the Municipal Code effective at the time of development permit submittal(s). Depending upon the nature of the proposed Specific Plan amendment, a supplemental environmental analysis may be required, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162.

Any Specific Plan Amendment initiated by an applicant shall require preliminary review by the Planning Director, filing of an official application and required materials supporting the amendment, and submittal of a fee deposit prior to Planning Commission and City Council review. All amendments to this Specific Plan shall be adopted by ordinance and shall take effect 30 days after final adoption by the City Council.

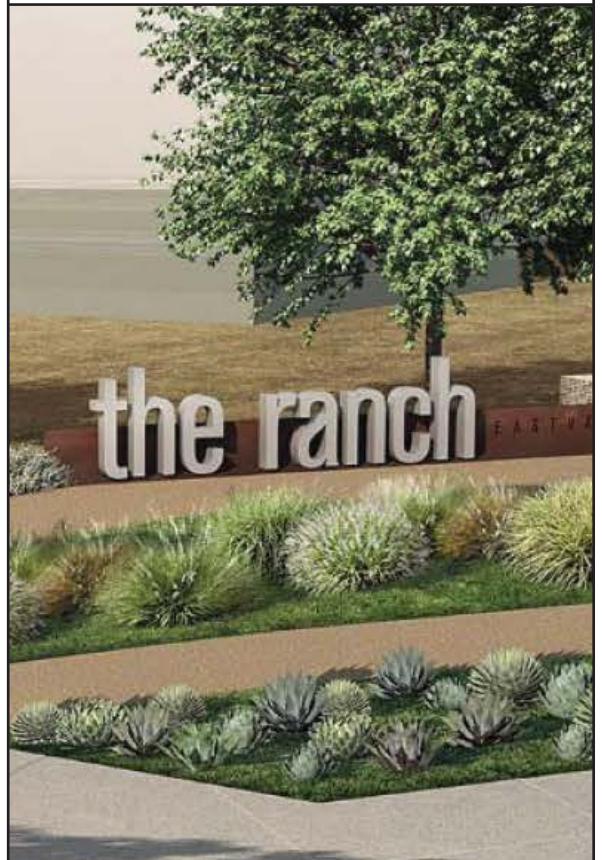
2.6.6 Appeals

Appeals from any determination of the Planning Director may be made by any applicant(s) or other aggrieved party filing an application, on forms provided by the City of Eastvale, and accompanied by the appropriate filing fee, where applicable, within ten (10) days following the final date of action for which an appeal is made. Appeals shall be processed consistent with the provisions of the City of Eastvale Code.

2.6.7 Sunset Provision

The City may initiate an amendment or revocation proceeding on all or any portion of this Specific Plan if a development proposal for all or any portion of the Specific Plan has not been submitted within twenty (20) years of the City Council's adoption of the Specific Plan.

Section 3.0
Design
Guidelines



3.0 DESIGN GUIDELINES & STANDARDS

As stated in Chapter 2.0, development standards will be interpreted as required development features of the project and development guidelines will be interpreted as recommendations. Variations from guidelines in implementing projects will be administratively approved by the Planning Department and an amendment to the Specific Plan or a minor revision shall not be required. The City Planning Director will determine the required level of review/application required for any variations from development standards in implementing projects, in accordance with Section 2.6.

3.1 Architectural Theme

Mid-Century Modern (“Modern”) design concepts will be reflected in all project buildings, establishing the overall architectural theme for the project. Mid-century modern is an architectural, interior, product and graphic design that generally describes mid-20th century developments from roughly 1933 to 1965. The Modern architectural theme is expressed through clean lines, simple shapes, and unornamented façades. Typical materials employed include: reinforced concrete, glass, and steel. A Modern architectural theme will serve as the overriding design guideline for all implementing development projects within the Specific Plan area.

3.2 Architecture

Within the context of the overall Modern architectural theme for the project, the following elements and considerations should be incorporated into building designs.



3.2.1 Industrial/Business Park Guidelines

- **Flat planes** – Buildings should include strong geometric lines which are regular and rigorous.
- **Architectural Aluminum Features** – Buildings should include architectural aluminum features such as “eyebrows” above the office window lines. The eyebrows create long horizontal shadow lines which will be featured at prominent points such as building entries.
- **Window Forms** – Proportioned to emphasize the wall and solid forms.

- **Window Materials** – Anodized aluminum frames with clear or tinted glazing. The glazing proposed is a blue-green hue which picks up and complements the landscape palette for the project.
 - **Clerestory Glazing** – Clerestory glazing should be utilized to allow light penetration into the warehouse/assembly areas.
 - **Large, prominent design element** – Buildings should include a strong design element(s) to create visual interest that naturally draws people to the primary entry.
 - **Building Body Color Palette** – The building color palette should be heavily focused on the warm color themes including earth tones and planting/landscape colors. Standard building wall colors should range from light warm grays to tan/beige hues.
 - **Articulation of Building Façades** – Façades that face public streets and/or on-site public areas should receive greater attention to design details and articulation than those that are less visible or screened from pedestrians or automobiles to create visual interest and human-scale elements. This can be accomplished through the use of design elements such as:
 - Windows
 - Arcades
 - Trellises
 - Awnings
-
- **Primary Materials** – Painted concrete tilt-up is the primary structure of industrial buildings. Building articulation, entries, corners, towers or other key areas should utilize additional materials and/or elements such as:
 - Metal accent elements
 - Steel beams
 - Metal trellises
 - Stone
 - Marble or tile
 - Split-faced concrete block
 - Plastered elements
 - Textured concrete or other materials
 - Protruding crown molding
 - Stepped parapets
 - Wall lighting
 - **Roof Elements** – Flat overhanging roofs and eaves forming covered entries or loggias are encouraged. Parapets must extend high enough to block views of the roof itself

and all roof-mounted equipment. Although the majority of roof areas may be flat, the massing of visible elevations should be broken-up with elements such as variation in roof heights or parapet treatments with architectural details.

- **Shading Elements** – Provide shade such as wood (or wood-looking metal) trellises, larger overhangs for outdoor seating for shade.



Examples of Modern Architectural Elements

3.2.2 Industrial/Business Park Standards

- **Building Entries** – Individual building entries shall feature distinctive elements which make them easily recognizable as the entry and provide an architectural focal point. Color and other accents which complement the building body colors and design will be used. These colors and design elements will be intermixed throughout the project to give individual identity and variety to building entry locations. All building accents, whether painted concrete, glass and aluminum, or other features need to tie back to the prevailing color themes in the landscaping and signage in the Specific Plan.
- **Extensive Glazing** – Larger buildings shall incorporate extensive amounts of glazing at the main entries. Smaller buildings will also feature healthy glazing ratios in keeping with building massing and scale.



- **Articulation of Building Façades** – No building façade visible to Limonite or Hellman Avenue shall have an uninterrupted length of wall measuring greater than 130 feet which does not include architectural design element(s) which interrupt the effect of the long wall, such as:
 - Change in texture
 - Change in color
 - Change in material
 - Change in plane
 - Lattice or trellis elements
 - Pilasters
 - Other design elements

If a façade visible to Limonite or Hellman Avenue exceeds 250 feet in length, greater/different articulation is required every 250 feet, such as:

- Change in parapet height
 - Larger/different version of elements in use to meet the 130-foot requirement
- **Rooftop Equipment** – Roof-mounted equipment shall be screened from views from public streets and pedestrian-level views from walks, courtyards, entries and parking lots through the use of parapets, screen walls, equipment wells, mechanical room enclosures, and similar design features. Where possible, integrate rooftop equipment into the overall mass of a building. Screening devices other than parapet walls should be designed as an integral element of the building mass. Picket fencing, chain-link fencing, and metal boxes are not acceptable. The top of screening method should be at least as high as the top of the equipment.
 - **Loading Area Screen Walls** – All screen walls for industrial facilities must be integrally designed to complement the building architecture.
 - **Employee Break Areas** – Outdoor amenities shall be provided. Specific Plan land uses shall provide outdoor employee break areas to encourage the use of outdoor spaces for relaxation, socializing and informal gatherings. These areas shall be connected to main proximate building entries/exits via defined landscaped paths. Employee break areas will include enhanced paving, seat walls, trash receptacles, bike racks, tables and chairs. All outdoor break areas will include some form of shading, either from trees, trellises or umbrellas.

3.2.3 Commercial Retail Guidelines

- **Flat planes** – Buildings should include strong geometric lines which are regular and rigorous.
- **Architectural Aluminum Features** – Buildings should include architectural aluminum features such as “eyebrows” above the window lines. The eyebrows create long horizontal shadow lines which will be featured at prominent points such as building entries.
- **Window Forms** – Proportioned to emphasize the wall and solid forms.
- **Window Materials** – Anodized aluminum frames with clear or tinted glazing. The glazing proposed is a blue-green hue which picks up and complements the landscape palette for the project.
- **Shaded Walkways** – The building itself should create shaded areas and walkways, where feasible. Such shaded areas can be created through the use of colonnades where upper building floors project further out than the first floor. In modern styles these are often cantilevered but if supporting columns are used, they should be placed to define the arcade and frame the building façade aligning with doors and windows. Freestanding colonnades are encouraged for pedestrian connectivity.
- **Building Accents** – All building accents, whether painted concrete, glass and aluminum, or other features need to tie back to the prevailing color themes in the landscaping and signage in the Specific Plan.
- **Articulation of Building Façades** – Façades that face public streets and/or on-site public areas should receive greater attention to design details and articulation than those that are less visible or screened from pedestrians or automobiles to create visual interest and human-scale elements. This can be accomplished through the use of design elements such as:
 - Windows
 - Arcades
 - Trellises
 - Awnings
- **Primary Materials** – Painted concrete tilt-up is the primary structure of industrial buildings. Building articulation, entries, corners, towers or other key areas should utilize additional materials and/or elements such as:
 - Metal accent elements
 - Steel beams



- Metal trellises
 - Stone
 - Marble or tile
 - Split-faced concrete block
 - Plastered elements
 - Textured concrete or other materials
 - Protruding crown molding
 - Stepped parapets
 - Wall lighting
- **Roof Elements** – Buildings should be crowned with a discernible roof edge feature(s). Flat overhanging roofs and eaves forming covered entries or loggias are encouraged. Although in the modern style, the majority of roof areas may be flat, the massing of visible elevations should be broken-up with elements such as variation in roof heights or parapet treatments with architectural details such as:
 - Towers
 - Protruding crown molding
 - Roof corbels supporting overhangs
 - Stepped parapets
 - Change in texture of the building body material

3.2.4 Commercial Retail Standards

- **Architectural style** – One architectural style shall apply to all buildings within a commercial retail planning area. Variation within the chosen style and materials theme for a planning area is encouraged through simple changes such as color and entry treatments. The Planning Director may grant complete variation from the style for major national retail chains that have to maintain certain characteristics for identification.
- **Detailing** – An attractive appearance to all façades shall be provided through careful detailing, especially at the base of buildings, along eaves, parapets, and around entries and windows. Appearance may also be enhanced through the correct use of expansion joints and reveals. Downspouts shall be concealed on façades visible from the streets unless they are designed as an integral part of the architecture and formed from accepted trim materials of naturally finished wood or steel.
- **Articulation of Building Façades** – No commercial building façade visible to the public shall have an uninterrupted length of wall measuring greater than 65 feet

which does not include architectural design element(s) which interrupt the effect of the long wall, such as:

- Change in texture
 - Change in color
 - Change in material
 - Change in plane
 - Lattice or trellis elements
 - Pilasters
 - Decorative light fixtures
 - Material inlays
 - Variation within the architectural style
 - Murals, graphics
 - Other design elements
- **Rooftop Equipment** – Roof-mounted equipment shall be screened from views from public streets and pedestrian-level views from walks, courtyards, entries and parking lots through the use of parapets, screen walls, equipment wells, mechanical room enclosures, and similar design features. Where possible, integrate rooftop equipment into the overall mass of a building. Screening devices other than parapet walls should be designed as an integral element of the building mass. Picket fencing, chain-link fencing, and metal boxes are not acceptable. The top of screening method shall be at least as high as the top of the equipment.
 - **Building Entries** – Individual building entries shall feature distinctive elements which make them easily recognizable as the entry and provide an architectural focal point. Color and other accents which complement the building body colors and design shall be used. Building offsets or recesses should be used to accentuate building entries and form courtyards.
 - **Windows and Doors** – Windows and doors shall be designed to include but are not limited to:
 - Recessing or protruding surrounds of not less than four inches
 - Trim elements
 - Headers and sills
 - Awnings (Cloth awnings are discouraged and continuous awnings on an entire building should be avoided)
 - Mullion patterns as appropriate to the architectural style

- **Four-sided Architecture** – Unless an acceptable alternative is approved by the City, all materials shall wrap architectural elements in their entirety especially on all elevations which are visible to the public.
- **Building Entries** – Provide defined building entrances and entry access points that are easily located from a distance by pedestrians and/or vehicular traffic.
- **Site Integration** – Project a positive public image, enhancing the function and aesthetics of the center by integrating buildings with landscape and/or structural elements.
- **Large, prominent design element** – Buildings shall include a strong design element(s) such as towers to create visual interest and draw people to primary entries and pedestrian courtyards.
- **Stone Accents** – The commercial retail uses in particular shall feature horizontal stone work. It may be utilized as a seat wall, building plinth/base zone, etc.
- **Shading Elements** – Provide shade in commercial areas such as wood (or wood-looking metal) trellises, larger overhangs for outdoor seating for shade.

3.3 Building Site Layout and Arrangement Standards and Guidelines

The following concepts are intended to address the placement of the buildings themselves as well as the interval between buildings. They are intended to facilitate consistent design quality and compatibility of buildings in each of the three distinct project areas and with the uses adjacent to the project. Site design should address the intended functions of the facility and provide efficient vehicle circulation and parking, pedestrian movement to buildings and throughout the project, and truck maneuvering and access to loading zones. Guidelines presented below would be applicable to all development within the Specific Plan area.

3.3.1 Project-wide Site Layout Standards

Site design shall, as appropriate to the land use, create opportunities for outdoor plazas and courtyards as part of the landscaped interval between buildings. Plazas and courtyards are required as a site amenity and design detail. Buildings shall be arranged to include opportunities for plazas, courts or gardens, and outdoor eating areas for customers, clients, and employees with amenities that can include: outdoor seating, tables, landscaping, raised planters, patio covers, enhanced paving, water elements, arbors, special lighting, and other “place-making” features.

3.3.2 Project-wide Site Layout Guidelines

- 1) A system of pedestrian walkways within each planning area based on the following concepts should be developed that interconnect all major building entries with each other, parking areas, and the streets:
 - a) Walkways should connect to courtyards and plazas within the project.
 - b) Pedestrian linkages should be a minimum of five feet wide and follow ADA/Title 24 standards for surfacing, slope, and other requirements.
 - c) Walkways with enhanced paving are preferred in areas visible from Hellman Avenue, Limonite Avenue, Streets A and B, and within plazas and patios.
 - d) Conflicts between pedestrian and vehicle circulation should be minimized through the utilization of pathways for direct pedestrian access from parking areas to business entries and throughout the site with internal pedestrian linkages.
 - e) Defined entrances and entry access points that are easily located from a distance by pedestrians and/or vehicular traffic should be provided.
 - f) A positive public image should be provided by enhancing the function and aesthetics of the project by integrating buildings with landscape and/or structural elements.

3.3.3 Industrial Site Layout Guidelines

- 1) Buildings should be located to facilitate the ease of truck parking and loading.
- 2) Orient loading bays to the rear or non-street side of structures.

3.3.4 Business Park Site Layout Guidelines

- 1) Buildings should be located to facilitate the ease of truck parking and loading while being sited to create opportunities for outdoor common areas between buildings such as plazas, patios and courtyards for employee use.
- 2) Orient loading bays to the rear of structures.

3.3.5 Commercial Retail Site Layout Guidelines

- 1) The commercial retail planning areas will be designed for high levels of pedestrian activity where safe and appropriate. These planning areas are expected to provide special opportunity for plazas adjacent to building entrances, in food service areas or between building clusters. Plazas should

- be defined using a combination of paving textures and patterns, site walls or fences, and shade elements like trellises.
- 2) Parking should be located in shared facilities to the greatest extent possible. Large expanses of parking lots should be broken-up with screen walls, buildings, plazas, landscaping or by other means.
 - 3) Orient building entries toward plazas, outdoor eating areas, sidewalks and other public gathering places.
 - 4) Establish connections among buildings and plazas through structural and landscape elements which serve as pedestrian amenities such as colonnades, arcades, loggias, arches, etc.
 - 5) To the extent possible, orient storage and service areas away from public view and provide ornamental screening for utility boxes, trash bins, outdoor storage, and other mechanical equipment.
 - 6) Truck loading docks should be screened from public view to the extent possible. Screening may be accomplished through the use of compatible landscaping or comparable materials that blend with the architectural treatments of the site and perimeter landscaping.

3.4 Building Mass & Form Guidelines

3.4.1 Industrial/Business Park Building Mass & Form Guidelines

Buildings greater than 100 feet in length, and all multi-tenant buildings, should provide architectural definition and differentiation of tenancy through creative design solutions, including but not limited to, employing façade/structural massing, building offsets, a palette of complementary materials and colors, and varied parapet heights and rooflines. The desired result is a rhythm of visual form along the façades of these buildings. Small-scale articulation of the building mass and materials are appropriate at locations where pedestrians will experience them.



3.4.2 Commercial Retail Building Mass & Form Guidelines

Due to their prominent location at the intersection of Limonite Avenue and Hellman Avenue, the project commercial retail buildings would be highly visible from adjacent streets and other off-site vantages. From a design perspective, this offers a prime opportunity for a visual and physical expression of the high quality character of the City of Eastvale. Therefore, the following design considerations should be kept in mind during the site planning and design for commercial centers in this location.

- 1) Buildings should exhibit variations in massing, material, and color to break down scale and avoid a single box building mass. Primary building entries should be highlighted through the massing of the building. Greater height can be used to highlight and accentuate entries in the form of corner tower elements, tall voids or a central mass meeting an entry plaza. Conversely, smaller building masses can also communicate the location of entries.
- 2) Buildings greater than 100 feet in length, and all multi-tenant buildings, should provide architectural definition and differentiation of tenancy by employing façade/structural massing, building offsets, a palette of complementary materials and colors, and varied parapet heights and rooflines. The desired result is a rhythm of visual form along the façades of these buildings. Small-scale articulation of the building mass and materials are appropriate at locations where pedestrians will experience them.



Examples of Commercial Retail Buildings



Examples of Light Industrial Buildings



Examples of Business Park Buildings

3.5 Public Spaces and Pedestrian Access

Public spaces and pedestrian circulation would be provided throughout the Specific Plan area consistent with Policies articulated in the City of Eastvale General Plan and *City of Eastvale Design Standards and Guidelines* (June 25, 2014), and restated below:

Public Spaces

NRDS-6: All commercial developments shall be designed to maximize integration with, and safe pedestrian connectivity to, nearby residential neighborhoods, parks, transit access areas, and other community features where feasible and desirable. (GP Policy DE-24)

NRDG-6: Commercial developments should have public open space areas such as plazas, courtyards, expanded walkways, or other areas suitable for small gatherings. The public open space areas should be sized appropriately for the development. (GP Policy DE-19)

Pedestrian Access

NRDS-4: Nonresidential building entrances shall provide easy, attractive accessibility to pedestrian walkways and pathways. (GP Policy DE-21)

NRDS-5: Safe and well-defined pedestrian connections from buildings to parking areas, from buildings to the adjoining street(s), and among buildings on the same site shall be provided. (GP Policy DE-24)

NRDS-7: Enhanced paving materials or other techniques shall be used to identify pedestrian connections. (GP Policy DE-24)



Example of public spaces and pedestrian circulation

3.6 Signs

The various project monuments and signs are designed to inform, create an identity, and complement each other. Monument signs and complementary landscape/hardscape elements will create a sense of place and define the project area. The Modern architectural theme expressed in the project buildings will be echoed in the project monument signs through the use of earth colors, natural materials, and custom-crafted details. The placement of monument signs will establish a sense of arrival into the City of Eastvale generally, and The Ranch at Eastvale Specific Plan area explicitly. Monument sign design guidelines are presented below. Locations of project monument signs are identified at **Figure 3-1, Monument Sign Plan**.

Guidelines

- 1) **The Ranch at Eastvale Primary Monument** – This monument will be located at the northeast corner of Limonite Avenue and Hellman Avenue. The monument will consist of “the ranch” brand in simple, modern, lower-case letters. To convey a sense of permanence, “the ranch” letters will be free-standing 4-foot high, thick, solid architectural quality colored concrete. The concrete cast letters will be directly epoxy anchored to a concrete footing below. Directly behind the concrete letters sits a linear 24-inch high, thick, Corten steel plate. Corten steel weathers and ages well in hot environments. The City of Eastvale will be identified on the Corten steel plate with 9-inch high “EASTVALE” pierce-cut letters. The monument sign area will be landscaped and will incorporate light fixtures providing low-level accent illumination. (See **Figure 3-2, Signage – Primary Monument Sign**.)
- 2) **The Ranch at Eastvale Secondary Monument Signs** – Four secondary monument signs are proposed, and would be located at both corners of the Street A intersection at Hellman Avenue; and at both corners of the Street B intersection at Limonite Avenue. Secondary monument signs will express the above-described Primary monument sign elements at a reduced scale. “The ranch” letters will be fabricated, heavy gauge, painted aluminum letters which straddle a linear 24-inch high, thick, Corten steel plate. The aluminum letters will be attached to the Corten plate to deter any vandalism. As with the primary monument, the “City of Eastvale” will be identified on the Corten steel plate with 9-inch high “EASTVALE” pierce-cut letters to reinforce the brand image. The monument sign area will be landscaped and will

incorporate light fixtures providing low-level accent illumination. (See **Figure 3-3, Signage – Typical Secondary Monument.**)

- 3) **Major Tenants Monument Signs** – Two major tenant monument signs are proposed, one each to be located on the north and south sides of Limonite, between Hellman Avenue and Street B. Major retail/mixed use tenant monument signs will accommodate 5–6 tenant names with interchangeable panels. The main body of the monument will be a fabricated, heavy gauge, painted aluminum cabinet. A thick, Corten steel plate with a pierce-cut “ranch” logo will reinforce the brand image. The tenant names will be internally illuminated for evening visibility and identification. A low Gabion planter may be integrated, enhancing the appearance of the monument and providing a visual reference to other Specific Plan landscape elements. (See **Figure 3-4, Typical Major Monument.**)

- 4) **Minor Tenant Monument Signs** – Four minor tenant monument signs are proposed, one along Hellman Avenue between Limonite Avenue and Street A; one along the south side of Street A between Hellman Avenue and Street B, and one along the westerly side of Street B frontage between Street A and Limonite Avenue. An additional sign would be located along the south side of Limonite Avenue within Planning Area 6. Minor retail/mixed use tenant monument signs will express the above-described major retail/mixed use tenant monument sign elements at a reduced scale.

Minor retail/mixed use tenant monument signs will accommodate 5–6 tenant names with interchangeable panels. The main body of the monument will be a fabricated, heavy gauge, painted aluminum cabinet. A thick, Corten steel plate with a pierce-cut “ranch” logo will reinforce the brand image. The tenant names will be internally illuminated for evening visibility and identification. A low Gabion planter may be integrated, enhancing the appearance of the monument and providing a visual reference to other Specific Plan landscape elements. (See **Figure 3-5, Signage – Typical Minor Monument.**)

5) **City of Eastvale Monument Sign**

A "City of Eastvale" monument sign would be constructed within the Limonite Avenue right-of-way, easterly of the Limonite Avenue–Hellman Avenue intersection. Precise location, dimensions, and design of this sign will be determined by the City. It is anticipated that this sign would integrate elements common to, and would complement, other signs implemented within the Specific Plan area.

6) **Directional Signs**

Directional signs are limited to signs identifying the location of entrances, parking areas, etc., and must be located within a landscaped planter. Directional signs are permitted up to a maximum of 12 square feet per side and shall be no more than 6 feet and 2 feet in width. (See **Figure 3-6, Signage – Typical Directional.**)

7) **Directory Signs**

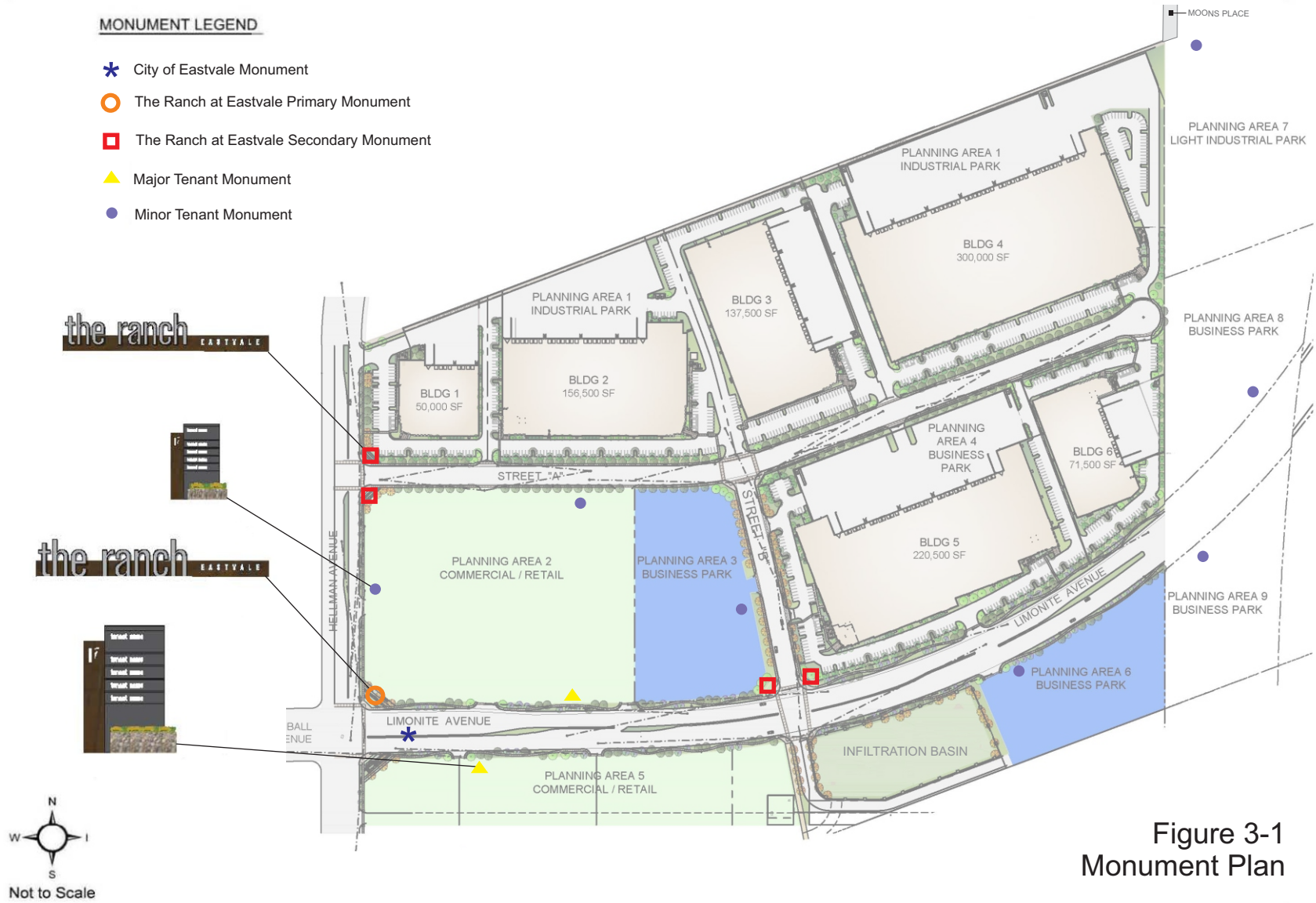
Directory signs are intended to be used in all planning areas to help pedestrians find a specific tenant. Directional signs may show tenant names, addresses and/ or a map. Directional signs shall not exceed 6 feet in height and 2 feet in width, and 12 square feet in surface area per sign. (See **Figure 3-7, Signage – Typical Directory.**)

8) **Tenant/Building Wall Signs**

This signage will be in compliance with City of Eastvale zoning code in force at the time of sign approvals. (Signs Affixed to Buildings – All Areas).

MONUMENT LEGEND

- * City of Eastvale Monument
- The Ranch at Eastvale Primary Monument
- The Ranch at Eastvale Secondary Monument
- ▲ Major Tenant Monument
- Minor Tenant Monument



**Figure 3-1
Monument Plan**

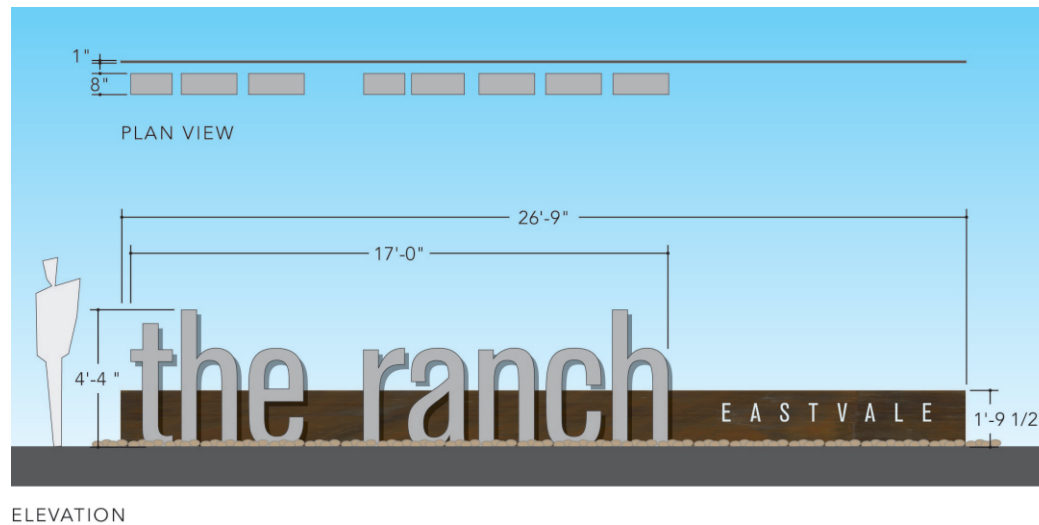


Figure 3-2
Primary Monument Sign

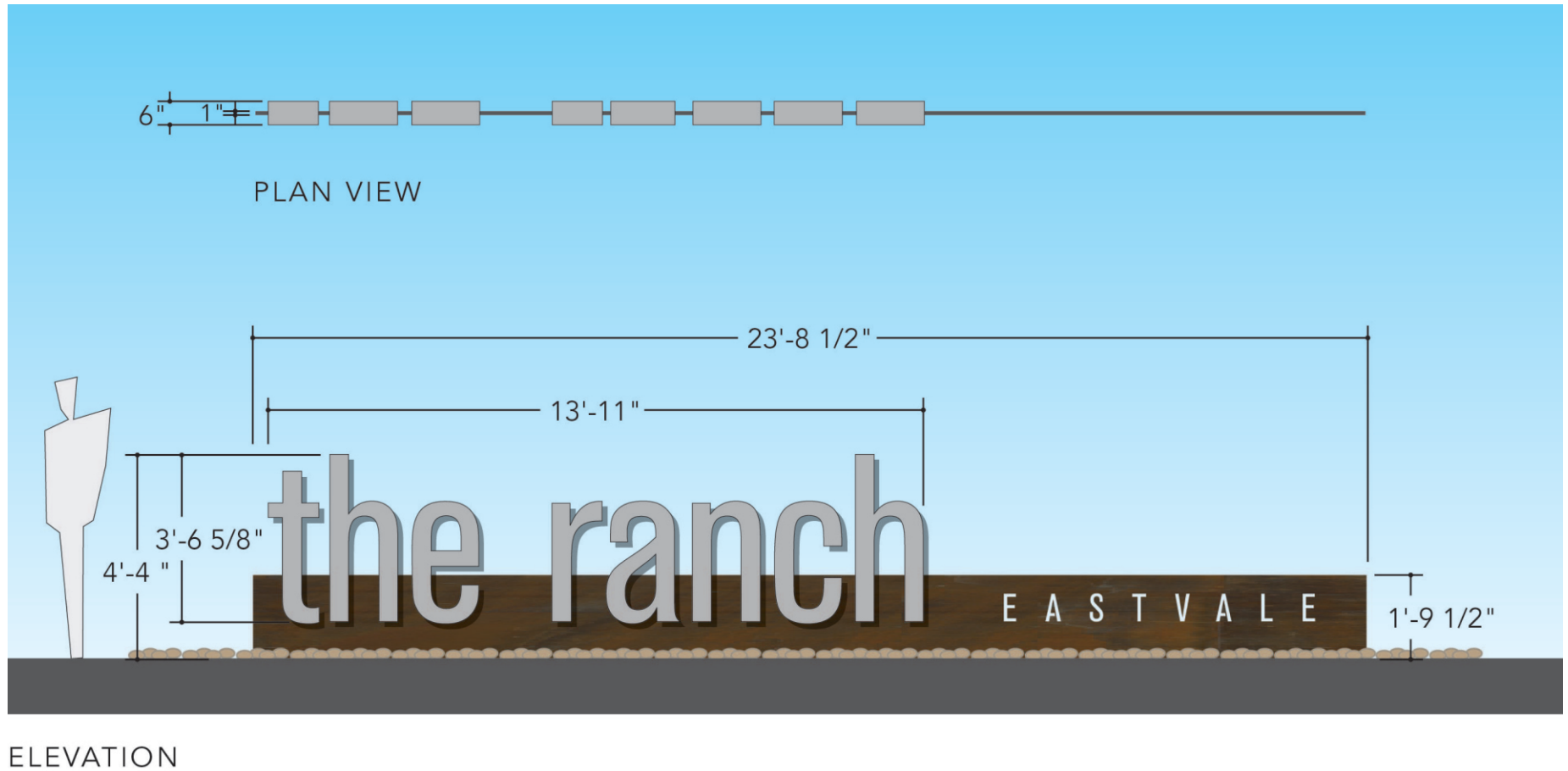
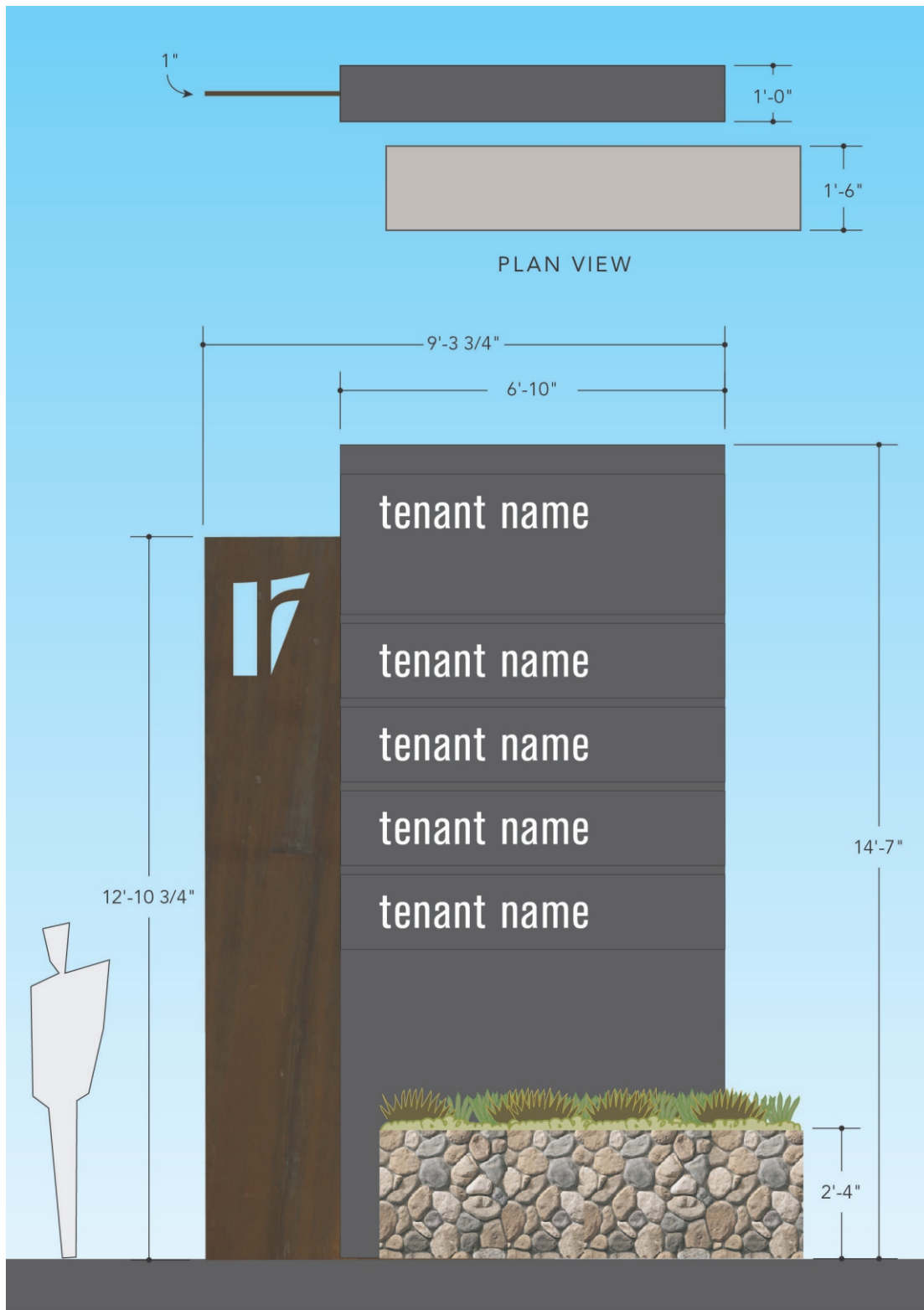
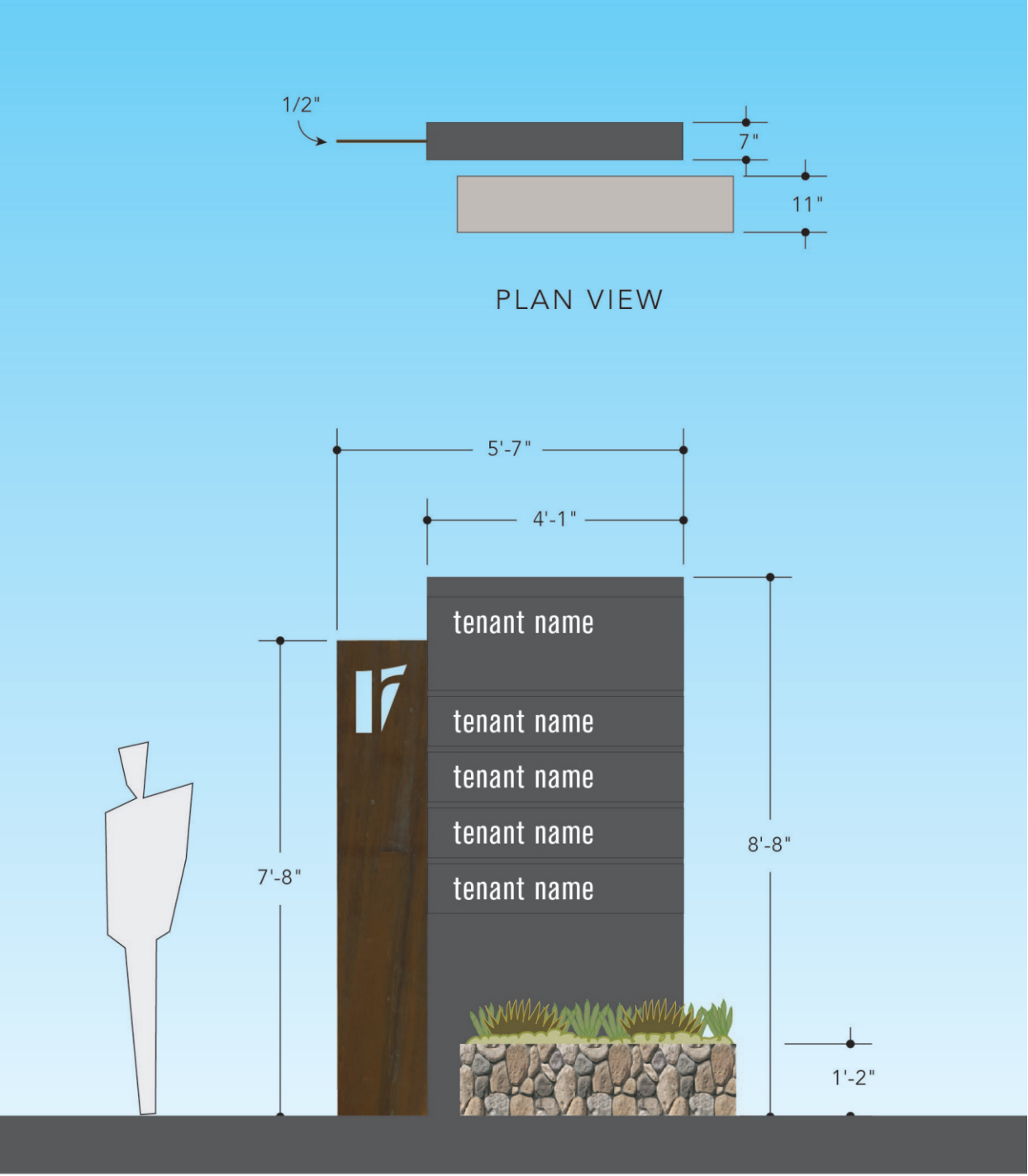


Figure 3-3
Signage -Typical Secondary Monument



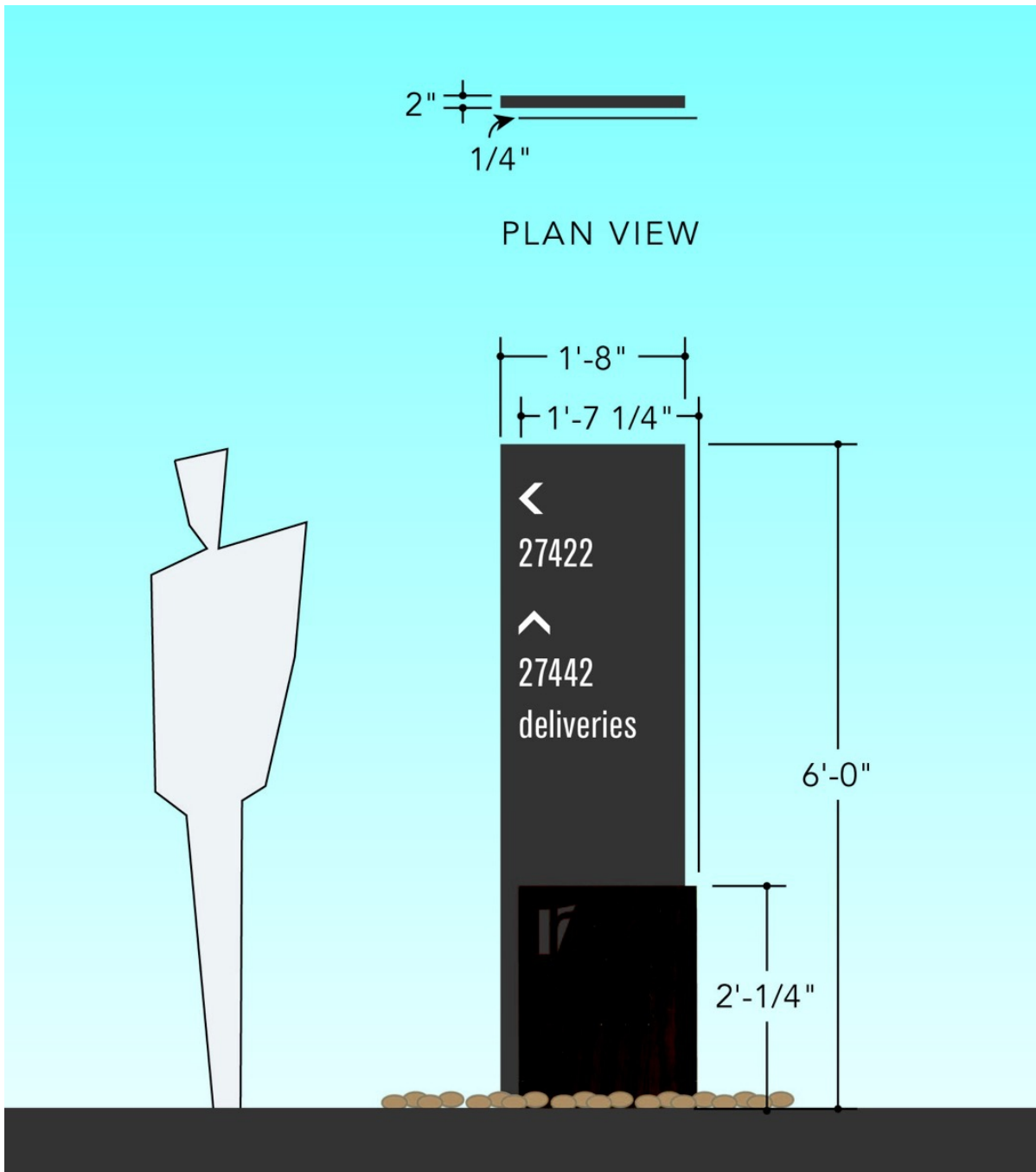
ELEVATION

Figure 3-4
Signage -Typical Major Monument



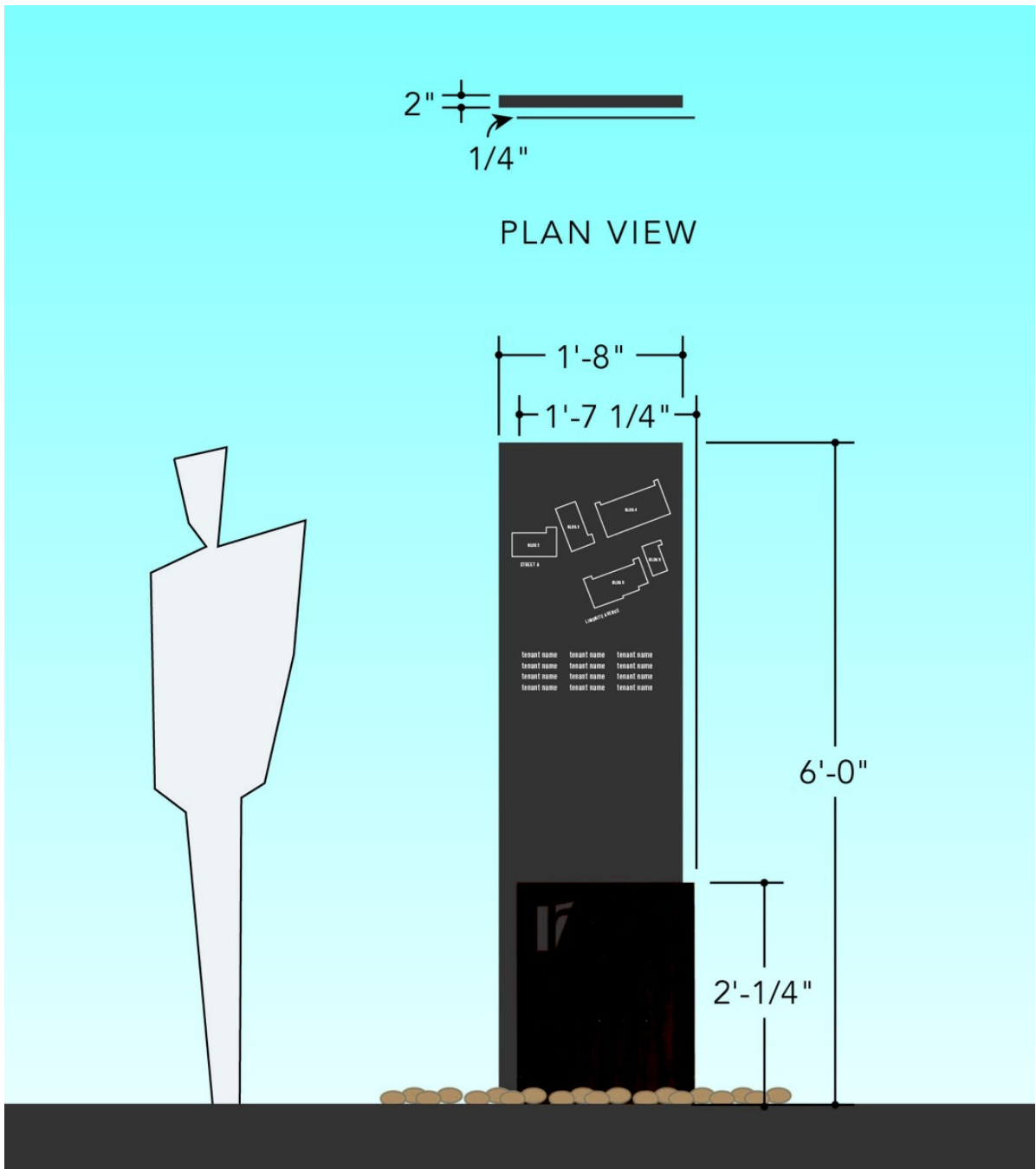
ELEVATION

Figure 3-5
Signage -Typical Minor Monument



ELEVATION

Figure 3-6
Signage - Typical Directional



ELEVATION

Figure 3-7
Signage - Typical Directory

3.7 Screening, Walls, and Fences

3.7.1 Standards

- 1) Service areas, external loading areas, above ground utility equipment, and roof-mounted equipment shall be screened from public view. Screening may be accomplished by the use of buildings, walls, fences, trellises, landscaping, or a combination of elements pursuant to the following guidelines.
- 2) Landscaping shall be used to provide screening with open fences and to soften the appearance and linear nature of all walls.
- 3) A shrub buffer, consisting of clusterings of various types and sizes of shrubs will be strategically located along the southern and eastern edge of the Specific Plan area. The buffer will be 10 feet minimum in depth and placed within the required setback. The buffer will serve as a visual demarcation between the divergent land uses and affects Planning Area 5 through Planning Area 9.
- 4) The design and location of all walls and fences shall be submitted and approved as part of the Major Development Plan approval process.

3.7.2 Guidelines

- 1) Open fences with landscape screening are acceptable screening for some areas, as approved by City.
- 2) From streets and exterior property lines, perimeter screen walls/fences should not exceed 6 feet in height. An effective screen height of up to 8 feet may be realized through incorporation of supporting landscape berms of up to 2 feet in height. Taller landscaping and/or depressed loading areas on-site may be used to achieve necessary screening of trucks and truck bays.
- 3) Gates to loading areas visible from the street or public areas shall be constructed with tubular steel or heavy timber framing finished with solid metal or wood screening complementary to the project design.
- 4) Sites requiring screening fences or walls with gates should have the gates located such that they offset a direct view into loading area and, where possible, maximize the extent of screening and minimize views into the loading area when the gates are open.
- 6) Typical ground-mounted equipment, such as transformers, and trash enclosures (See Section 3.9, below.) should be screened or located out of view from the street or prominent public areas of the site. Screening may be accomplished with walls or landscape elements that are consistent with these guidelines.

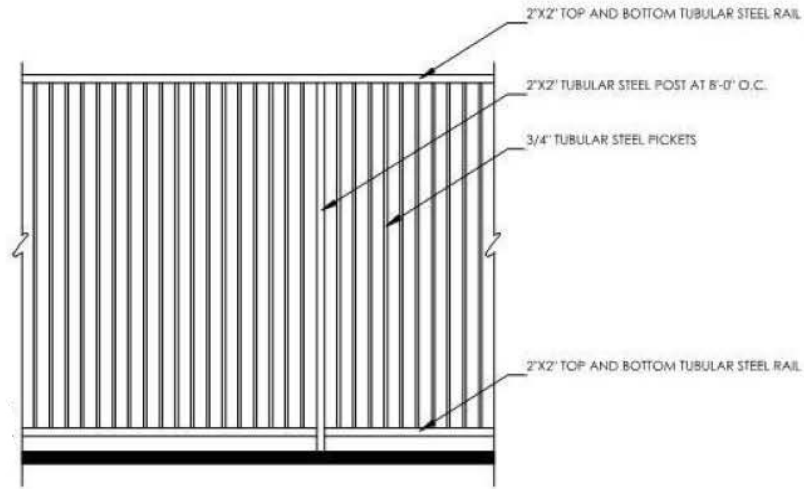
- 7) Wall-mounted items, such as roof ladders or electrical panels, should be located away from the street façade, if possible. They should be screened or incorporated into the architectural elements of the building so as not to be visually apparent from the street or public areas on the site.
- 8) Service areas should be located on the sides or rear of the buildings they serve.

3.7.3 Walls and Fences

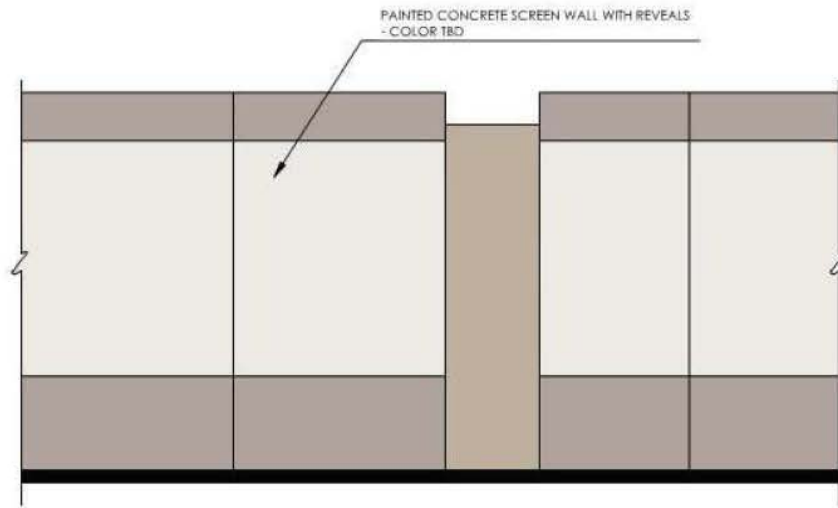
Walls and fences shall be compatible in design and materials throughout each project planning area. They may be used to screen parking, loading, and service areas; direct pedestrian traffic; define plazas and seating areas; define entry points; create landscape planters; and enhance a building's architectural design. See **Figure 3-8, Fence and Wall Design**, and guidelines below.

3.7.4 Walls and Fences Guidelines

- 1) **Site Wall Forms** – Simple geometries that are integrated with the massing and design of the adjacent buildings. Long walls should be articulated to break up the visual length using color, columns/pilasters, modulation, landscaping, etc.
- 2) **Site Wall Materials** – Textured masonry, textured concrete, textured plaster with lighter infill panels, or other materials as approved as part of the Major Development Plan review process.
- 3) **Interior Fence Materials** – Concrete columns and metal or concrete for infill, tubular steel with steel post or pilasters, or other materials as approved as part of the Major Development Plan review process.
- 4) **Perimeter Fencing** – Perimeter fencing shall be either tubular steel fencing with steel posts or pilasters or a concrete wall with accenting reveals, or other materials as approved as part of the Major Development Plan review process.
- 5) Walls and fences should be designed to complement the surrounding landscaping and visually relate to the architectural theme of adjacent structures.



TUBULAR STEEL FENCE - Typical



CONCRETE WALL - Typical

Figure 3-8
Fence and Wall Design

3.8 Outside Furnishings

A pedestrian friendly environment shall be created through the use of site furnishings at plazas, building entrances, and other pedestrian areas.

3.8.1 Outside Furnishings Standards

- 1) Specific Plan land uses shall provide outdoor employee break areas to encourage the use of outdoor spaces for relaxation, socializing, and informal gatherings. These areas shall be connected to proximate main entries/exits via defined landscaped paths. Employee break areas will include enhanced paving, seat walls, trash receptacles, bike racks, tables, and chairs. All outdoor break areas will include some form of shading, either from trees, trellises, or umbrellas.

3.8.2 Outside Furnishings Guidelines

- 1) Outside furnishings include but are not limited to light fixtures, bollards, benches, trash receptacles and signage.
- 2) An appropriate style of furnishing for the theme of the implementing project may be selected and utilized at appropriate locations throughout the development.
- 3) Outdoor furnishings should complement nearby building and landscape architecture.
- 4) Site features, such as lighting, trash receptacles, signage, recycling receptacles, bicycle racks, planters, and benches should be designed as an integral part of each implementing project and distributed throughout.
- 5) Transit shelters, where necessary, shall be designed to be compatible with adjacent buildings.



Example of outside furnishings

3.9 Trash Enclosures

Waste collection areas are a necessary element for all businesses. However, they should not be a source of distraction to the quality of the developed property. Through proper design and integration, a trash enclosure can blend into an existing structure or become a complementary structure to the primary building through the use of common material and design features pursuant to the following guidelines:

3.9.1 Trash Enclosures Standards

- 1) Trash receptacles (including recycling and green waste containers) should not be stored within a required front or side yard and should be screened from view of the public right-of-way by a solid fence not less than six feet in height. Exceptions to fence height-standards may be granted by the designated approving authority to ensure proper placement and screening of trash receptacles.
- 2) Trash enclosures should be located on the rear or side of the buildings or otherwise discretely placed out of prominent public view.
- 3) Trash enclosures should be constructed in a style and wall finish that is consistent with the overall architectural character of the development.
- 4) Enclosures should be provided to accommodate the numbers and types of trash containers as required by the disposal company.
- 5) All trash enclosures should be equipped with complementary gates of durable construction, hinged to self-supporting steel posts.
- 6) Appropriate lighting should be provided at each enclosure to assure personal safety.
- 7) Separate pedestrian access to the trash receptacles shall be provided.

3.10 Lighting

3.10.1 Standards

- 1) Each implementing project within The Ranch at Eastvale must provide a lighting plan at the Major Development Review stage to show adequate lighting levels for the ease and safety of vehicular and pedestrian travel while respecting the regulations imposed by the Riverside County ALUC. This is particularly critical at this early stage of project review because light poles are prohibited in ALUC open space areas.

- 2) Uniform light standards (poles) shall be utilized throughout a given planning area with regard to style, materials, and colors in order to ensure consistent design. Additional lighting fixtures shall be well integrated into the visual environment and the appropriate theme.
- 3) Lighting levels shall meet City of Eastvale standards as found in Zoning Code Section 5.5, in effect at the time of development.

3.10.2 Guidelines

- 1) All street and parking lot light fixtures should be a compatible design with others in The Ranch at Eastvale.
- 2) Additional lighting features for downward illumination of buildings and site features are encouraged to add interest to the site during evening hours.
- 3) Light standards should be located and designed to minimize direct illumination beyond the parking lot or service area.
- 4) All exterior lighting designs should address the issue of security. Walkways from parking areas to building entries should be illuminated brighter than their surroundings. Building entries should be illuminated brighter than the other portions of the building. Light bollards are encouraged throughout the project to illuminate all sidewalks and connecting walkways.
- 5) Building-mounted lights will provide aesthetic and functional benefits by emphasizing building architectural features and illuminating the fronts and sides of buildings so they are visible from adjacent streets. Wall-mounted lights are, as a rule, not acceptable for general parking lot illumination. Building-mounted lights are however permissible for general illumination at the rear of the buildings if designed to direct light downward and minimize direct illumination beyond the parking lot or service area. Building-mounted lights that would also necessarily function as parking lot lighting within ALUCP "open areas" are also permitted.
- 6) Lighting should be directed, or shielded, to avoid intrusion into residential neighborhoods and to minimize spill light into the night sky, adjacent properties, and roadways.
- 7) All lighting fixtures should be manufactured of high quality materials that are compatible with project area's design elements and adjacent architectural styles and should consist of energy-efficient fixtures and lamps. All new outdoor lighting fixtures should be energy efficient with a rated average bulb life of not less than ten thousand (10,000) hours.

- 8) Accent lighting, including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, and similar areas should be downward- focused, directed, and arranged to minimize glare, distraction for airplanes and illumination of streets or adjoining property. Low intensity, energy conserving night lighting is preferred.
- 9) Accent lighting will be allowed for all permanent monument or project signage, or focal features such as fountains, overhead structures, and garden art objects, and may consist of downlights, spotlights, pole lights, bollards, or bar lights. Use of uplights should be used only where they can be precisely directed at the object to be illuminated and will not direct light upward into the sky.
- 10) Service area lighting should be contained within the service area boundaries and enclosure walls.
- 11) Exempt and prohibited lights shall consist of lighting described in the Eastvale Municipal Code Sections 5.5(B) and 5.5(C), or correlating provisions of the Municipal Code effective at the time of development permit application(s).



Examples of Lighting Fixtures

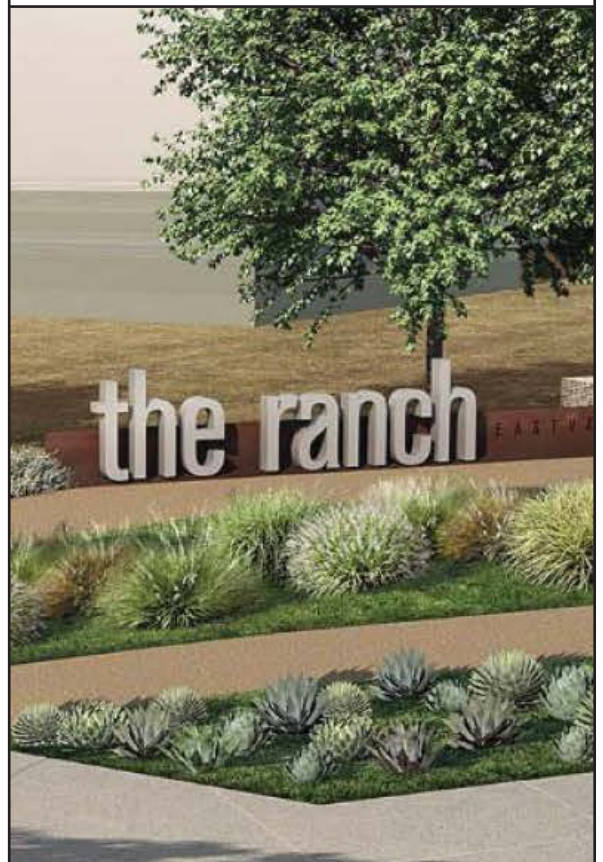
3.11 Airport Land Use Commission (ALUC) Building Design Requirements

The Ranch at Eastvale Specific Plan was reviewed by the Riverside County ALUC on September 10, 2015. After review and deliberation, the Commission found the project to be consistent with the 2008 Chino Airport Land Use Compatibility Plan, subject to a series of conditions included in a letter to the City of Eastvale dated September 17, 2015. Those conditions will be carried forward within the Conditions of Approval for the project. The applicable conditions that translate to standards and/or guidelines have been carried forward into this document (see Table 2-5, Section 2.2 (12), Section 4.6, and Section 4.10.2 (1)).

3.11.1 ALUC Building Design Standards

- 1) Any outdoor lighting shall be hooded or shielded to prevent either the spillage of lumens or reflection in the sky.
- 2) Building 3 and 4 shall be designed and constructed with the following risk reduction design features;
 - a) Use of concrete walls for building exterior;
 - b) Enhanced fire sprinkler system that exceeds minimum building fire code requirements; and
 - c) Increased number of emergency exits.

Section 4.0
Landscape
Guidelines &
Standards



4.0 LANDSCAPE GUIDELINES & STANDARDS

Landscaping offers a unique element to a site's design. It can be used to create individual distinction or provide the common linkage throughout a project area. The Ranch at Eastvale landscaping will provide that common link and complement the architecture through the use of native plants in natural setting along with formal planting arrangements.

This section describes the minimum landscape requirements that shall be followed in the design of all public and private improvements within The Ranch at Eastvale. Landscaping shall promote the refined, rural, and relaxed aesthetic character of The Ranch at Eastvale. Landscaping shall:

- Define, unify, and enhance public space
- Enhance and define the project entry and City of Eastvale entry
- Screen views of parking, loading, and service areas and provide a buffer from the adjacent residential areas
- Soften uninterrupted architectural massings
- Complement the structures and their orientation on the site
- Help define building entries
- Create focal points
- Provide shaded shelter from the environment

Unless prohibited due to difficulties on a specific site, development within The Ranch at Eastvale shall comply with these landscaping and irrigation guidelines. In the event of a conflict between other City landscaping guidelines and these guidelines, these guidelines shall govern.

4.1 General Landscape Requirements

Development within The Ranch at Eastvale shall use landscaping as a unifying element that can further instill the community character envisioned by the preceding development guidelines. The provisions of these guidelines and non-conflicting City of Eastvale standard landscape guidelines, plans, and specifications shall apply as follows:

- 1) All areas not devoted to parking, drive aisles, walkways, building, or operational areas shall be landscaped and permanently maintained.

- 2) To complement building elevations, landscape areas shall be provided adjacent to building front, rear, and side elevations that are visible from streets or onsite public use areas. The planting area dimensions shall be consistent with plant material requirements and the purpose of the plantings (i.e., aesthetics, screening, environmental mitigations, air quality, wind break, etc.)
- 3) All landscaped areas are to be protected or delineated with minimum 6-inch concrete curbs, concrete mow strips, or equivalent as approved by the City of Eastvale. This requirement may be waived as necessary to address water quality management requirements.
- 4) Concrete gutters or swales shall not be used to drain landscaped areas. Underground drainage facilities shall be provided where surface conveyance of runoff would damage and/or erode planting areas or cross sidewalks.
- 5) Permanent automatic irrigation facilities shall be provided in all landscaped areas. Rain shut-off devices shall be incorporated into the irrigation system.
- 6) All street trees shall be planted and staked per City of Eastvale standards. Root barriers shall be required where trees are planted within 6 feet of hardscape or walls.
- 7) All plant materials shall be planted in the following sizes and shall be in accordance with all City of Eastvale standards and minimum requirements:
 - a) Trees: Twenty-five percent (25%) of the site trees (excluding street and screen trees) provided shall be a minimum 24-inch box size; the balance of the trees shall have a minimum size of fifteen (15) gallons. Larger specimen trees are encouraged for entry points and in gathering areas.
 - b) Shrubs: The majority of all shrubs used shall have a minimum size of five (5) gallons. Smaller shrubs may be used where appropriate due to plant species growth characteristics (e.g., smaller plants will be easier to establish or will result in greater plant size in a shorter period of time).
- 8) Project entries shall be designed with landscaping and architectural treatments that project a high quality image for the development.
- 9) The landscaping design for the project site shall include a mixture of trees, shrubs, and groundcover and shall be drought-tolerant native or adaptive species. Plants should be selected from the Plant Palette considered,

however they shall be selected from the County of Riverside California Friendly Plant List and shall be consistent with the overall theme of the development.

- 10) The applicant and/or master developer shall be responsible for maintenance and upkeep of all slope plantings, common landscaped areas, and irrigation systems until such time as these operations are the responsibility of other parties.
- 11) Landscape coverage shall be a minimum of 10 percent of the total square footage of individual implementing development projects.
- 12) Where landscaping solutions are utilized for screening, landscaping shall be designed so that the landscape screen is full and dense within 4 years of the initial planting.
- 13) The landscape of each planning area within the development is to be designed to correspond to The Ranch at Eastvale style.
- 14) Prior to the issuance of building permits, landscape construction documents, in conformance with these guidelines, shall be submitted to the City of Eastvale for review and approval.
- 15) All detailed landscaping plans for development within planning areas and/or roadways shall be prepared by a qualified and licensed landscape architect for review by City staff and applicable decision-making agencies.
- 16) Improvement plans for development that includes landscaped areas shall be submitted to the City Planning Department for approval. The improvement plans shall include, but not be limited to, the following:
 - a) Final Grading Plans.
 - b) Landscape Plans, including detailed improvement plans for hardscape, planting, and irrigation, prepared by a licensed Landscape Architect.
 - c) Fence Treatment Plans.
- 17) All landscape plans shall be in conformance with state and local water conservation regulations, and shall utilize water conservation methods which may include, but are not limited to:
 - a) Use of drought-tolerant plants
 - b) Extensive use of mulch in landscaped areas
 - c) No turf areas unless required for outdoor recreational use
 - d) Installation of drip irrigation systems where appropriate
 - e) Minimization of impervious surfaces

- f) Landscaped areas designed to retain irrigation water
- g) Use of moisture sensing, flow sensing and rain shut-off irrigation devices
- h) Automatic irrigation systems
- i) Grouping of plants with similar irrigation requirements to reduce over-irrigation
- j) Efficient irrigation system designs that minimizes runoff and maximizes the amount of water that will reach the plant roots
- k) No overhead spray irrigation within 24-inches of impervious surfaces

4.2 Street Landscape Design Standards

The Ranch at Eastvale Specific Plan has developed three different streetscape themes for the three levels of roadways providing access into and through the area. The chosen design for each street establishes a consistent and unifying character that will give recognition to The Ranch at Eastvale.

- 1) **Limonite Avenue** – As conceptually depicted in **Figure 4-1, Limonite Avenue Landscape Area, Figure 4-2, Limonite Avenue Northern Entryway Landscape Area, and Figure 4-3, Limonite Avenue Southern Entryway Landscape Area**, the landscape area along Limonite Avenue shall be planted with contrasting informal alternating groups of 24-inch box size deciduous canopy trees, 24-inch box size deciduous flowering trees, and 24-inch box size evergreen canopy trees averaging 30 feet on center located on both sides of the meandering sidewalk, except where tree height and spacing conflicts with line-of-sight requirements or ALUC compatibility zones. The street-side parkway area beneath the trees should be planted with drought-tolerant ground covers and low plantings. Low walls, bermed landscape or shrub hedges or massings shall be planted to screen parked cars.
- 2) **Hellman Avenue** – As conceptually depicted in **Figure 4-4, Hellman Avenue Landscape Area**, the landscape area along Hellman Avenue shall be planted with a single row of 24-inch box size deciduous flowering trees at approximately 30 feet on center in the parkway, except where tree height and spacing conflicts with line-of-sight requirements or ALUC compatibility zones. The parkway beneath the trees should be planted with drought-tolerant ground covers and low plantings. Low walls, bermed landscape or shrub hedges, or massings shall be planted to screen parked cars.

- 3) **Streets A and B** – As conceptually depicted in **Figure 4-5, Typical Street A and B Landscape Area**, the landscape area along Streets A and B shall be planted with contrasting informal alternating groupings of 24-inch box size deciduous canopy trees and 24-inch box size evergreen vertical trees averaging 30 feet on center located behind the walk, except where tree height and spacing conflicts with line-of-sight requirements or ALUC compatibility zones. The parkway beneath the trees should be planted with drought-tolerant ground covers and low plantings. Low walls, bermed landscape or shrub hedges, or massings shall be planted to screen parked cars.

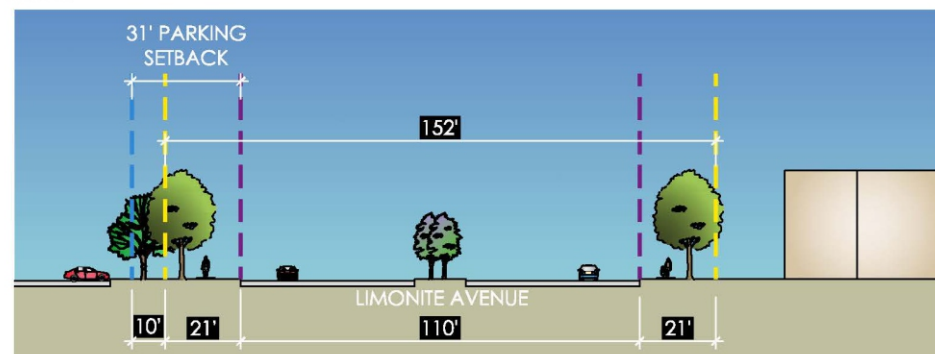
4.3 Street and Buffer Landscape Standards

Through compliance with the following, plantings in areas fronting on streets will be appropriate to the scale, orientation, and purpose of the area. Appropriate plant materials and designs for specific frontage types are listed below.

- 1) Landscaped areas of at least 5 feet in depth shall be provided between parking lots and all industrial and business park buildings along the street frontages specified below.
- 2) Landscaped areas of at least 15 feet in depth shall be provided adjacent to all loading areas and screen walls along the street frontages specified below.
- 3) Landscaped areas adjacent to all commercial buildings along the street frontages specified below shall be per City of Eastvale standards in place at the time of implementing project review.
 - **Limonite Avenue, Hellman Avenue, Street A, and Street B** – Street frontage landscape areas shall be a minimum of 31 feet in depth measured from the face of curb to the parking lot setback line on Limonite Avenue, and a minimum of 28 feet in depth measured from the face of curb to the parking lot setback line on Hellman Avenue, and a minimum of 20 feet in depth measured from the face of curb on Streets A and B. Drought-tolerant groundcovers and low plantings shall be used behind the sidewalk. At the building, low shrubs and/or tall shrubs shall be planted against the wall. A row of trees planted in setback landscape areas is recommended in parking lots, required at loading areas, and to complement building design. Tree, shrub, and groundcover plantings located in the street frontage landscape areas

shall be coordinated and integrated with ALUC Compatibility Zone requirements. (See Figure 4-1, Limonite Avenue Landscape Area, Figure 4-2, Limonite Avenue Northern Entryway Landscape Area, and Figure 4-3, Limonite Avenue Southern Entryway Landscape Area, Figure 4-4, Hellman Avenue Landscape Area, and Figure 4-5, Typical Street A and B Landscape Area.)

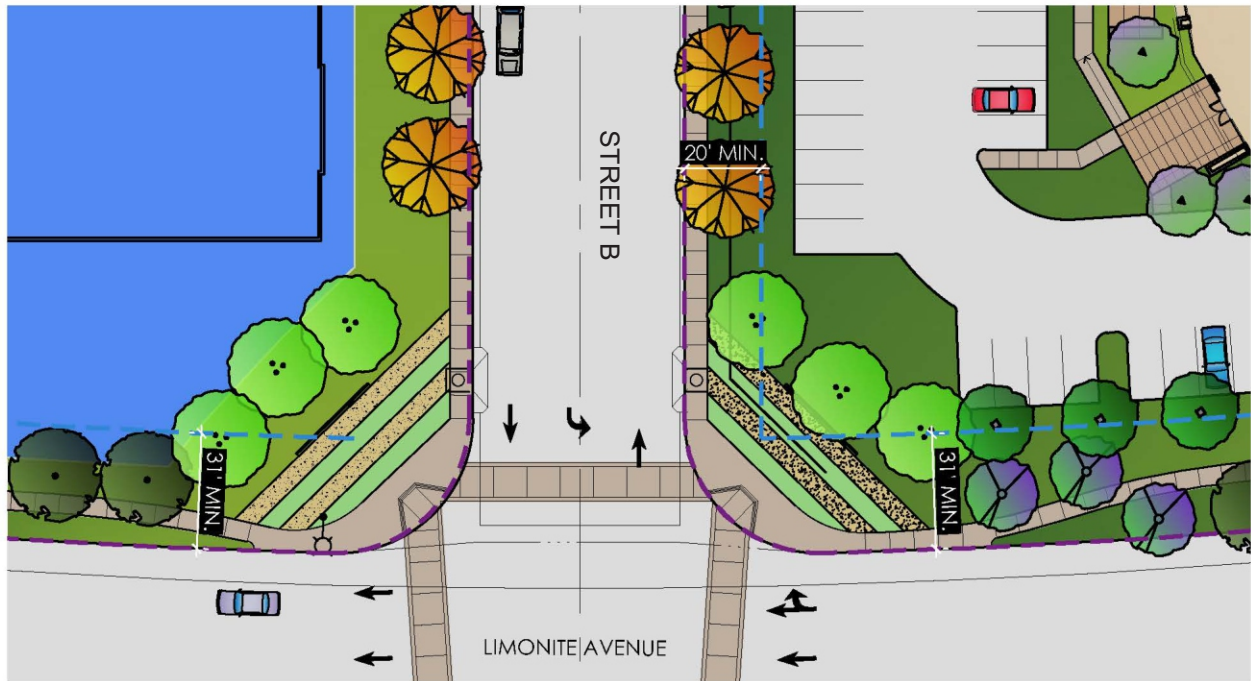
- **North, South and San Bernardino County Flood Control Channel Project Edges**
 - A minimum 10-foot deep landscape buffer shall be provided along these edges. A bermed wall or tubular steel (or other approved material) fence up to 8 feet in height (6 foot maximum height fence/wall with 2-foot berm) may be built along these edges. These areas shall be planted with a mix of 15-gallon and 24-inch box size drought-tolerant screening trees at a minimum of 15 feet on center to satisfy City of Eastvale screening requirements.



LEGEND

-  Parking Setback Line
-  Face of Curb
-  Property Line
-  Groundcover and Low Planting
-  5' Meandering Concrete Sidewalk
-  Street Trees, Clustered (30' O.C. Average)
-  Parking Canopy Tree

Figure 4-1
Limonite Avenue Landscape Area



LEGEND











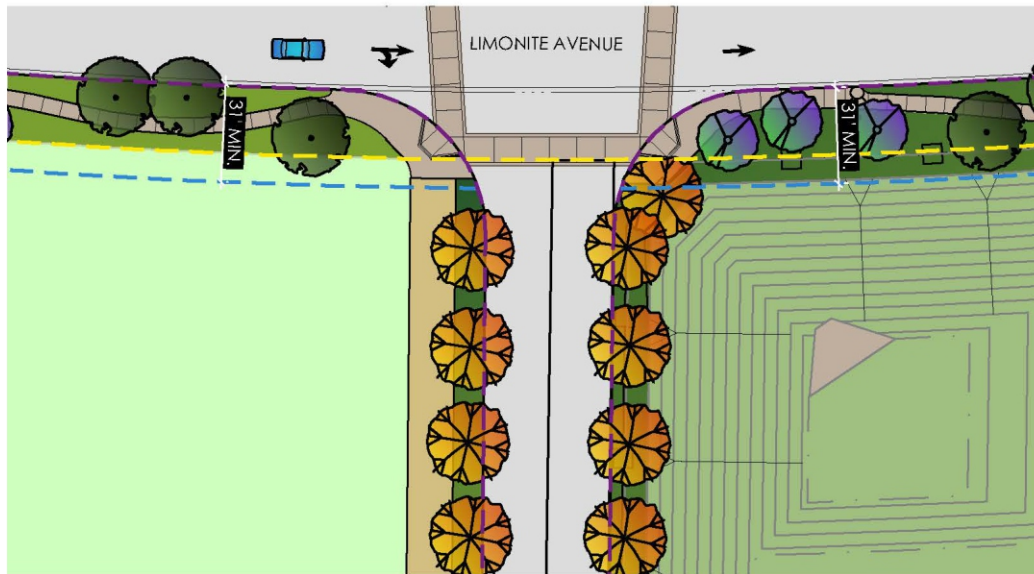
-  Parking Setback Line
-  Face of Curb
-  Building Vertical Tree
-  Building Flowering Tree
-  Olive Tree
-  Street Trees, Clustered (30' O.C. Average)
-  Parking Canopy Tree
-  Groundcover and Low Planting
-  Meandering Concrete Sidewalk
-  The Ranch at Eastvale Monumentation

Figure 4-2
Limonite Avenue Northern Entryway Landscape Area



LEGEND











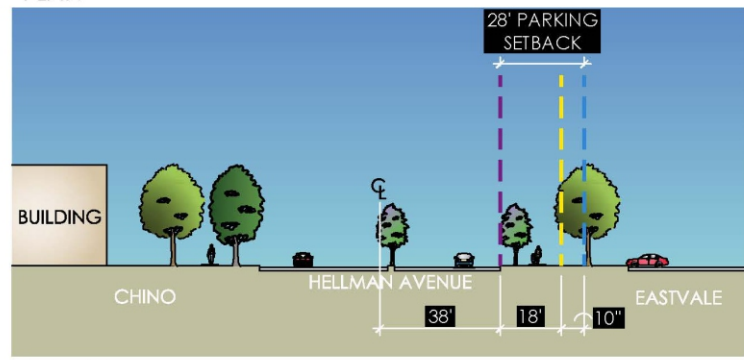
-  Parking Setback Line
-  Face of Curb
-  Property Line
-  Building Vertical Tree
-  Building Flowering Tree
-  Olive Tree
-  Street Trees, Clustered (30' O.C. Average)
-  Parking Canopy Tree
-  Groundcover and Low Planting
-  Meandering Concrete Sidewalk

Figure 4-3
Limonite Avenue Southern Entryway Landscape Area



PLAN



SECTION

LEGEND










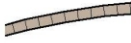
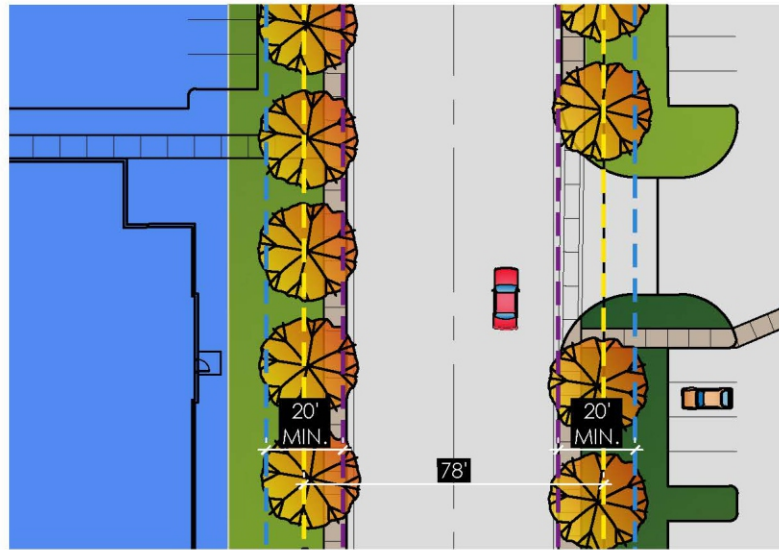
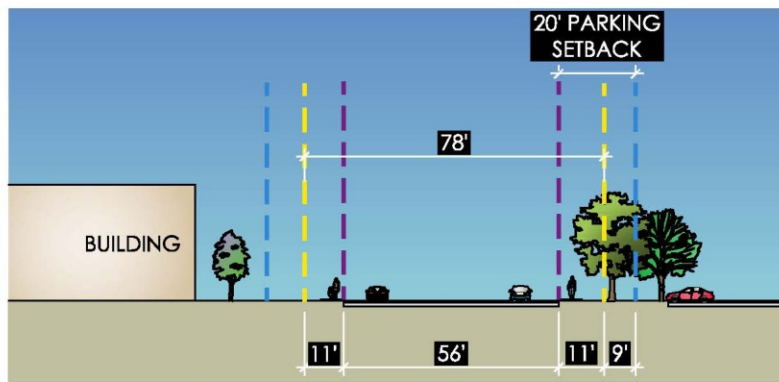
-  Building Vertical Tree
-  Building Flowering Tree
-  Olive Tree
-  Street Trees, Clustered (30' O.C. Average)
-  Parking Canopy Tree
-  Parking Setback Line
-  Face of Curb
-  Property Line
-  Groundcover and Low Planting
-  5' Meandering Concrete Sidewalk

Figure 4-4
Hellman Avenue Landscape Area



PLAN



SECTION

LEGEND



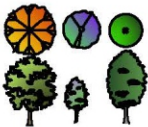






-  Building Vertical Tree
-  Building Flowering Tree
-  Street Trees, Clustered (30' O.C. Average)
-  Parking Canopy Tree
-  Parking Setback Line
-  Face of Curb
-  Property line
-  Groundcover and Low Planting
-  6' Concrete Sidewalk

Figure 4-5
Typical Streets A and B Landscape Area

4.4 Parking Lot Landscaping

Parking lots can appear to be a large field of barren asphalt unless effectively complemented and accented with landscaping. Additionally, landscape planting areas can serve multiple purposes such as screening parking lots, directing traffic flows, providing protective barriers for people and property, offering shade and a cooler climate, and creating aesthetic interest.

The following standards shall be applied to parking lot landscaping in all parking areas:

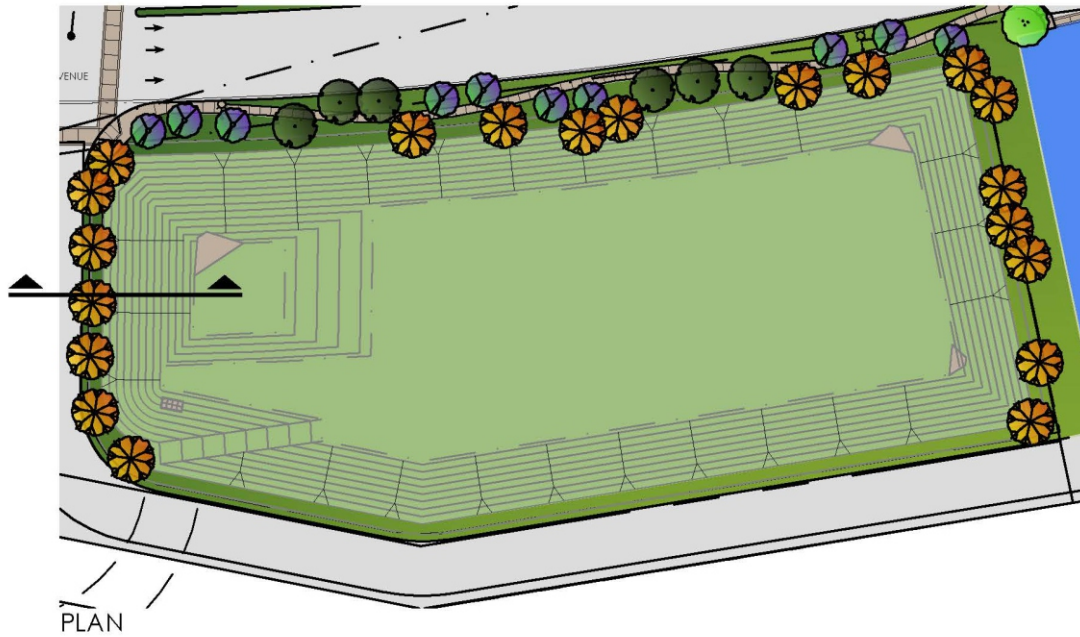
- 1) Provide trees within the vehicular parking areas to attain a minimum 50 percent shade coverage of the parking area when the trees reach maturity (approximately 15 years). This shading requirement does not apply to parking areas within the ALUC zones, where use of trees is prohibited.
- 2) Parking lot planters shall have a minimum inside width of 5 feet and shall be bounded on the outside by a 6-inch high concrete curb (or equivalent). The requirement for an outside concrete curb may be waived for landscaped swales intended for water quality management purposes.
- 3) Parking lots adjacent to and visible from public streets shall be adequately screened from vehicle view through use of low walls, earth berms and landscaping, and/or with a 3-foot high evergreen hedge of 5 gallon shrubs planted at 30-inches on center.
- 4) The end of all parking rows adjacent to a drive aisle shall be protected by an end cap planter island/finger. End cap planters, adjacent to a parking stall, shall provide a 12-inch concrete step-out next to the 6-inch curb. These planters shall have a minimum inside width of 5 feet, excluding curbs and step-out and a minimum length comparable to the abutting parking stall(s), inclusive of curbing.
- 5) Parking areas should be designed in a manner which links the building to the street-sidewalk system, creating an extension of the pedestrian environment. This can be accomplished by using design features such as walkways with enhanced paving, trellis structures, and/or landscape treatment.

- 6) Vegetated swales may be provided between opposing parking stalls to allow pavement runoff to infiltrate into these areas for pollutant mitigation and rainwater infiltration as a method to manage water quality.
- 7) Square “diamond” planters, with an inside width of 5 feet shall be allowed between opposing parking stalls for tree plantings to aid in achieving the 50 percent shade coverage of the parking area when the trees reach maturity.
- 8) A minimum of one tree per ten parking spaces shall be provided within the parking lot and its immediate perimeter.

4.5 Infiltration Basin Landscaping

The onsite detention basin will be designed to provide for a maximum 48-hour detention period following the conclusion of a storm event and will remain dry between rainfall events. The primary function of the infiltration basin is to clarify storm water and, although not required, the basin will also serve to reduce some of the peak flows that can be expected during major storm events. Thus, as a major component of the overall drainage solution, the basin can also serve as aesthetic feature of the Project through the use of enhanced landscaping.

The landscape plan for the basin, presented at **Figure 4-6**, proposes trees and shrubs along the northern (Limonite Avenue frontage) and western edges of the basin(s) to soften views into the basins from the adjacent public streets and trail. Ornamental grasses planted within the basin add visual interest within the basin and also provide the added benefit of assisting with the treatment/clarification of the water within the basin. Basin vegetation that would provide food and/or cover for bird species that would be incompatible with airport operations is prohibited.



LEGEND

- Property Boundary Fence
- Street Trees, Clustered (30' O.C. Average)
- Canopy Tree at Perimeter of Basins
- Infiltration Basin Planting - Ornamental Grasses
- Groundcover and Low Planting
- Meandering Concrete Sidewalk

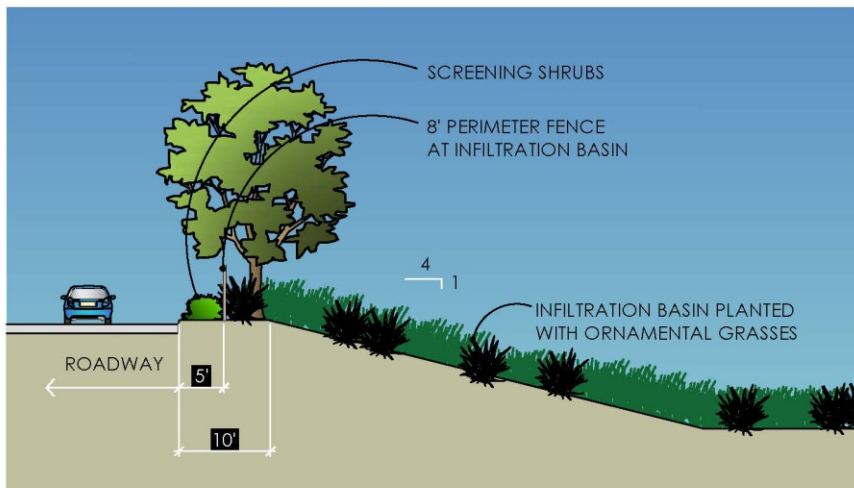


Figure 4-6
Infiltration Basin Landscaping

4.6 Planting Guidelines

The Ranch at Eastvale is located within Sunset Garden Book Zone 18. This zone is identified as having an interior climate. The continental air mass has the most influence within this area, while the ocean influences it no more than 15 percent of the time. Over a 20 year period, the winter lows have ranged from approximately 28 to 10 degrees Fahrenheit, while summer highs frequently average above 90 degrees.

Due to these climate extremes of The Ranch at Eastvale area, the installation of plant materials during the coldest winter months (December through March) and the hottest summer/fall months (July through September) can be stressful and/or detrimental to plants. Container plant materials not acclimated to the area can easily suffer from damage or sun/heat exposure resulting in partial or entire foliage loss even though such materials are perfectly suited to the temperature ranges once established. If planting must be done during these difficult periods, plant establishment may be difficult and require a more prolonged maintenance period if required by the approving body.

- 1) All 15-gallon and 24-inch box trees shall be staked with minimum of two 10-foot by 2-inch diameter pressure-treated lodge pole tree stake or equivalent. All 36-inch box and larger trees shall be staked with a minimum of two 10-foot by 3-inch diameter pressure-treated lodge pole tree stakes or equivalent. Multi-trunk trees do not require staking, but may be guyed per City standards, if required due to concern of wind damage during the establishment period.
- 2) All specimen trees are to be fine pruned after planting to allow for both vehicular and pedestrian safety.
- 3) All landscape areas are to have positive drainage to the street or collection devices.
- 4) All areas required to be landscaped shall be planted with groundcover, shrub, or tree materials selected from the Plant Palette contained in these guidelines. These lists are not to be considered all inclusive.
- 5) Slopes equal to or greater than 3 feet in vertical height and fill slopes equal to or greater than 3 feet in vertical height shall be planted with a ground cover to protect the slope from erosion and instability. Slopes exceeding 3 feet in vertical height shall be planted with a combination of groundcover and shrubs spaced not more than 10 feet on center, or with trees spaced not to exceed 30 feet on center, or with a combination of

shrubs and trees at equivalent spacing, in addition to the groundcover. The selected plants and planting methods shall be suitable for the soil and climatic conditions.

- 6) Reference should be made to City of Eastvale standards for erosion control methods for slopes and other landscaped areas.
- 7) Prior to the installation of plant material, soil samples from representative sloped and flat areas shall be obtained by the landscape contractor and tested for agronomic suitability in order to determine proper planting and maintenance requirements for proposed plant materials with pre-planting and post-planting recommendations.
- 8) All landscape areas are to be cross ripped to a depth of 6-inches both ways. All amendments shall be blended into the tilled soil to a depth of 6-inches.
- 9) Linear root barriers shall be installed where trees occur within 6 feet of any building, curb, gutter, utility, or paved surface.

4.7 Plant Palette

The following plants are approved for use in The Ranch at Eastvale Planting Areas. Plants other than those listed may be used to satisfy design or horticultural needs consistent with the project's objectives, if approved by the City of Eastvale.

- 1) Limonite Avenue Street Trees
 - *Cercis occidentalis* (Western Redbud)
 - *Platanus acerifolia* (London Plane Tree)
 - *Quercus agrifolia* (Coast Live Oak)
- 2) Hellman Avenue Street Tree
 - *Pyrus calleryana* 'Bradfordii' (Bradford Pear)
- 3) Interior Streets and Streets A and B Street Trees
 - *Quercus agrifolia* (Coast Live Oak)
 - *Ophostemon confertus* (Brisbane Box Tree)
- 4) Building Trees
 - *Ophostemon confertus* (Brisbane Box Tree)
 - *Lagerstroemia indica* (Crape Myrtle)
 - *Cupressus sempervirens* (Italian Cypress)
 - *Pyrus c. Bradfordi* (Bradford Pear)
 - *Laurus nobilis* (Sweet Bay Tree)

- Citrus (Variety)
- 5) Parking Lot Trees
 - *Platanus acerifolia* (London Plane Tree)
 - *Pistacia chinensis* (Chinese Pistache Tree)
 - *Pyrus c.* 'Chanticleer' (Ornamental Pear)
 - *Rhus lancea* (African Sumac)
 - *Olea europaea* (Olive-fruitless variety)
 - *Quercus agrifolia* (Coast Live Oak)
 - *Cinnamomum camphora* (Camphor Tree)
- 6) Bioswale Groundcovers/Shrubs/Trees
 - *Umbellularia californica* (California Laurel)
 - *Platanus acerifolia* (London Plane Tree)
 - *Arctostaphylos densiflora* (Manzanita)
 - *Rhamnus californica* (California Coffee Berry)
 - *Ceanothus griseus* 'Louis Edmunds' (Louis Edmunds California Lilac)
 - *Calocedrus decurrens* (Incense Cedar)
 - *Mahonia pinnata* (California Holly Grape)
 - *Carex divulsa* (Berkeley Sedge)
 - *Juncus patens* (California Gray Rush)
 - *Leymus Tritichoides* (Bearded Wild Rye)
 - *Muhlenbergia rigens* (Deer Grass)
 - *Festuca mairei* (Atlas Fescue)
- 7) Project Edge Trees
 - *Pinus elderica* (Afghan Pine)
 - *Ophostemon confertus* (Brisbane Box Tree)
- 8) Monument Areas
 - *Olea europaea* (Olive-fruitless variety)
 - *Platanus acerifolia* (London Plane Tree)
 - Agaves
 - Ornamental Grasses
 - Bougainvillea
- 9) Tall Shrubs: These shall reach 3 to 10 feet in height at maturity and shall not be frequently sheared or pruned. The shrubs shall display flowers and/or foliage color and be resistant to prolonged periods of drought. Acceptable species include:
 - *Eleagnus pungens* (Silverberry)
 - *Leucophyllum frutescens* (Texas Sage)

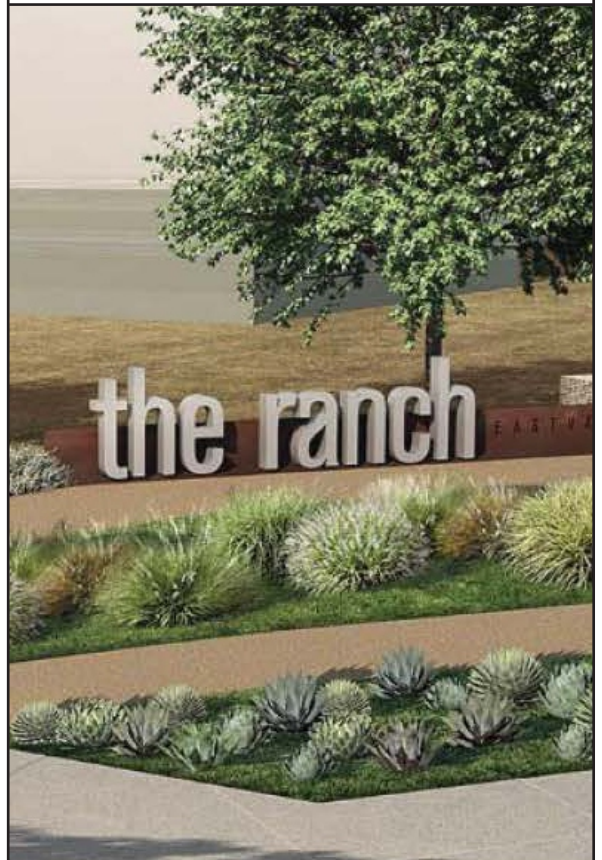
- *Pittosporum crassifolium* (Karo)
 - *Prunus c. Bright n' Tight* (Carolina Cherry)
 - *Phormium* varieties (New Zealand Flax)
 - *Ligustrum j. Texanum* (Texas Privet)
 - *Westringia fruticosa* (Coast Rosemary)
- 10) Low Shrubs and Groundcover: These shall reach no more than 3 feet in height at maturity and shall not be frequently sheared or pruned. The shrubs shall display flowers and/or foliage color and be resistant to prolonged periods of drought. Acceptable species include:
- *Baccharis pilularis* 'Twin Peaks' (Dwarf Coyote Brush)
 - *Bougainvillea rosenka* (Prostrate Bougainvillea)
 - *Callistemon viminalis* 'Little John' (Dwarf Bottlebrush)
 - *Carissa m. Green Carpet* (Prostrate Natal Plum)
 - *Cotoneaster horizontalis* (Rock Cotoneaster)
 - *Dietes bicolor* (Fortnight Lily)
 - *Elymus tritichoides* (Wild Rye)
 - *Hemerocallis* hybrids (Daylily)
 - *Lantana* 'New Gold' (Yellow Lantana)
 - *Lonicera j. Halliana* (Hall's Honeysuckle)
 - *Muhlenbergia rigens* (Deer Grass)
 - *Myoporum Pacificum* (Myoporum)
 - *Pittosporum Wheeleri* (Wheeler's Dwarf Tobira)
 - *Raphiolepis i. Clara* (Indian Hawthorn)
 - *Rosemarinus officinalis* (Rosemary)
 - *Salvia apiana* (White Sage)
- 11) Hedge Plantings:
- *Ligustrum j. Texanum* (Texas Privet)
 - *Westringia f. 'Morning Light'* (Dwarf Coast Rosemary)
- 12) Trash Enclosures and Walls: These walls shall be planted with self-adhering vines no less than 12 feet on center and a minimum of 5 gallon in size. Acceptable species include:
- *Ficus pumila repens* (Creeping Fig)
 - *Parthenocissus tricuspidata* (Boston Ivy)

4.8 Irrigation Guidelines

- 1) All landscaped areas shall be watered with a permanent underground irrigation system, except at slopes where there may be a permanent above-ground irrigation system. Irrigation systems which adjoin a separate maintenance responsibility area shall be designed in such a manner as to ensure complete water coverage between the areas.
- 2) Proper consideration of irrigation system design and installation in the climate extremes of The Ranch at Eastvale is critical to the success of the landscape investment. In particular, the combined summer elements of heat and wind must be carefully considered in proper irrigation design and equipment selection.
- 3) Drip irrigation shall be utilized whenever feasible, with overhead spray irrigation used only when required due to site constraints such as large slopes or hydroseeded areas. In areas where trees are planted within drip zones, bubblers or some other form of additional water shall be provided to sustain the tree roots zones. Overhead spray irrigation systems shall be designed with head to head, 100 percent coverage with pop-up sprayheads used adjacent to pedestrian areas. Sprinklers on risers are permitted next to screenwalls, building walls, and fences as long as they are not adjacent to pedestrian and vehicular traffic. Irrigation controllers shall be weather-based, capable of multiple program start times and compatible with rain shut-off and flow-sensing devices.
- 4) Water Conservation Measures
 - a) Drip and/or bubbler irrigation will be used where appropriate.
 - b) Use of moisture sensors and/or central control irrigation system may be incorporated where appropriate and feasible.
 - c) Irrigation systems will be designed per Section 5.4 (Landscape General Provisions) of the City of Eastvale Municipal Zoning Code, or correlating provisions of the Municipal Code effective at the time of development permit application(s).
- 5) Water systems for common open space areas shall use non-potable water, if approved facilities are made available by the water purveyor. Provisions for the conversion to a non-potable water system shall be provided within the landscape plan. Water systems designed to utilize non-potable water shall be designed to meet all applicable standards of the California Regional Water Quality Control Board, JCSD, and the City of Eastvale.

Section 5.0

Glossary



5.0 GLOSSARY

Abutting: Having property or zone district boundaries in common; for example, two lots are abutting if they have property lines in common.

Access: A way of approaching or entering a property. Access includes ingress (the right to enter) and egress (the right to leave).

Acres, gross: The entire acreage of a site. Gross acreage is calculated to the centerline of proposed bounding streets and to the edge of the right-of-way of existing or dedicated streets.

Acres, net: The portion of a site that can actually be built upon. The following generally are not included in the net acreage of a site: public or private road rights-of-way, public open space, and flood ways.

Agricultural Preserve: Land designated for agricultural use.

Airport Land Use Commission (ALUC): Airport Land Use Commissions (ALUCs) have been established for all counties with public use airports within the state of California. ALUCs are formed with the specific intent of implementing state law (Public Utilities Code) regarding airports and surrounding land use compatibility.

Arterial: A roadway that provides intra-community travel and access to the countywide highway system, characterized by medium-speed (30-40 mph) and medium-capacity (10,000-35,000 average daily trips). Access to community arterials should be provided at collector roads and local streets, but direct access from parcels to existing arterials is common.

Buffer: An area of land separating two distinct uses that acts to soften or mitigate the effects of one use on the other.

Buildout: Development of land to its full potential or theoretical capacity as permitted under current or proposed planning or zoning designations.

Business Park: An area specifically designated, landscaped, and designed to accommodate office, warehouse, light industrial, and other commerce-related uses.

California Environmental Quality Act (CEQA): A state law requiring state and local agencies to analyze the potential impacts of their actions on the environment, disclose their findings to the public, and to mitigate impacts where feasible.

Commercial: A land use classification that permits facilities for the buying and selling of commodities and services.

Conditional Use Permit (CUP): A discretionary permit issued by a hearing body to allow a conditional use that may or may not be allowable under the zoning code. If approval is granted, the developer must meet certain conditions to harmonize the project with its surroundings. Each application is considered on its individual merits. CUPs require a public hearing and, if approval is granted, are usually subject to the fulfillment of certain conditions by the developer.

Density: The amount of development per acre permitted on a parcel under the applicable zoning.

Detention: Any storm drainage technique that retards or detains runoff, like detention or retention basins, parking lot storage, rooftop storage, porous pavement, or dry wells.

Distribution: See "Warehousing/distribution."

Easement: The right to use property owned by another for specific purposes or to gain access to another property. For example, utility companies often have easements on the private property of individuals to be able to install and maintain utility facilities.

Environmental Impact Report (EIR): A report that identifies and assesses the likely environmental effects of continuing operations of an existing facility or potentially those of a proposed project. Required by many states as part of the application to a county or city for approval of a land development or project.

Floor Area Ratio (FAR): The gross floor area permitted on a site divided by the total net area of the site, expressed in decimals to one or two places.

Feasible: Capable of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, social, and technological factors.

Guidelines: General statements of policy direction around which specific details may be later established.

Incidental: Ancillary or secondary by nature. For example, automobile uses that require repair and incidental retail sale of spare parts.

Industrial: A land use classification often divided into “heavy industrial” uses, like construction yards, quarrying, and factories; and “light industrial” uses, like research and development and less intensive warehousing and manufacturing.

Laboratories: A facility characterized by special purpose equipment or a specific space configuration that limits instructional or research activities to a particular discipline or a closely related group of disciplines. These activities may be found in all fields of study including letters, humanities, natural sciences, social sciences, vocational and technical disciplines. Example laboratories include film, medical, dental, R&D, etc.

Manufacturing: The fabrication (process in which an item is made from raw or semi-finished materials instead of being assembled from ready-made components or parts), processing (procedures involving chemical, physical, electrical or mechanical steps to aid in the manufacturing of an item or items), packaging (technology of enclosing or protecting products for distribution, storage, sale, and use) and assembly (practice of taking individual parts and joining them to form a whole good) of materials from parts that are already in processed form and that, in their maintenance, assembly or operations, create a negligible amount of smoke, gas, odor, dust, sound, or other objectionable influences that might be obnoxious to persons conducting business on-site or on an adjacent site. Typical items requiring manufacturing include but are not limited to apparel, furnishings, and electronic devices.

Manufacturing, Heavy: Manufacturing that requires some outdoor activity (noise or odor) and/or storage.

Manufacturing, Light: Manufacturing that occurs entirely within an enclosed building.

Permit: Any license, certificate, approval, or other entitlement for use granted or denied by any public agency which is subject to the provisions of this Specific Plan.

Personal services: Activities where people offer their knowledge and time to improve productivity, performance, potential, and sustainability. The production of services instead of end products. Typical personal services include but are not limited to barbers, nail shops, dry cleaners, locksmiths, tailors, shoe repair, massage, etc.

Primary exposure: The front of a building. In commercial spaces the primary exposure is where most shoppers will enter.

Project: Under CEQA, the whole of an action that has a potential for resulting in physical change to the environment, and is an activity subject to one or more discretionary approvals by public agencies. A project may include construction activities, clearing or grading of land, improvements to existing structures, and activities or equipment involving the issuance of a permit. CEQA applies to projects undertaken by a public agency, funded by a public agency or that requires an issuance of a permit by a public agency. See California Environmental Quality Act

Public view: Spaces visible at grade by persons in public areas such as public streets, parking lots and walking paths.

Right-of-Way: A strip of land occupied or intended to be occupied by certain transportation and public use facilities, like roads, railroads, and utility lines.

Research and Development: Activities in connection with corporate or governmental innovation such as science and technology (laboratories), education and training (training facilities).

Runoff: Water from rain or snow that is not absorbed into the ground but instead flows over less permeable surfaces into streams and rivers

Setback Regulations: The requirements that a building be set back a certain distance from the front, side or rear lot line.

Shall: Will have to, is determined to, or definitely will.

Should: Probable or expected.

Specific Plan: A plan that an agency may adopt to implement the general plan in all or part of the area covered by the general plan.

Standards: A rule or measure establishing a level of quality or quantity that must be complied with or satisfied.

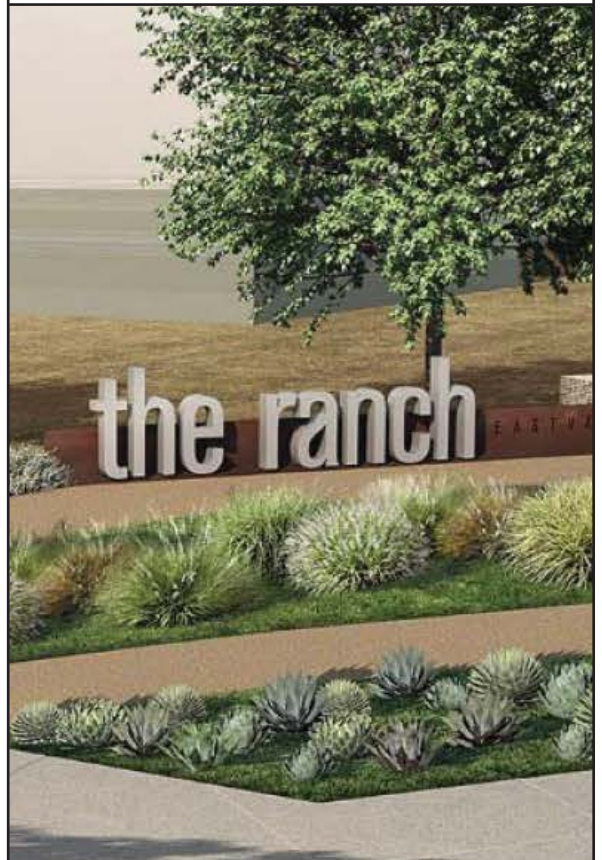
Structure: Anything constructed or erected and the use of which requires more or less permanent location on the ground or attachment to something having a permanent location on the ground, but not including the following: 1) walls or fences less than six feet in height, 2) banner signs.

Warehousing / distribution: The receipt and temporary stocking of products (goods) to be redistributed to retailers, wholesalers, or directly to customers.

Wholesaling: This includes the movement and storage of raw materials, work-in-process inventory and finished goods from a point of origin to point of consumption. Uses would include goods movement (import, export and sales of product).

Williamson Act: Known formally as the California Land Conservation Act of 1965, it provides property owners a financial incentive to retain prime agricultural land and open space in agricultural use, thereby slowing its conversion to urban and suburban development. The program entails a ten-year contract between the city or county and an owner of land whereby the land is taxed on the basis of its agricultural use rather than its market value. The land becomes subject to certain enforceable restrictions, and certain conditions need to be met prior to approval of an agreement.

Appendix A
Legal Description



PLANNING AREAS 1 - 6

TAKEN FROM FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-491492-ONT1, DATED JANUARY 6, 2015.

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF EASTVALE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:

PARCEL 1 AS SHOWN ON PARCEL MAP 6141 PER THE MAP FILED IN BOOK 21, PAGE 93 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

PARCEL B:

PARCEL 3 AS SHOWN ON PARCEL MAP 6141 PER THE MAP RECORDED IN BOOK 12, PAGE 93 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

EXCEPTING THEREFROM A PORTION OF SECTION 27, TOWNSHIP 2 SOUTH, RANGE 7 WEST, S.B.M., LOCATED IN PARCEL 3 AS SHOWN ON PARCEL MAP 6141, RECORDED IN PARCEL MAP BOOK 21, PAGE 93, RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID PARCEL 3, THENCE NORTH 89°57'00" EAST 354.56 FEET ALONG THE SOUTH LINE THEREOF, THENCE NORTH 0°03'00" WEST 20.00 FEET TO THE POINT OF BEGINNING, THENCE NORTH 0°03'00" WEST 65.00 FEET, THENCE NORTH 89°57'00" EAST 75.00 FEET, THENCE SOUTH 0°03'00" EAST 65.00 FEET, THENCE SOUTH 89°57'00" WEST 75.00 FEET TO THE POINT OF BEGINNING.

APN: 144-010-008-0 (Affects Parcel A) and 144-010-013-4 (Affects Parcel B)

PLANNING AREAS 7 - 9

Real property in the unincorporated area of the County of Riverside, State of California, described as follows:

PARCEL 1:

THOSE PORTIONS OF THE NORTH HALF OF SECTION 27, TOWNSHIP 2 SOUTH, RANGE 7 WEST, IN THE JURUPA RANCHO, SHOWN AS PARCEL 2 OF PARCEL MAP 6141, ON FILE IN BOOK 21 PAGE 93 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE SAN BERNARDINO COUNTY FLOOD CONTROL DISTRICT RECORDED DECEMBER 10, 1976 AS INSTRUMENT NO. 190445 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

PARCEL 2:

A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND PUBLIC UTILITY PURPOSES IN AND OVER THOSE PORTIONS OF THE NORTH HALF OF SECTION 27, TOWNSHIP 2 SOUTH, RANGE 7 WEST, IN THE JURUPA RANCHO SHOWN AS PARCELS 1 AND 3 AS SHOWN BY MAP OF FILE IN BOOK 21 PAGE 93 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF KIMBALL AVENUE IN SAN BERNARDINO COUNTY, WITH THE WEST LINE OF SAID PARCEL 1; THENCE SOUTH 0 DEGREES 15' 30" EAST, ON SAID WEST LINE TO THE SOUTHWEST CORNER OF SAID PARCEL 1; THENCE NORTH 89 DEGREES 45' 20" EAST, 2353.79 FEET ON THE SOUTH LINES OF SAID PARCELS 1 AND 3 TO THE SOUTHWEST CORNER OF PARCEL 2 OF SAID MAP; THENCE NORTH 0 DEGREES 13' 15" EAST, 44.00 FEET TO A LINE PARALLEL WITH AND NORTHERLY 44.00 FEET FROM THE SOUTH LINE OF SAID PARCELS 1 AND 3 OF SAID MAP;

THENCE SOUTH 89 DEGREES 45' 20" WEST, 2286.82 FEET ON SAID PARALLEL LINE; THENCE NORTH 45 DEGREES 15' 05" WEST, 32.52 FEET TO A LINE PARALLEL WITH AND EASTERLY 44.00 FEET FROM SAID WEST LINE OF PARCEL 1; THENCE NORTH 0 DEGREES 15' 30" WEST ON LAST SAID PARALLEL LINE TO THE INTERSECTION OF THE EASTERLY PROLONGATION OF SAID NORTH LINE OF KIMBALL AVENUE; THENCE WEST 44.00 FEET TO THE POINT OF BEGINNING.

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