

III. SUMMARY

A. PROJECT SUMMARY

1. PROJECT LOCATION

THE ENCLAVE SPECIFIC PLAN (SP 331) project site is located on approximately 112 gross acres, in the unincorporated community known as Eastvale, Riverside County. (See Figure III-1, Regional Map.) The Eastvale community is a developing residential community located north of the Santa Ana River, near the Prado Basin. The project site is located directly west of Archibald Avenue; directly south of Schleisman Road; directly east of the Cucamonga Creek channel; and approximately 500 feet north of Walters Street. (See Figure III-2, Vicinity Map)

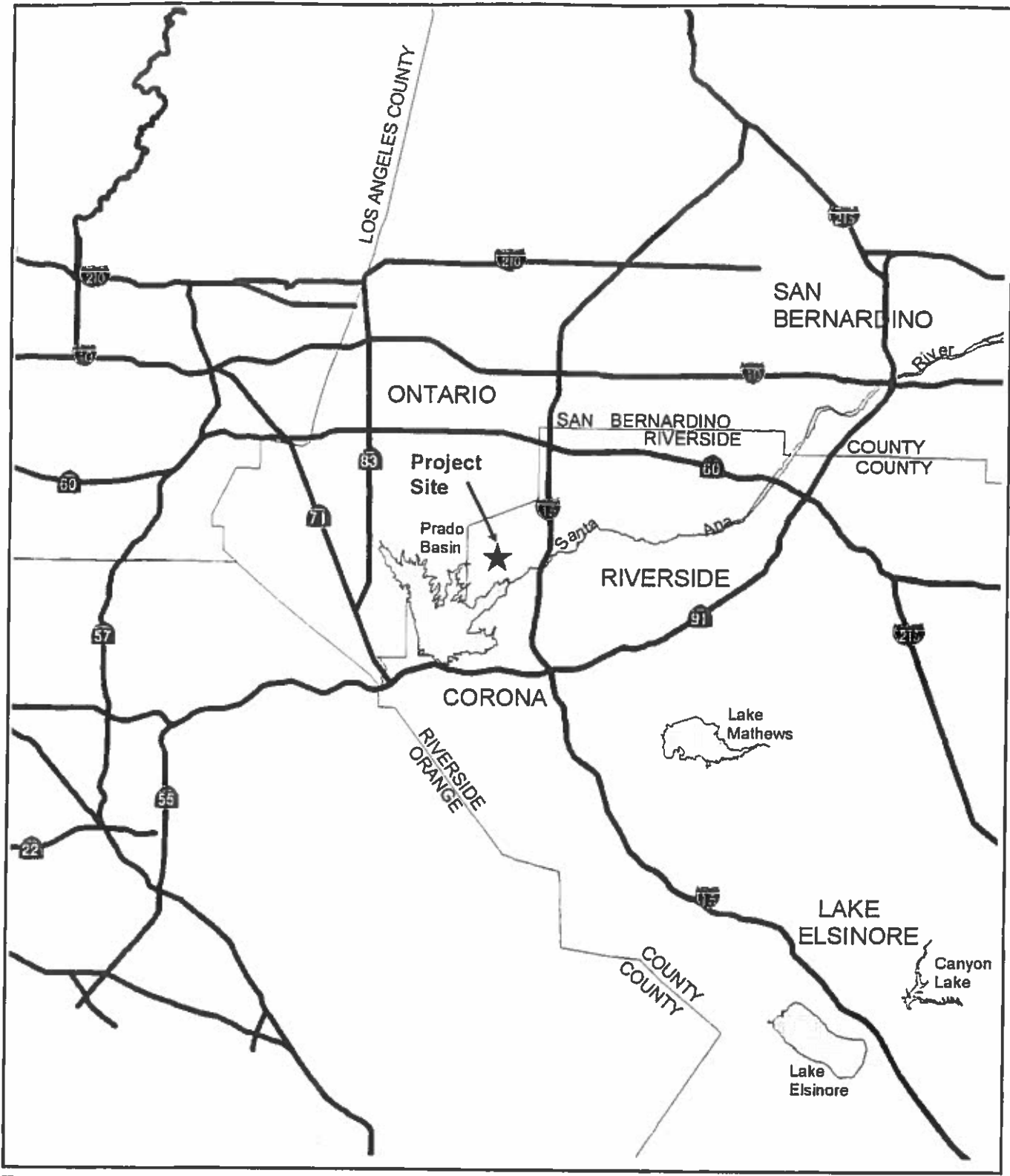
2. SITE DESCRIPTION

The project site is currently developed with two active dairies, cropland, three residences and other buildings associated with farming activities. The site is characterized by generally flat topography, sloping gently southwest towards the Cucamonga Creek channel. There are no drainage courses within the site. Elevations range from 580 to 610 feet above mean sea level.

Current land uses surrounding the project site include active agricultural uses north, west, and south of the site, as well as rural residential uses to the south/southwest. The Eastvale Specific Plan (SP 300), which is currently about 90 percent developed as residential land uses, is located immediately east of the project site. (See Figure III-2, Vicinity Map)

3. PROJECT DESCRIPTION

THE ENCLAVE SPECIFIC PLAN will create a gated residential community consisting of four varieties of residential opportunities developed with sufficient recreation facilities to serve the residents of the project. THE ENCLAVE SPECIFIC PLAN may supply the Eastvale area with commercial development as well. The project includes a variety of single-family residential lots with minimum lot sizes ranging from 2,030 square feet to 7,200 square feet to meet a wide variety of market needs. Other land uses within THE ENCLAVE SPECIFIC PLAN include development of commercial land uses on approximately 15 acres, located in the northeast corner of the project site, and approximately 7.1 acres of neighborhood parks, both within walking distance of the residents.



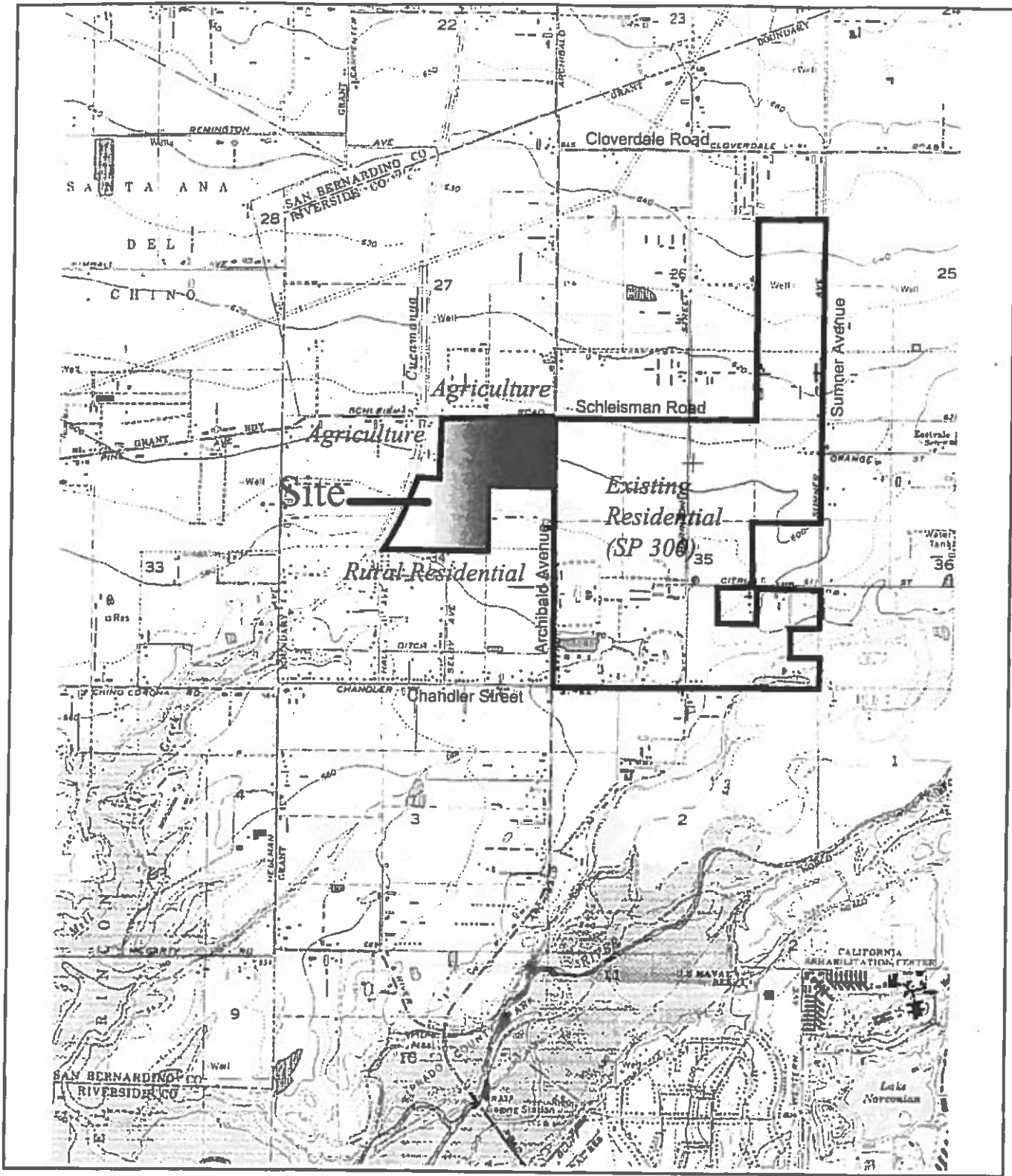
Not to Scale



The Enclave Specific Plan

Regional Map
ALBERT A. WEBB
 ASSOCIATES
 ENGINEERING CONSULTANTS

Figure III-1



Not to Scale

Source: USGS Quad Corona North, Calif



The Enclave Specific Plan

Vicinity Map
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WEBB
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Figure III-2

V. SPECIFIC PLAN

A. PROJECT-WIDE DEVELOPMENT PLANS AND STANDARDS

The following sections of THE ENCLAVE SPECIFIC PLAN (SP 331) illustrate and describe the project-wide development plans and standards as they relate to land use, circulation, drainage systems, landscaping, water and sewer systems, recreational facilities, phasing, grading and comprehensive maintenance for the entire specific plan area.

1. COMPREHESIVE LAND USE PLAN

a. Project Objectives

A clear statement of project objectives allows for the analysis of reasonable alternatives to the proposed project. A range of reasonable alternatives, both on- and off-site, that would feasibly attain most of the basic project objectives, while avoiding or substantially lessening the significant effects of the project, must be analyzed per CEQA Guidelines Section 15126.6. The overall intent of THE ENCLAVE SPECIFIC PLAN is to provide high quality residential and commercial uses to serve existing and future residents of the Eastvale area of Riverside County. To achieve this intent, the following are the basic key development objectives of THE ENCLAVE SPECIFIC PLAN:

1. To provide housing opportunities for households with a variety of incomes levels within close proximity of employment centers located in adjacent cities and the County of Riverside.
2. To provide a variety of needed housing types within a gated environment and within walking distances of community services.
3. To interface in a sensitive manner with the existing rural/agricultural uses within the area by providing generous landscaping.
4. To encourage outdoor activity and wellness by providing neighborhood parks, open spaces, and sidewalks that connect to local services and a regional bicycle system.

b. Project Description

THE ENCLAVE SPECIFIC PLAN will create a gated residential community consisting of four varieties of residential opportunities developed with recreation facilities to serve the residents of the project. THE ENCLAVE SPECIFIC PLAN has been designed with the goal of providing a variety of housing types, styles, and sizes that will attract a variety of buyers into a well-balanced, master-planned community.

The site has been divided into five sections on the basis of the different land uses. These sections of the site are hereafter referred to as "Planning Areas," and are shown on Figure V-1,

Comprehensive Land Use Plan. These various Planning Areas will include four different residential products developed with recreation facilities to serve the residents of the project. THE ENCLAVE SPECIFIC PLAN will also provide the Eastvale area with commercial development.

The following Project Description gives a detailed summary by land use type.

Residential

THE ENCLAVE SPECIFIC PLAN provides for a maximum of 490 dwelling units on 97 acres of land for an overall Specific Plan density of 5.0 dwelling units per gross acre of residential land.

The project, as proposed, includes four residential planning areas with four different densities and housing types, as described below.

Medium Density Residential – 7,200 square foot lots are proposed at 3.5 dwelling units per acre totaling approximately 82 dwelling units on approximately 24 gross acres in **Planning Area 4**. The maximum number of dwelling units in this planning area shall not exceed 108 units. Planning Area 4 is located along the southern and eastern portions of the site. Planning Area 4 is designated to have a 7,200 square foot minimum lot size. The maximum number of dwelling units in this planning area shall not exceed 82 units. One 0.45 acre park is located within this planning area. Planning Area 1 is located in the northeast corner of the site. Landscaped streets with sidewalks provide pedestrian and vehicular access within and between planning areas.

Medium Density Residential – 6,500 square foot lots are proposed at 4.0 dwelling units per acre totaling approximately 119 dwelling units on approximately 30 gross acres in **Planning Area 5**. The maximum number of dwelling units in this planning area shall not exceed 119 units. One linear park is located along the southern boundary of this planning area, taking advantage of a Southern California Edison easement. The park in this planning area is 3.01 acres in size. Planning Area 5 is located along the southern and western portions of the site. Planning Area 5 is designated to have a 6,500 square foot minimum lot size. Landscaped streets with sidewalks provide pedestrian and vehicular access within and between planning areas.

High Density Residential - Green Courts are proposed at 5.4 dwelling units per acre totaling approximately 106 detached dwelling units on approximately 20 acres in **Planning Area 2**. The maximum number of dwelling units in this planning area shall not exceed 106 units. Planning Area 2 is located in the northwest corner of the site. Planning Area 2 is designated to have a 2,030 square foot minimum lot size. The lots are grouped around common green spaces through which pedestrian access occurs. The lot sizes vary within this product type to create the “green courts,” with the minimum lot size occurring only on interior lots within the clusters of buildings. Front doors face either a green court or a street. Garages are accessed via common alley drives. There will be three parks within this planning area; one located on the west side of the planning area (0.68 acres); one located on the east side of the planning area (0.13 acres); and a recreation center (1.87 acres).

High Density Residential – Alley Loaded Lots are proposed at 7.9 dwelling units per acre totaling approximately 183 detached dwelling units on approximately 23 acres in **Planning Area 3**. The maximum number of dwelling units in this planning area shall not exceed 200 units. Planning Area 3 is located along the western boundary of the Specific Plan. Planning Area 3 is designated to have a 2,625 square foot minimum lot size. Alley loaded homes have front doors facing the sidewalk and street. This front-door streetscape presents a pedestrian friendly neighborhood scene, free of curb cuts for vehicular access. Garages are all located at the rear of lots with access from alleys. There are no parks proposed for this planning area, however, 3.01 acres of parks located in Planning Area 5 is located adjacent to this planning area.

Commercial

Under the standards and guidelines set forth in THE ENCLAVE SPECIFIC PLAN, **Planning Area 1** will be developed as a neighborhood commercial center. Intended uses could include businesses such as a grocery store, a drug store, and other commercial uses that would serve the needs of the local residents. Planning Area 1 would not exceed 25 percent site coverage (building footprint/acreage), or a maximum of 121,000 square feet. A 0.92 park will be located at the southern boundary of this Planning Area and will act as a buffer between the project entry, “B Street”, as well as provide the pedestrian access point into the commercial center from the gated Enclave community.

Parks and Recreation

The recreation component of THE ENCLAVE SPECIFIC PLAN includes six parks for a total of 7 acres. The Central Recreation Center, located in Planning Area 2 will contain the recreation center for The Enclave development. This facility will include a tennis court/sport court, a half-court basketball court, a pool, spa, a tot lot, trails, gardens, barbeque areas as well as a clubhouse.

Table V-A-1, Parks

Park Location	Acreage
PA 1 – south of commercial	0.92
PA 2 – west of commercial	0.134
PA 2 – eastern portion	0.68
PA 2 – Central Rec Center	1.87
PA 3	No Park Proposed
PA 5 – Pocket Park	0.91
PA 4 & 5 – Linear Park	2.55
TOTAL	7.06

The other parks located within Planning Areas 2, 4 and 5 include both active and passive recreational facilities to serve the needs of the Enclave community. The park in Planning Area 1 serves as a buffer to the proposed commercial uses as well as a passive park.

Public Facilities

No public facilities are proposed to be located within THE ENCLAVE SPECIFIC PLAN other than the public rights of way associated with Archibald Avenue and Schleisman Road. All

streets and parks proposed within the gated community are private. For a detailed description of the proposed circulation system, see Section V.A.2.

c. Land Use Summary

The following table summarizes the uses and acreages included within each Planning Area and establishes the maximum number of dwelling units and commercial square feet allowed within this Specific Plan. Figure V-2 is a black and white reduction of the Comprehensive Land Use Plan described above and is summarized in Table V-A-2.

Table V-A-2, Land Use Summary Table

PLANNING AREA	LAND USE	APPROX. ACRES	PROPOSED DENSITY (DU/AC)	MIN. LOT SIZE	PROPOSED DU OR SF
1	Commercial	15			121,000 sf
	Parks	0.92			
2	High Density - Green Courts	20	5.3	2,030 sf	106 du
	Parks	2.68			
3	High Density-Alley Loaded	23	7.9	2,625 sf	183 du
4	Medium Density Residential	24	3.4	7,200 sf	82 du
	Parks	0.45			
5	Medium Density Residential	30	4.0	6,500 sf	119 du
	Parks	3.01			
	PARKS TOTAL	7.06			
	RESIDENTIAL TOTAL (includes park acreage)	97	4.3		490 du
	COMMERCIAL TOTAL	15			121,000 sf
	TOTAL SITE ACREAGE	112			

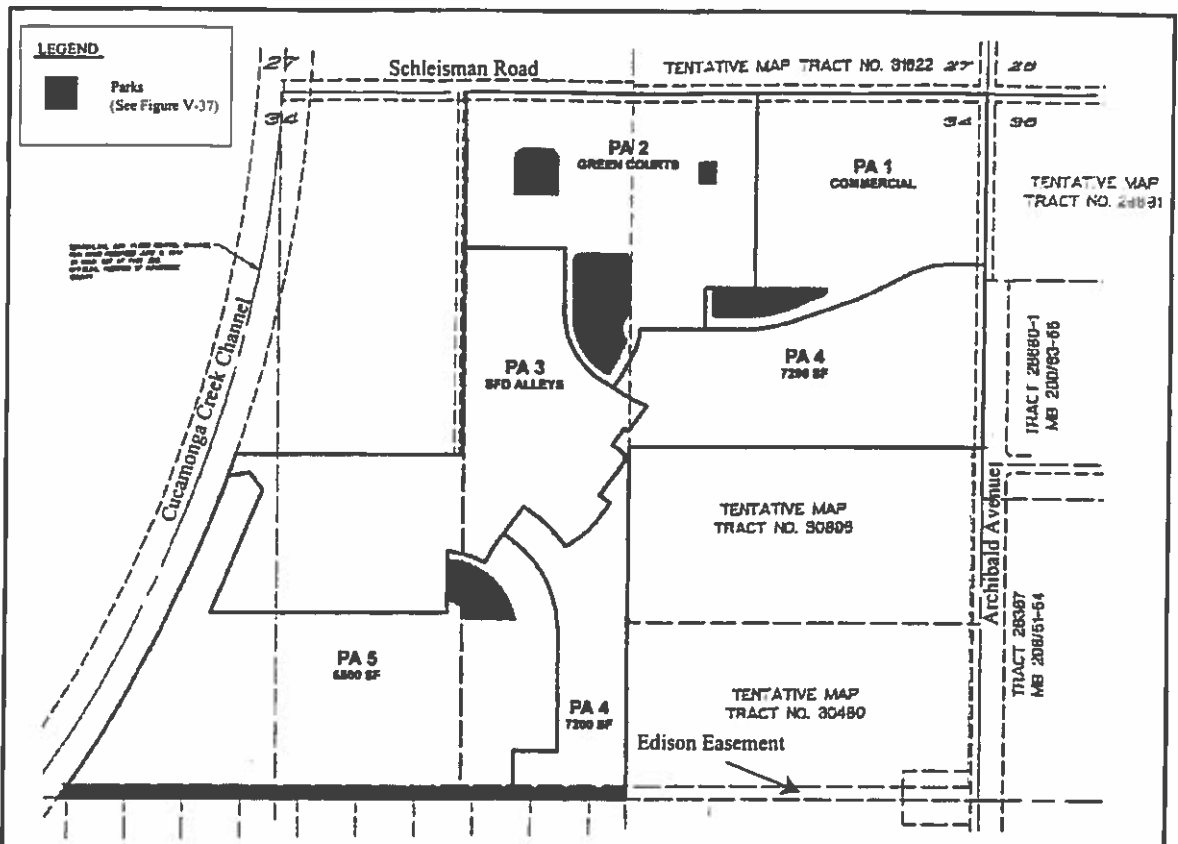


Table V-A-2, Land Use Summary Table

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3	High Density-Alley Loaded	23	7.9	2,625 sf	183 du
4	Medium Density Residential	24	3.4	7,200 sf	82 du
	Parks	0.45			
5	Medium Density Residential	30	4.0	6,500 sf	119 du
	Parks	3.01			
PARKS TOTAL		7.06			
RESIDENTIAL TOTAL (includes park acreage)		97	4.3		490 du
COMMERCIAL TOTAL		15			121,000 sf
TOTAL SITE ACREAGE		112			

Not to Scale



The Enclave Specific Plan

Comprehensive Land Use Plan

ALBERT A.
WEBB
 ASSOCIATES
 ENGINEERING CONSULTANTS

Figure V-2

d. Project Wide Development Standards

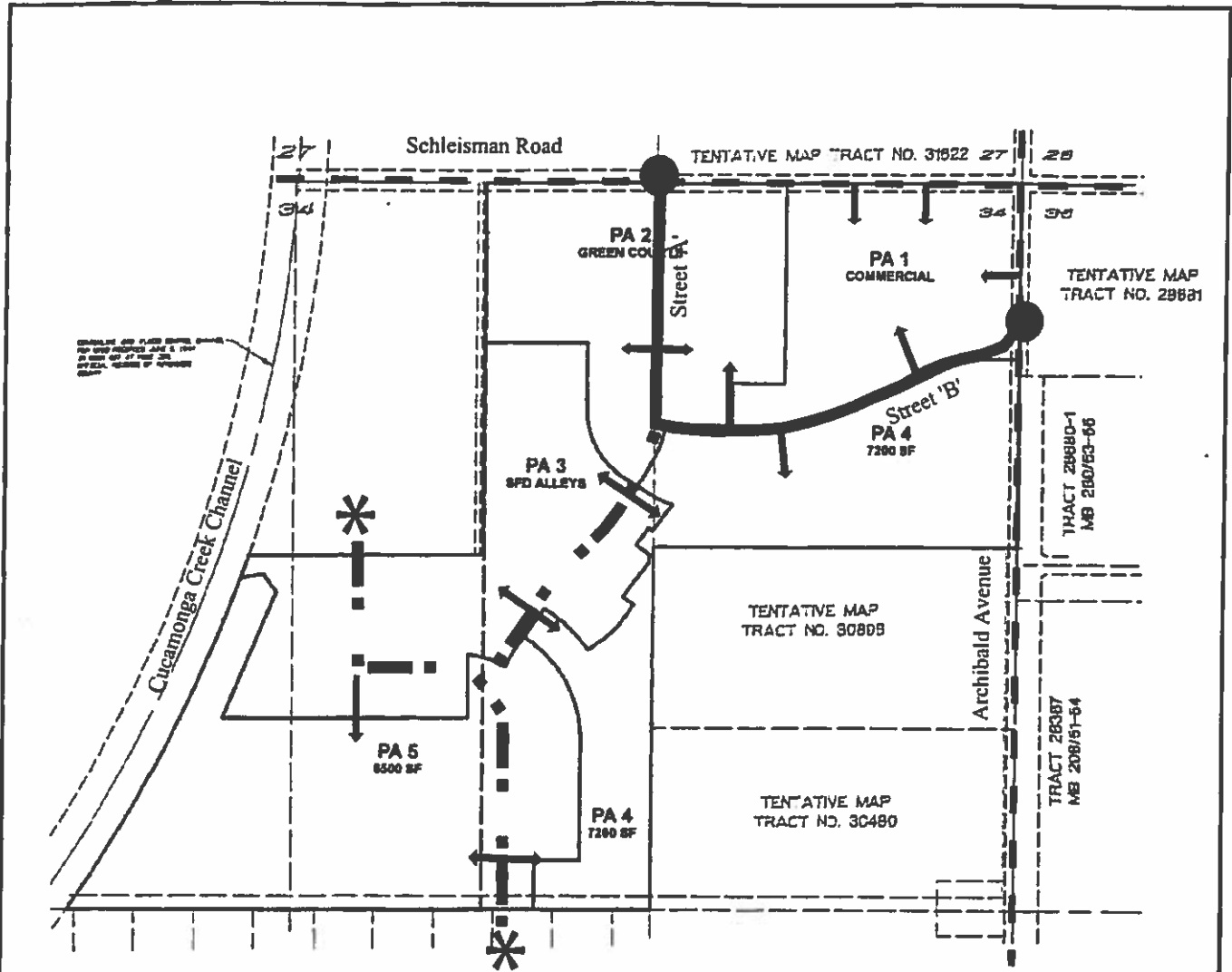
In order to ensure the orderly and sensible development of the land uses proposed for THE ENCLAVE SPECIFIC PLAN, land use planning and design standards have been created for each Planning Area. These planning area-specific standards, discussed in detail in Section V.B, will assist in accommodating the proposed development and provide adequate transitions to neighboring land uses.

In addition to the planning area-specific standards, project-wide development standards have also been prepared to complement those applicable to each individual Planning Area. The project-wide standards are:

- 1) THE ENCLAVE SPECIFIC PLAN shall be developed with a maximum of 490 dwelling units and 121,000 square feet of commercial uses on approximately 111 acres, as illustrated on the Comprehensive Land Use Plan (Figure V-1). General permitted uses will include residential, recreation, commercial, and circulation as delineated on the Comprehensive Land Use Plan and in the individual Planning Areas.
- 2) Uses and development standards will be in accordance with Riverside County Ordinance No. 348 as amended by THE ENCLAVE SPECIFIC PLAN Zoning Ordinance and will be further defined by Specific Plan objectives, the Specific Plan design guidelines, and future detailed development proposals including subdivision, plot plans and conditional use permits.
- 3) Standards and guidelines relating to signs, landscaping, parking and other related design elements will conform to Riverside County Ordinance No. 348 (Land Use Ordinance) unless exceeded by the guidelines and standards within THE ENCLAVE SPECIFIC PLAN.
- 4) All project lighting shall be in conformance with applicable Riverside County standards, including Ordinance No. 655.
- 5) Development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinance Nos. 348 and 460 and State laws; and shall conform substantially to Specific Plan No. 331 as filed in the office of the Riverside County Planning Department, unless otherwise amended.
- 6) Except for the Specific Plan Development Standards/Design Guidelines and Specific Plan Zoning adopted concurrently with this Specific Plan, no portions of the Specific Plan which purport or propose to change, waive or modify any ordinance or other legal requirement for development shall be considered to be part of the adopted Specific Plan.
- 7) Lots created pursuant to this Specific Plan and associated tentative map shall be in conformance with the development standards of the Specific Plan zone applied to the property, and all other applicable County standards and the Subdivision Map Act.
- 8) Flag lots shall not be permitted.

- 9) Development applications which incorporate common areas shall be conditioned for the completion of design plans for the common areas, specifying the location and extent of landscaping, irrigation systems, structures and circulation (vehicular and pedestrian and/or bicycle).
- 10) Prior to the issuance of building permits, improvement plans for developed common open space areas, including landscaping and irrigation plans, shall be submitted for Planning Department approval for the stage of development in question. Landscaping and irrigation plans shall be certified by a landscape architect. The improvement plans shall include:
 - a. Final Grading Plans.
 - b. Irrigation Plans certified by a landscape architect.
 - c. Landscape Plans certified by a landscape architect.
 - d. Fence Treatment Plans
 - e. Special Treatment/Buffer Area Treatment Plans.
- 11) Common areas identified in the specific plan shall be owned and maintained as follows:
 - a. A permanent master maintenance organization shall be established for the specific plan area, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas. The organization will be private. Neighborhood associations shall be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.
 - b. The master maintenance organization shall be established prior to or concurrent with recordation of the first land division, or issuance of any building permit for any approved development permit.
 - c. Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
 - d. The ownership and maintenance responsibility shall be specifically identified for each open space and/or recreational lot at the time implementing development applications, such as subdivisions, plot plans and/or use permits, are filed.
- 12) Designation and/or dedication of parkland and open space acreage, and/or payment of fees necessary to satisfy both County and State requirements, will be based on the neighborhood and community park acreage designated within the Jurupa Community Services District Master Plan of Parks.
- 13) Final development densities for each Planning Area shall be determined through the appropriate development application up to the maximum number of units identified by the Specific Plan for that Planning Area, based upon but not limited to, the following:

- a. Adequate availability of services;
 - b. Adequate access and circulation;
 - c. Sensitivity to landform;
 - d. Innovation in housing types and design;
 - e. Sensitivity to neighborhood design through lot and street layouts.
- 14) For the security and safety of future residents the applicant and/or developer shall incorporate the following design concepts within each individual development proposal:
- a. Circulation for pedestrians, vehicles, and police patrols.
 - b. Lighting of streets, walkways, and bikeways.
 - c. Visibility of doors and windows from the street and between buildings, where practical.
 - d. Fencing of appropriate heights and materials.
 - e. Addresses which light automatically at night.
 - f. Special lighting requirements on any buildings that are grouped in a way that individual addresses are difficult to read.
- 15) A land division filed for the purposes of phasing or financing shall not be considered an implementing development application, provided that, if the maintenance organization is a property owners' association, the legal documentation necessary to establish the association shall be recorded concurrently with the recordation of the final map.
- 16) Each planning area shall comply with applicable Riverside County recycling requirements.
- 17) The County may initiate an amendment or revocation proceeding on all or any portion of this Specific Plan if a development proposal has not been approved within five (5) years of the Board of Supervisors' adoption of the specific plan.
- 18) The gated community wall/fencing that encloses the entire residential specific plan shall be a solid 8.5' high along Schleisman Road and 9' high along Archibald Avenue and shall be a concrete block wall. The specific plan wall/fence along Schleisman Road and Archibald Avenue may be solid or a combination of wall and open wrought iron fencing. (See Figures V-26 to V-31 Overall Fence and Wall Plan, and Conceptual Wall Details)
- 19) Each planning area shall include development of adjacent common open space areas, landscape development zones and applicable infrastructure.
- 20) Construction of the Specific Plan, including recordation of final subdivision maps, may be done progressively in stages, provided vehicular access, public facilities and infrastructure is constructed to adequately service the dwelling units or as needed for public health and safety in each stage of development and further provided that each phase of development conforms substantially with the intent and purpose of the Specific Plan Phasing Requirements (Section V.A.6).



LEGEND

- Divided Urban Arterials (Public)
- Collector Streets (Private)
- Planning Area Access Point
- Emergency ingress / egress only
- Signalized Intersection
- Local Street (Private)

Not to Scale

The Enclave Specific Plan

Circulation Plan

ALBERT A. WEBB
ASSOCIATES
ENGINEERING CONSULTANTS

Figure V-3

B. LAND USE, PLANNING AND DESIGN STANDARDS BY PLANNING AREA**1. PLANNING AREA 1: COMMERCIAL****a. Descriptive Summary**

Planning Area 1 is intended to function as a neighborhood commercial center. This Planning Area consists of about 15 acres and is located in the northeast corner of THE ENCLAVE SPECIFIC PLAN at the intersection of Archibald Avenue and Schleisman Road. This Planning Area includes a pocket park, is bounded on the south by low density single family residential homes, and on the west by the medium density Green Courts single family housing. Approximately 0.92 of the 15 acres within Planning Area 1 will include a pocket park (Figure V-36, Archibald Entry Pocket Park). This park serves in part as a buffer between the residential and commercial uses. Figure V-47 shows Planning Area 1 and its relationship to roads and adjacent planning areas. Planning Area 1 is located within Assessor Parcel Number 134-140-010.

b. Land Use and Planning Standards

For permitted land uses and planning standards such as setbacks and yard requirements, refer to the Specific Plan Zoning Ordinance, Section IV herein.

c. Commercial Design Standards**1. Special Treatment Buffer Areas**

- The boundaries between the commercial uses of Planning Area 1 and the surrounding residential areas shall be designed to provide an appropriate buffer between the uses. These buffers shall address potential aesthetic, noise and traffic impacts. As shown in Figures V-47, Planning Area 1; V-7, Conceptual Landscape Plan; V-20 Commercial Edge Treatment; and V-21 Commercial Edge Treatment (Section) a combination of setbacks, berms, walls and landscaping are used to achieve this standard. Setback requirements are as per the Specific Plan Zoning Ordinance, Section IV herein.
- Archibald Avenue shall provide a 3-foot high bermed landscaped setback, lushly planted to buffer the view of vehicular traffic within the commercial area.

2. Parking

- The parking provided by the project will meet the County's parking requirements.
- All open parking area and their adjacent vehicular access ways shall incorporate landscaping, which may be comprised of trees, shrubs and groundcovers. Landscaping shall include at least one (1) 15 gallon shade tree per 10 parking stalls in open parking area and vehicular access way. Planting areas shall be a minimum of 5'x5' diamond shape or equal inside dimension.

3. Signs

- A sign program shall be developed and submitted for approval by The County of Riverside Planning department.

4. Access

- As shown on Figure V-3, Circulation Plan, access Planning Area 1 will be taken directly from Archibald Avenue via a right-in, right-out, about 600 feet south of Schleisman Road (full access) and from Schleisman Road via a right-in, right-out, left-in only intersection located about 600 feet west of Archibald Avenue, and from Street 'B' on the south. Additional right-in, right-out access may be allowed from the public roads during plot plan review.
- Pedestrian access from the adjacent residential areas may be considered on the west and south boundaries of the commercial planning area.
- Stacking depths and approaches for ingress and egress of vehicular traffic shall be according to County of Riverside requirements.

5. Park

- The Park shall be developed per the development standards associated with the Landscape Concept, Section V.A.4. of this document.

d. Design Guidelines

1) Building Layout & Arrangement

- Buildings shall be oriented to allow visibility to and within the project. Buildings fronted on major streets, internal drive aisles, parking areas and pedestrian areas shall present a finished and articulated façade.
- Provide defined entrances and entry access points that are easily located from a distance by pedestrians and/or vehicular traffic.
- Project a positive public image, enhancing the function and aesthetics of the center by integrating buildings with landscape and/or structural elements.

2) Service Areas

- Service areas shall be located on the sides or rear of the buildings they serve.

3) Screening

- Service areas and external loading areas shall be screened from view by the general public. Screening may be accomplished by the use of walls, fences, trellis's landscaping or a combination of elements.
- Earth berms, landscape materials, walls and appropriate combinations thereof, shall be used for screening purposes. Chain link may not be used to screen storage or truck loading areas, and where employed, the metal fabric must be substantially obscured by vines or other plant materials.

4) Landscaping

a) Coverage:

The sum of landscape areas including parkway shall be no less than 10% of the total area of the property.

b) Plant selection list:

For the recommended plant materials for the commercial area, refer to Table V-A-3: Plant List – Commercial, in the Concept Landscape Plan section of this document, Section V.4. All plant material should be from this list or as approved by County Planning staff.

c) Planting guidelines:

Trees shall be no less than 15 gallon size and shall be of species and variety identified on Table V-A-3: Plant List – Commercial, in the Concept Landscape Plan section of this document, Section V.B.4., or as approved by staff. To achieve the desired visual and aesthetic effect, tree size may vary with the approval of the County Planning department.

Trees smaller than 24" box shall be staked with minimum of one (1) 8' x 2" dia. Pressure treated lodge pole tree stakes or equivalent. All 24" box trees shall be staked with a minimum of two (2) 10' x 2" dia. Pressure treated lodge pole tree stakes or equivalent. Larger trees shall be guyed per County standards.

Street trees shall be spaced according to the growth characteristics of the species selected. Trees may be clustered. Tree species shall conform to Table V-A-3: Plant List – Commercial, in the Concept Landscape Plan section of this document, Section V.4.

One (1) tree shall be provided for each ten (10) stalls. Trees may be of a species that provides visibility to signage and store fronts. A vertical type tree which has open foliage would be appropriate. Eighty percent of the trees shall be 15 gallons and the remaining twenty percent shall be 24" box or larger.

All plant material shall be planted in the following minimum sizes:

Trees – 15 gallons

Shrubs - 1 gallon.

Primary accent entry tree species shall be a minimum of 24 inch box.

Planting ratios for major street medians and parkway shall be:

Turf: 35 percent

Ground cover and shrubs: 65 percent

d) Special treatments:

Hardscape design elements shall be incorporated into the overall design scheme for plaza, courtyard or transitional spaces within Planning Area 1 of The Enclave Specific Plan. Hardscape elements will function as visual and physical connection between buildings, buildings and landscape materials within the project area in a coordinated and consistent manner. The site amenities shall include but may not be limited to the following:

Light fixtures
Bollards
Benches
Trash receptacles
Signage
Enhanced paving at major vehicular entries

5) Architectural Features

a) Basic Theme:

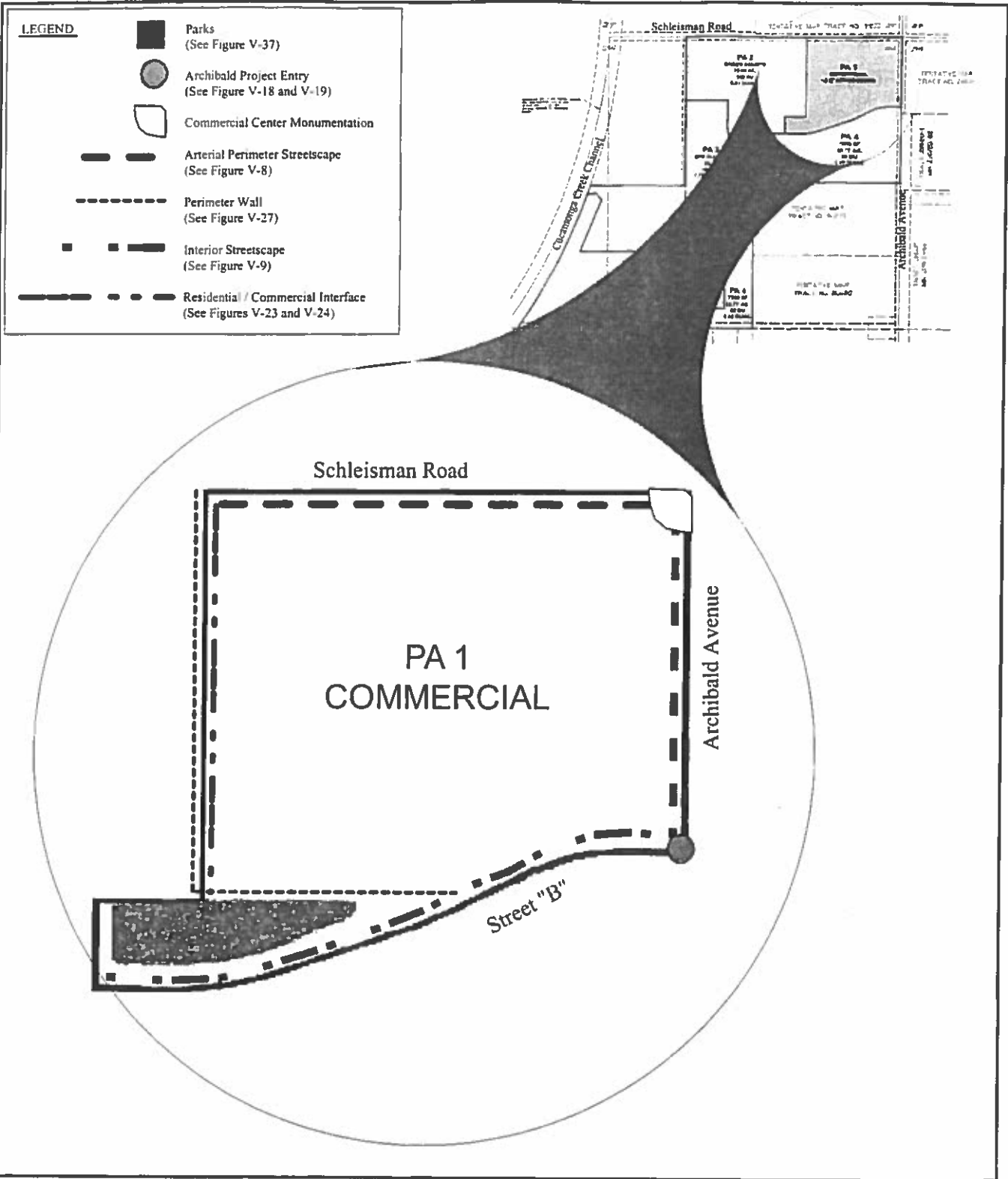
A contemporary “Craftsman” style is anticipated for the overall design theme in the commercial area, however alternative themes may be considered, such as Spanish Colonial. All buildings in this area, whether inline or freestanding, will utilize elements complementary to the selected style though unique and creative designs are encouraged in order to provide variation and interest in this development.

b) Building Form & Mass

Due to their locations at the intersection of Archibald Avenue and Schleisman Road, all commercial buildings have the potential for high visibility from the street and from neighboring uses with corner intersection locations having greater visibility than others. This location is prominent, making it a prime opportunity for business development but also reflecting a strong statement about the character of this community. Therefore the following design considerations should be kept in mind during the site planning and design for commercial centers in this location:

- Provide defined entrances and entry access points that are easily located from a distance by pedestrians and/or vehicular traffic.
- Project a positive public image, enhancing the function and aesthetics of the center by integrating buildings with landscape and/or structural elements.
- Provide variation in plan, form and function of buildings and resulting adjacent spaces both inside and out with the use of recesses, pop-outs, positioning and relationships of buildings.
- Avoid monotony and repetition in building elevations and the street scene by varying building heights, massing and rooflines, design elements, color, texture and materials, building placement and landscape.
- Avoid long, uninterrupted building planes by designing in smaller components and varying massing.
- Articulate all primary building elevations, providing visual interest with size and placement of windows, and integrate overhangs and other external elements into the overall building design.
- Design with a level of detail consistent with the scale of the buildings throughout the shopping center.

- Where appropriate, adhere to community design character and style requirements, providing complementary buildings, ancillary structures and landscape elements in conjunction with these standards.
- c) Details & Materials
The details below address the Craftsman style. If an alternate architectural style is selected then design elements appropriate to that style will be used.
- Articulation of building elements both vertically and horizontally
 - Accentuated entries
 - Broad roof overhangs with exposed rafter tails
 - 4:12 to 5:12 roof pitch with flat concrete tile (shingle appearance)
 - Rustic textured building materials (stone, etc.)
 - Breakup of storefront and window areas
 - Metal grillwork and trellises, though not traditional, should complement the traditional elements of this style
 - “Arts and Crafts” style lighting fixtures
 - Warm, light to dark earth tone color palette
- d) Spaces – Verandas, Patios, Courtyards:
- Courtyards may be provided for appropriate retail or food and restaurant uses.
- e) Outside Furnishing:
- Outside furnishing include but not limited to light fixtures, bollards, benches, trash receptacles and signage.
 - An appropriate style of furnishing for the theme of the project may be selected and utilized at appropriate locations throughout the development.
- f) Walkways
Walkways within the commercial area should be constructed of compatible materials and finishes to provide consistency throughout the center. Pedestrian walkways should be considered to connect with the residential areas to the west and south of Planning Area 1.
- g) Lighting
Lighting types and levels shall be per County of Riverside standards, or as approved by the County Planning staff.



Not to Scale



The Enclave Specific Plan

Planning Area 1
ALBERT A. WEBB
 ASSOCIATES
 ENGINEERING CONSULTANTS

Figure V-47

2. PLANNING AREA 2: – GREEN COURTS

e. Descriptive Summary

Planning Area 2 is a cluster single family detached product referred to as “Green Courts.” The Green Courts within Planning Area 2 are proposed to include 106 units with a minimum lot size of 2,030 square feet. This Planning Area consists of about 20 acres and is located on the north edge of THE ENCLAVE SPECIFIC PLAN adjacent to Schleisman Road. This Planning Area is bounded on the south by high density single family residential alley-loaded homes, on the east by commercial uses, and on the west by an existing agricultural use, calf farm. Figure V-48 shows Planning Area 2 and its relationship to roads and adjacent planning areas. Approximately 3 of the 20 acres within Planning Area 2 will include a neighborhood parks as well as the main recreation center (Figure V-37, Central Recreation Area Conceptual Landscape Plan). Planning Area 2 is located within Assessor Parcel Numbers 134-140-009 and 010.

f. Land Use and Planning Standards

For permitted land uses and planning standards such as setbacks and yard requirements, refer to the Specific Plan Zoning Ordinance, Section IV herein.

g. Green Courts Design Standards

1. Encroachments

- Refer to the Specific Plan Zoning Ordinance, Section IV herein.

2. Parking

- Refer to the Specific Plan Zoning Ordinance, Section IV herein. Garages are located at the rear of the lot and accessed via an alley or street.

3. Special treatment/buffer areas

- The boundaries between Planning Area 2 and the commercial uses of Planning Area 1 shall be designed to provide an appropriate buffer between the uses. These buffers shall address potential aesthetic, noise and traffic impacts. As shown in Figures V-50 Planning Area 2; V-7, Conceptual Landscape Plan; and V-22 Commercial Edge Treatment, a combination of setbacks, walls and landscaping are used to achieve this standard. Setback requirements are as per the Specific Plan Zoning Ordinance, Section IV herein.
- Extra landscaping to buffer residents from immediately adjacent agriculture uses located along the western edge of Planning Area 2 will be provided through the use of setbacks and common area landscaping. Green Court lots located along the western edge will include a 10-foot side yard instead of the usual 5 feet, allowing homeowners to plant additional landscaping if they desire to screen the agricultural use. Common area landscaping and roads may also be used to provide adequate setbacks and landscaping between the residential and agricultural uses.

4. Park










- The Parks shall be developed per the development standards associated with the Landscape Concept, Section V.A.4. of this document.

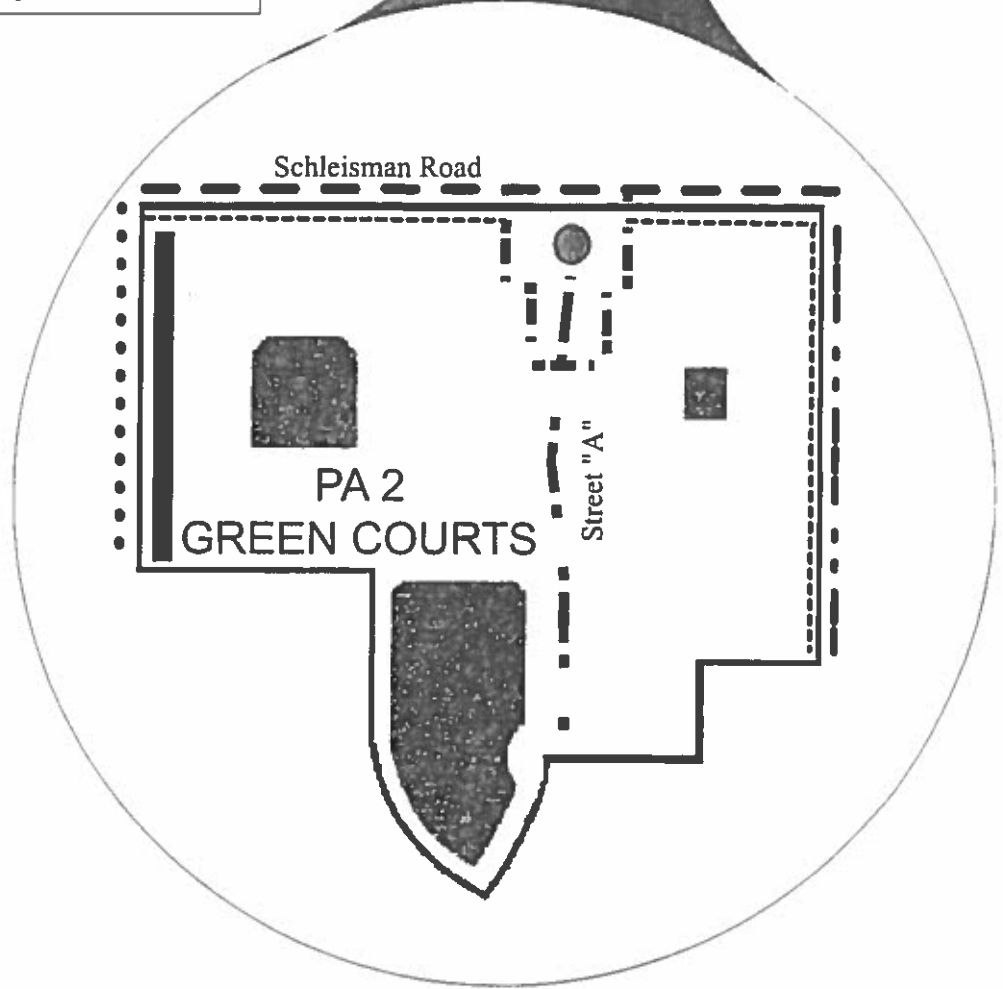
5. Landscape requirements

- Front yard landscaping shall include a minimum of one (1) 24” box tree
- For corner lots, an additional 24” box tree shall be required in addition to required alley or street trees.

h. Design Guidelines

Please see Section V.C. for Green Courts Design Guidelines.

LEGEND	
	Parks (See Figure V-37)
	Archibald Project Entry (See Figure V-18 and V-19)
	Perimeter Wall (See Figure V-27)
	Arterial Perimeter Streetscape (See Figure V-8)
	Interior Streetscape (See Figure V-9)
	Residential / Commercial Interface (See Figures V-23 and V-24)
	Split Face Block Wall (See Figure V-29)
	Agricultural / Residential Interface Additional 5' setback
	View Fence (See Figure V-28)



Not to Scale



The Enclave Specific Plan

Planning Area 2
 ALBERT A.
WEBB
 ASSOCIATES
 ENGINEERING CONSULTANTS

Figure V-48

2. PLANNING AREA 3: – ALLEY LOADED

a. Descriptive Summary

Planning Area 3 is a single family detached product on small lots with garage access taken from rear alleys referred to as “Alley Loaded.” The Alley Loaded homes within Planning Area 3 are proposed to include 183 units with a minimum lot size of 2,625 square feet. This Planning Area consists of about 23 acres and is located on the west edge of THE ENCLAVE SPECIFIC PLAN adjacent to Planning Areas 2, 4 and 5. This Planning Area is bounded on the south and east by high density single family residential homes, on the north by Green Court homes, and on the west/north by an existing agricultural use, calf farm. Figure V-49, shows Planning Area 3 and its relationship to roads and adjacent planning areas. Planning Area 3 is located within Assessor Parcel Numbers 134-140-008 and 009.

b. Land Use and Planning Standards

For permitted land uses and planning standards such as setbacks and yard requirements, refer to the Specific Plan Zoning Ordinance, Section IV herein.

c. Alley Loaded Design Standards

1. Encroachments

- Refer to the Specific Plan Zoning Ordinance, Section IV herein.

2. Parking

- Refer to the Specific Plan Zoning Ordinance, Section IV herein. Garages are located at the rear of the lot and accessed via an alley.

3. Special treatment/buffer areas

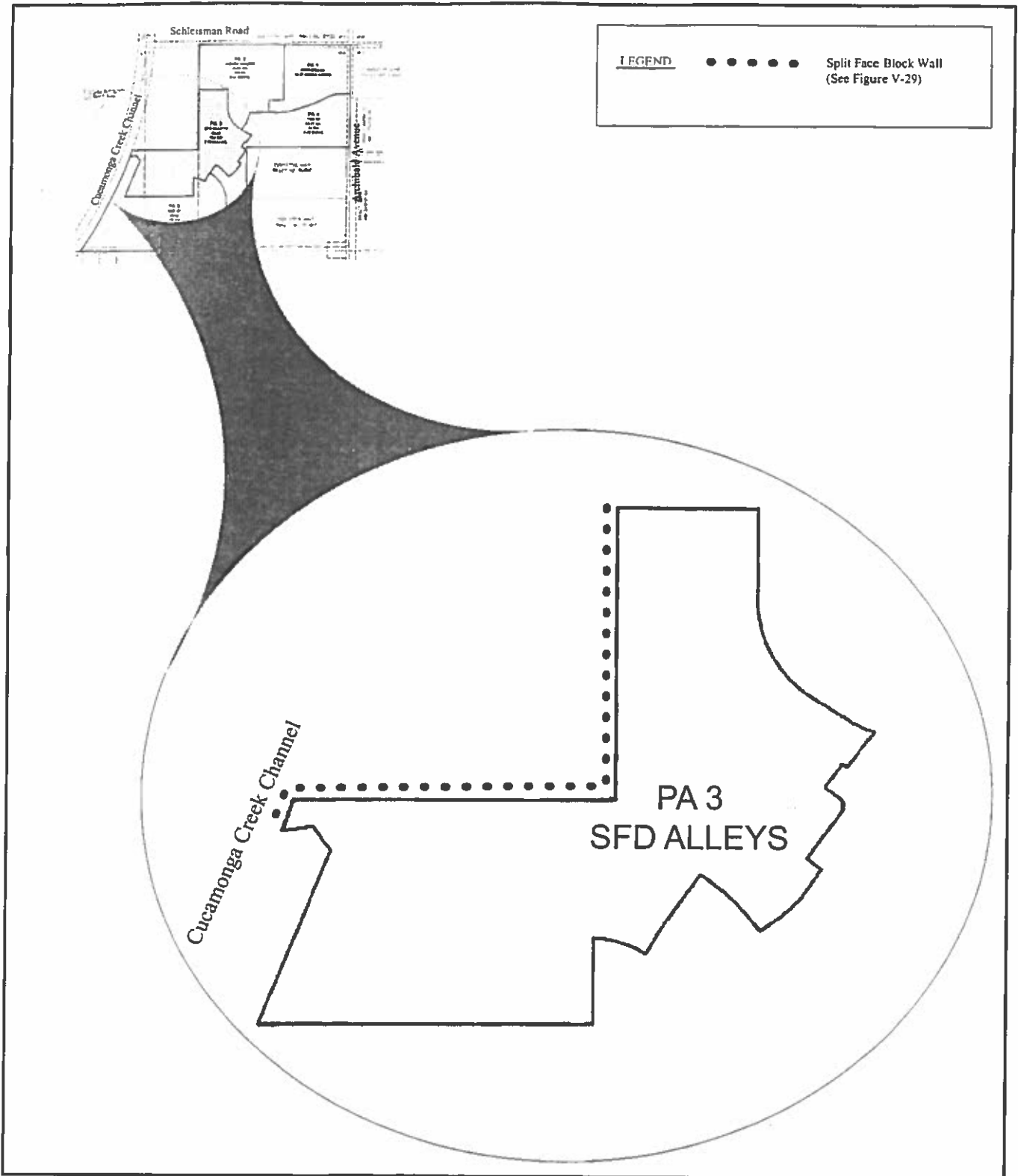
- Extra landscaping to buffer residents from immediately adjacent agriculture uses located along the western/northern edge of Planning Area 3, adjacent to agricultural uses, will be provided through the use of setbacks, streets and common area landscaping.

4. Landscape requirements

- Front yard landscaping shall include a minimum of one (1) 24” box tree
- For corner lots, an additional 24” box tree shall be required in addition to required alley or street trees.

d. Design Guidelines

Please see Section V.C. for Alley Loaded Design Guidelines.



Not to Scale



The Enclave Specific Plan

Planning Area 3

ALBERT A.
WEBB
ASSOCIATES
ENGINEERING CONSULTANTS

Figure V-49

3. PLANNING AREA 4: – SINGLE FAMILY RESIDENTIAL – 7,200 S.F. LOTS

a. Descriptive Summary

Planning Area 4 is a traditional single family detached product. Planning Area 4 is proposed to include 82 units with a minimum lot size of 7,200 square feet. This Planning Area consists of about 24 acres and is located on the east edge of THE ENCLAVE SPECIFIC PLAN adjacent to Archibald Avenue. This Planning Area is bounded on the south by existing agricultural fields proposed for future tracts, on the west by medium density single family residential alley-loaded homes, on the north by commercial uses and on the east by existing agricultural fields proposed for future tracts and Archibald Avenue. Figure V-50 shows Planning Area 4 and its relationship to roads and adjacent planning areas. Planning Area 4 is located within Assessor Parcel Numbers 134-140-009 and 010.

b. Land Use and Planning Standards

For permitted land uses and planning standards such as setbacks and yard requirements, refer to the Specific Plan Zoning Ordinance, Section IV herein.

c. Design Standards

1. Encroachments

- Refer to the Specific Plan Zoning Ordinance, Section IV herein.

2. Parking

- Refer to the Specific Plan Zoning Ordinance, Section IV herein.

3. Special treatment/buffer areas

- No special treatment or buffer areas are proposed to be located within this planning area.

4. Parks

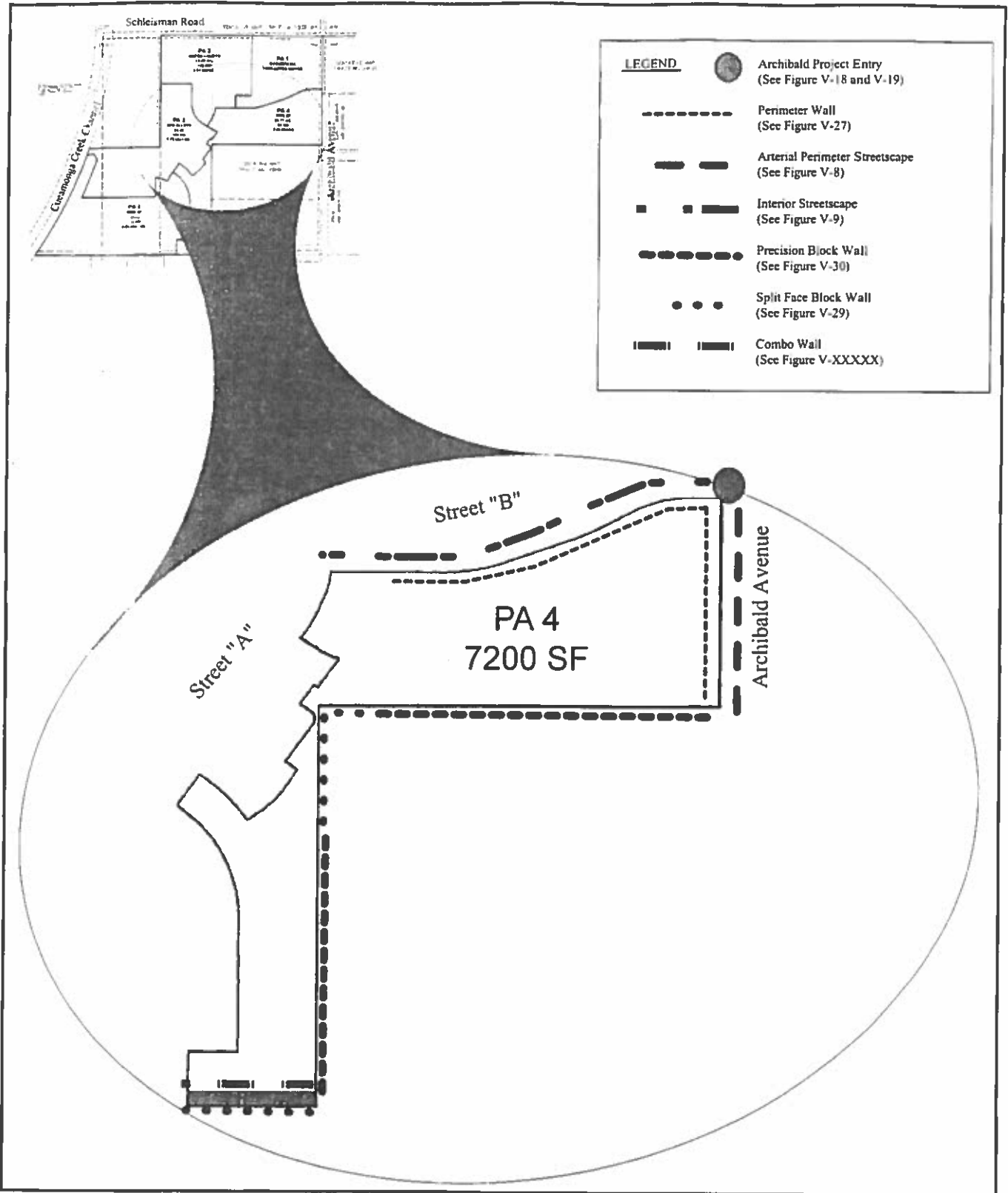
- A portion of the Linear Park along the Edison easement on the southern project boundary extends into this Planning Area.

5. Landscape requirements








- Front yard landscaping shall include a minimum of one (1) 24" box tree and one (1) 15 gallon tree in addition to the street tree.
- For corner lots, an additional 24" box tree shall be required.

d. Design Guidelines

Please see Section V.C. for Single Family Design Guidelines.



LEGEND

-  Archibald Project Entry
(See Figure V-18 and V-19)
-  Perimeter Wall
(See Figure V-27)
-  Arterial Perimeter Streetscape
(See Figure V-8)
-  Interior Streetscape
(See Figure V-9)
-  Precision Block Wall
(See Figure V-30)
-  Split Face Block Wall
(See Figure V-29)
-  Combo Wall
(See Figure V-XXXXX)

Not to Scale



The Enclave Specific Plan

Planning Area 4



Figure V-50

4. PLANNING AREA 5: – SINGLE FAMILY RESIDENTIAL – 6,500 S.F. LOTS

a. Descriptive Summary

Planning Area 5 is a traditional single family detached product. Planning Area 5 is proposed to include 119 units with a minimum lot size of 6,500 square feet. This Planning Area consists of about 30 acres and is located on the west edge of THE ENCLAVE SPECIFIC PLAN adjacent to the Cucamonga Creek Channel. This Planning Area is bounded on the south by existing agricultural fields and rural residential uses proposed for future tracts, on the north by medium density single family residential alley-loaded homes, on the west by Cucamonga Creek Channel and on the east by existing agricultural fields proposed for future tracts. Figure V-51 shows Planning Area 5 and its relationship to roads and adjacent planning areas. Nearly 1 acre of the 30 acres within Planning Area 5 will include a pocket park (Figure V-37, Pocket Park, and Figure V-40, Southern Linear Park). The open space along the southern project boundary is located under power lines owned and operated by Edison and extends into Planning Area 4. Planning Area 5 is located within Assessor Parcel Numbers 134-140-008 and 009.

b. Land Use and Planning Standards

For permitted land uses and planning standards such as setbacks and yard requirements, refer to the Specific Plan Zoning Ordinance, Section IV herein.

c. Design Standards

1. Encroachments

- Refer to the Specific Plan Zoning Ordinance, Section IV herein.

2. Parking

Refer to the Specific Plan Zoning Ordinance, Section IV herein.

3. Special treatment/buffer areas

- No special treatment or buffer areas are proposed to be located within this planning area.

4. Parks

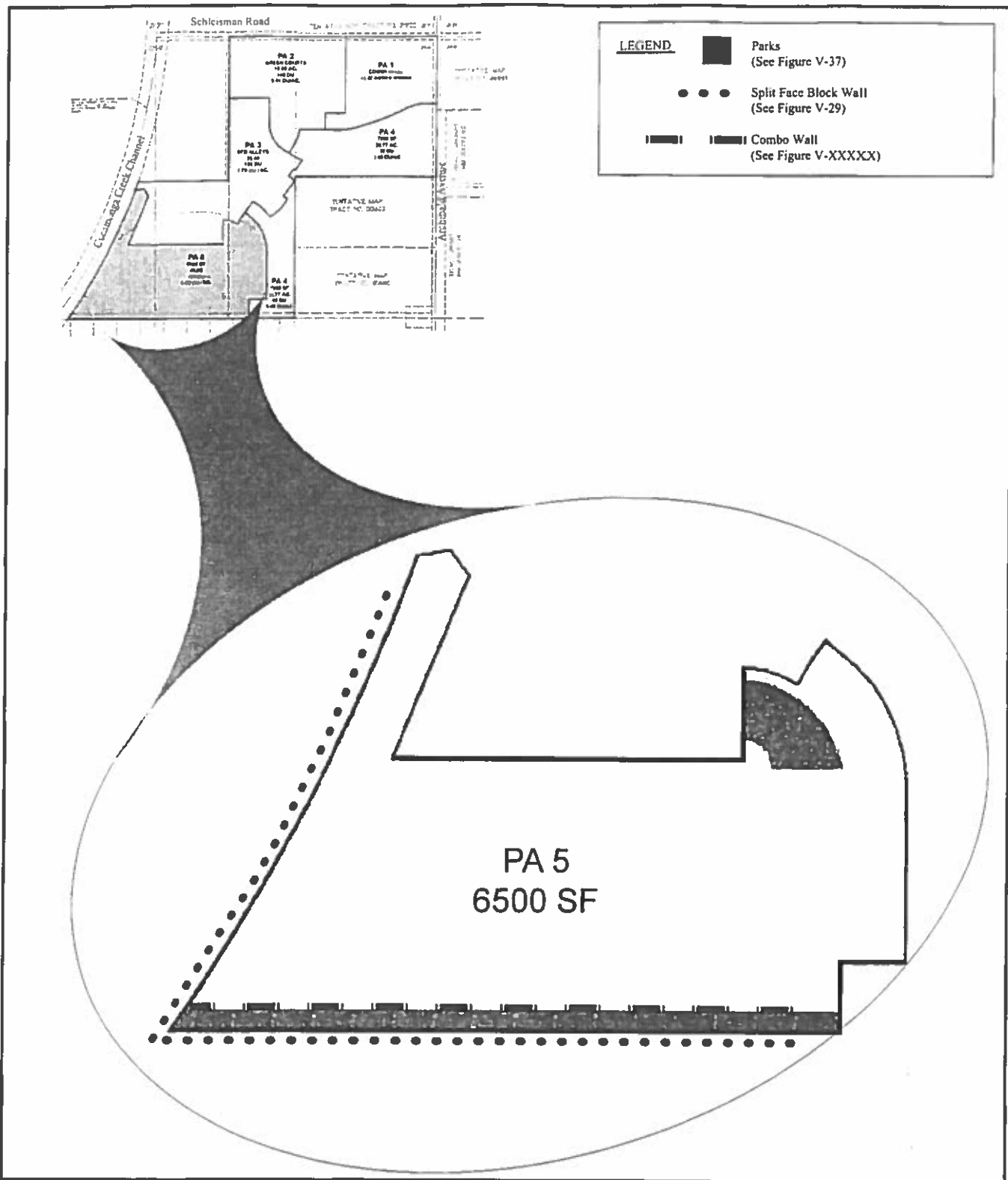
- The Park shall be developed per the development standards associated with the Landscape Concept, Section V.A.4. of this document.

5. Landscape requirements

- Front yard landscaping shall include a minimum of one (1) 24” box tree and one (1) 15 gallon tree in addition to the street tree.
- For corner lots, an additional 24” box tree shall be required.

d. Design Guidelines

Please see Section V.C. for Single Family Design Guidelines.



Not to Scale



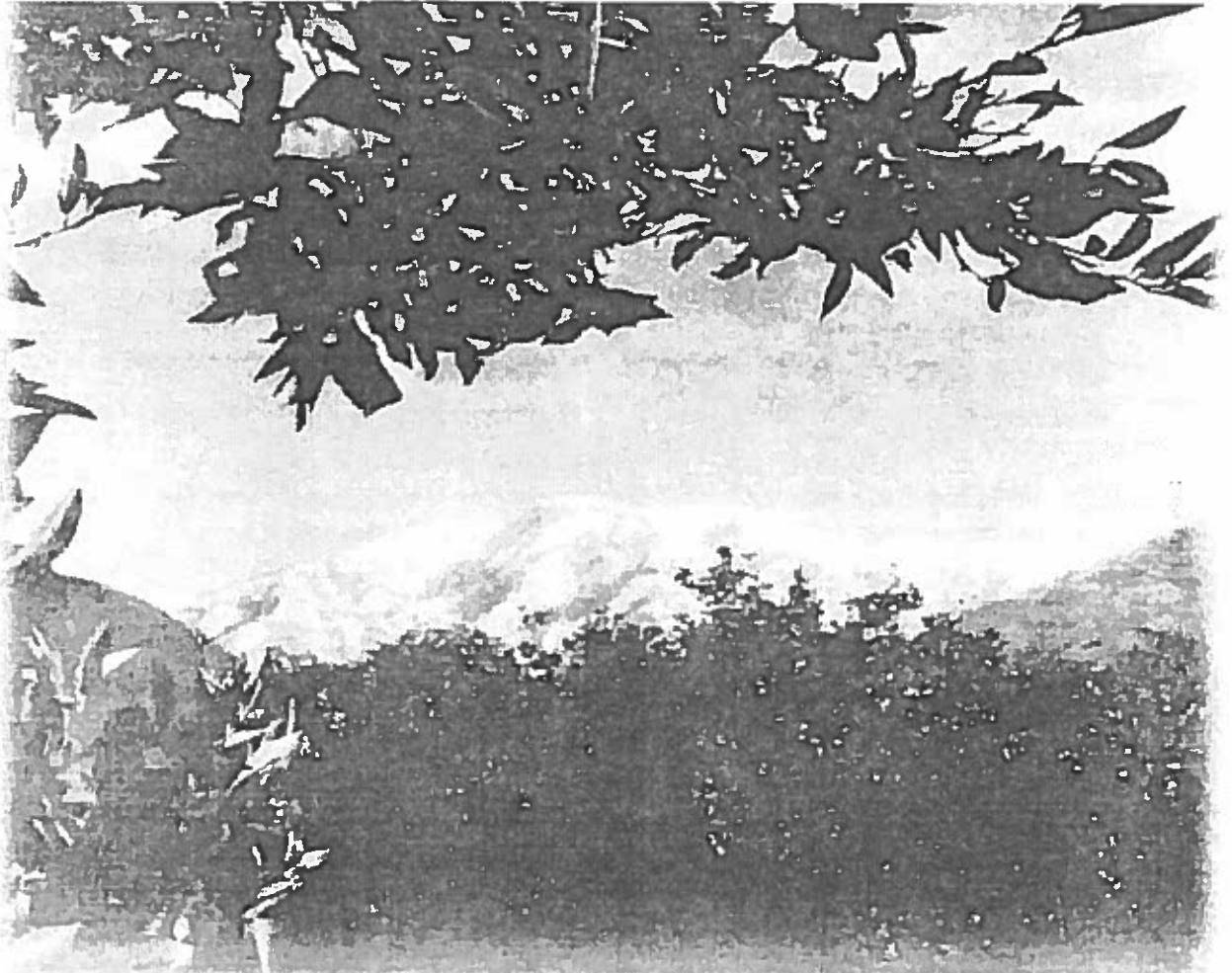
The Enclave Specific Plan

Planning Area 5

ALBERT A.
WEBB
ASSOCIATES
ENGINEERING CONSULTANTS

Figure V-51

Architectural Design Guidelines 1.0



The Enclave community falls within Riverside County's Second Supervisorial District. The Design Guidelines for Development in this district have been referenced for the standards shown in this document for 7,200 square foot lots. However, as a variety of new housing types are also being built here, new standards have been developed for all homes as they relate to one another and to the overall community.

Introduction 1.0

1.0 INTRODUCTION

The Enclave is a new residential community located in the County of Riverside. The historical character of this area is rural and primarily agricultural, from the times of the original Ranchos to the beginning of the latest century.

The proposed community design emphasizes the integration of this rural, agrarian character with its growing uses and a variety of new residential housing types in a traditional setting reminiscent of early Southern California neighborhoods. These elements include:

- Neighborhoods of single-family detached homes in varied building types
- Neighborhood parks connected by pedestrian walks
- A gated community with recognizable community elements and amenities
- A mixed-use center including various commercial opportunities and neighborhood conveniences.

Using simple, quality design techniques in combination with the purest forms of scale and proportion will result in great neighborhoods with classic homes and pleasing landscapes with a simple beauty and value that exceeds others available in the Inland Empire. These guidelines are written to define the fundamental techniques that builders will use to achieve this goal of simple, quality design and create the level of character and quality that buyers will find in the neighborhoods of The Enclave.

A. PURPOSE

This document provides a creative yet flexible set of guidelines and concepts for neighborhood design and architecture, providing direction for plotting and massing to enhance the streetscape and guidelines for individual architecture.

B. COMMUNITY OVERVIEW

Neighborhoods are designed around two primary connector streets that provide ease of navigation within the community. These neighborhood streets will be of a traditional character with curb-separated sidewalks, street trees and varied architectural styles that provide variety while reflecting the heritage and character of Riverside County.

An overall community design character that reflects this area will be achieved with a traditional small town community theme. Historic and current architectural styles, indigenous materials and colors, regional and climatic elements all inspire the design of neighborhood elements, architecture and landscape throughout this community.

Introduction 1.0

Community design features include:

- Providing a wide variety of needed housing types within a short walking distance of community services.
- Maintaining the rural character of the area by limiting site access to two intersections and providing generous planting along its edges.
- Re-establishing a pride of place in this area and its traditional heritage.
- Encouraging outdoor activity and wellness by providing neighborhood parks, a community recreation center and walks to link all parts of the community.

c. NEIGHBORHOOD DESIGN

1. NEIGHBORHOODS—SINGLE-FAMILY DETACHED

Unique distinction in each neighborhood of The Enclave will be achieved with the following elements:

- A variety of traditional and innovative house plan types including conventional, front loaded, alley loaded, courtyards and clustered arrangements
- An eclectic, yet compatible mix of architectural styles that reflect Riverside County's traditional heritage
- Street-front and alley-loaded access presents a variety of character in street scenes
- Street trees chosen according to size, form, color and species for each neighborhood provide a sense of recognition and changeable patterns throughout the community.
- Varied building masses and landscapes
- A wide palette of appropriate colors and materials.

Common areas and landscape elements will establish the overall character for this community through the use of a strong concept and related elements, colors and materials throughout neighborhoods.

Introduction 1.0

2. *Site-Planning Elements*

- Variety of lot sizes and home square footages to accommodate varied stages of life and housing needs.
- Sidewalks to establish a safe pedestrian-oriented living environment
- Street trees, varied in size, form and color to provide shade and beauty as they mature and a sense of human scale in residential spaces.

3. *Streetscape Massing and Platting*

To provide more interesting neighborhood street scenes, variable front yard setbacks are encouraged. This is one of the fundamental techniques for creating a good neighborhood.

Create attractive and comfortable street scenes and street space by de-emphasizing garages and implementing "architecture forward" plans.

When plotting, refrain from using only minimum garage setbacks to avoid contributing to repetitious street scenes. Typically, plans are to be reversed and plotted so that garages and entries are adjacent to each other to create an undulating setback. Occasionally, this pattern should be broken to avoid monotony.

4. *Roof Forms*

Rows of homes seen from a distance or along arterial roads are perceived by their contrast against the skyline or background. The dominant impact is the shape of the building and roof line. Articulate the building mass and roof lines to express a variety of conditions and minimize the visual impact of repetitious flat planes, similar building silhouettes and similar ridge heights. This can be achieved by using a variety of front to rear, side-to-side, gables and hipped roofs and/or by the introduction of a one story element.

D. *COMMUNITY RECREATION AND COMMON FACILITIES*

These may include common recreation facilities such as a pool, spa, club house, barbecue areas or other facilities as appropriate to the community. Common facilities act as key character elements in these neighborhoods, therefore the following should be considered when designing for such facilities.

- Clubhouse and other common buildings should exhibit a high level of quality and attention to detail on all visible sides of the building.
- All architectural and community elements, such as street furnishings, benches, and lighting standards should be consistent with the selected overall architectural character for the neighborhood.
- Colors, massing, roof pitch and materials of surrounding residential buildings should also be considered in conjunction with the design of the common facility.

Residential Design Guidelines **2.0**

2.0 Residential Design Guidelines

2.0.1 Planning Standards

Each neighborhood or planning area in The Enclave consists of the following uses and/or building types:

Planning Area 1 – Neighborhood Commercial*

Total - 121,000 square feet (leasable space)

Neighborhood Park

Planning Area 2 – Residential Green Court homes

Minimum lot size - 2,030 square feet

Common Green Courts

Community Park & Recreation Facilities

Planning Area 3 – Residential Alley loaded homes –

Minimum lot sizes - 2,625 square feet

Planning Area 4 – Residential Single unit homes

Minimum lot size - 7,200 square feet

Planning Area 5 – Residential Single unit homes

Minimum lot size - 6,500 square feet

2 Neighborhood Parks

*Architectural site development standards for each residential planning area are designated on the following pages. Standards and guidelines for The Neighborhood Commercial Planning area are found in a separate section of this document.

Residential Design Guidelines 2.0

A. PLANNING AREA 2—SINGLE FAMILY DETACHED GREEN COURT HOMES

1. PLANNING STANDARDS

Minimum Lot Size - 2,030 Square Feet

Planning Area 2 consists of approximately 19 acres of detached green court homes located on the northwest corner of The Enclave community adjacent to Schleisman Road. It is bordered on the northeastern corner by Neighborhood Commercial Area 1 and on the south by single family detached Areas 3 and 4. Access to this area is provided from the gated project entries on Schleisman Road and Archibald Avenue and from internal neighborhood streets.

Green court homes are typically clustered around a common green space through which pedestrian sidewalk access occurs although in some cases these homes may front onto neighborhood streets. These homes are located on individual private lots, the size of which may vary within each clustered module. The minimum sized lots occur as interior lots. Larger, longer lots occur at the ends of each cluster to form a narrowed entry to the wider, internal common space (See following site development standards for various individual setbacks in each condition). The front door identity for these homes is to internal neighborhood sidewalks and streets or to common green courts. Automobile access is provided in either case by common alley drives along which garages are located.

In addition to the typical side yard setback of 5, additional side yard living space is provided with the use of a reciprocal use easement of 5' and a required minimum 180 SF private open space. In addition to this, house plans may be notched on the user's side to provide wider, more varied and usable yard spaces between homes. (See following page for diagram of Reciprocal Use Easements and specific design standards)

A community park is located in this area, central to all the neighborhoods in The Enclave. This park offers the use of recreation facilities and open space to all members of the community.

a. Encroachments

See following site development standards for individual encroachments into setbacks

b. Parking

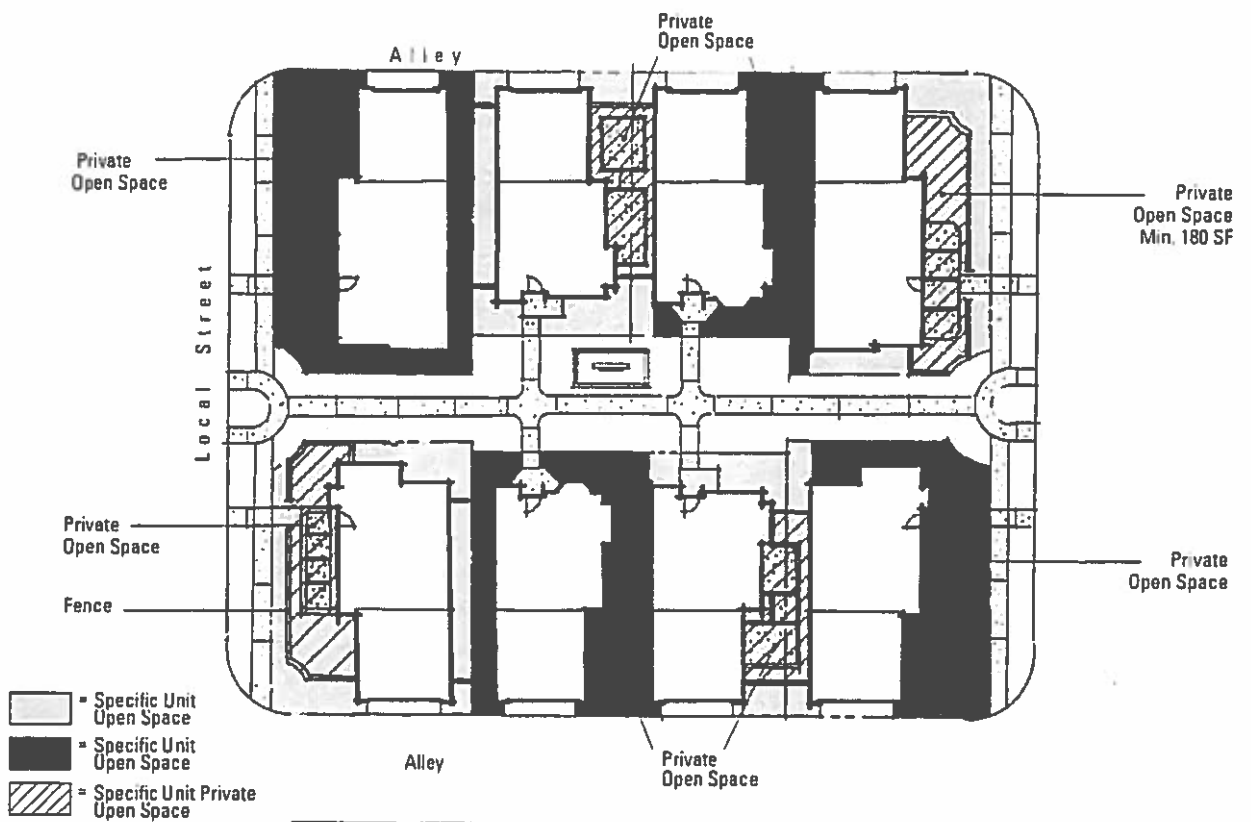
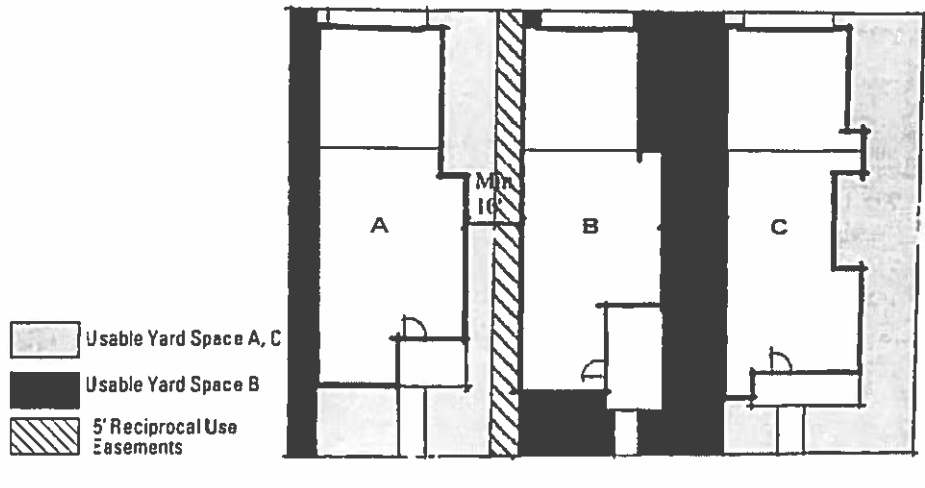
Parking for residents is provided in garaged spaces at a minimum of two per unit. Guest parking is accommodated along neighborhood streets.

c. Special Treatment/Buffer Areas

Open space buffers, specific setbacks and/or landscape treatments are planned where these homes have certain adjacency conditions (see following page for setbacks and landscape section for these treatments).

Residential Design Guidelines 2.0

Single Family Detached Green Court Homes - Reciprocal Use Easements



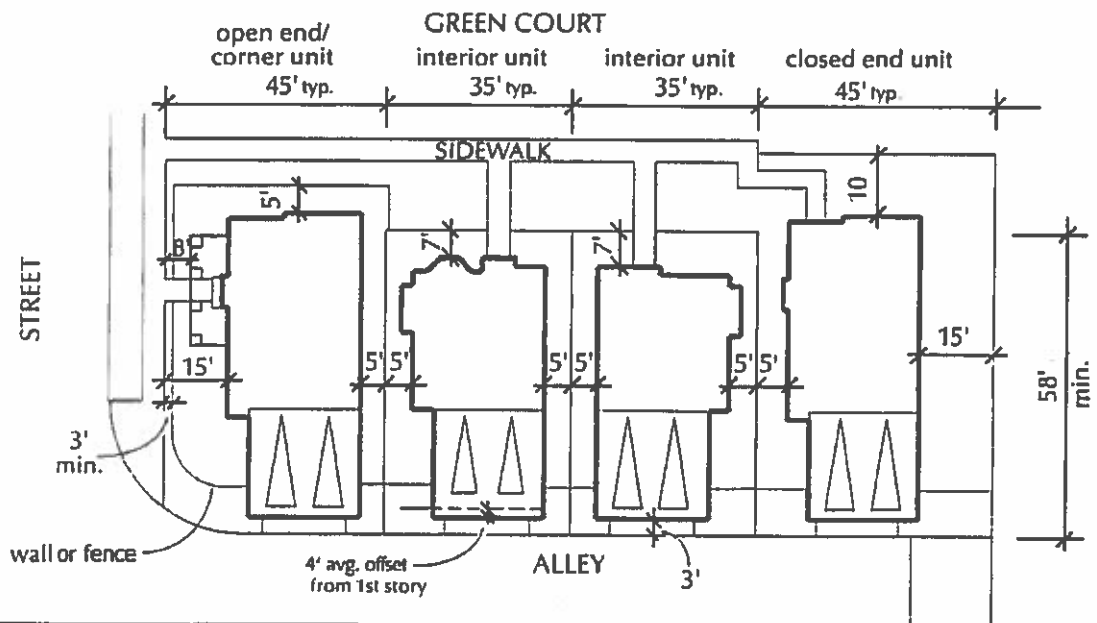
Green Court Open Space Study

NOTE: Plotting Concepts above provided for illustrative purposes only. Not intended to be mandated layout. See Landscape section exhibits for wall/fence standards.

Residential Design Guidelines 2.0

- A. PLANNING AREA 2—SINGLE FAMILY DETACHED GREEN COURT HOMES
2. DESIGN STANDARDS *Minimum Lots – 2,030 Square Feet – Lot sizes vary within green court clusters*

Typical Plotting Concepts



NOTE: Plotting Concepts provided for illustrative purposes only. Not intended to be mandated layout. See Landscape section exhibits for wall/fence standards.

MINIMUM SETBACKS

Front - property line

Porch or balcony on green court	
– Interior units	3'
– Open, closed-end units	5'
Porch or balcony on street	8'
Living space on green court:	
– Interior units	7'
– Closed-end units	10'
– Open-end units	5'
Living space street-facing	10'

Side - to property line

Porch or balcony on corner/end unit	8'
Living space/garage - interior lots	5'
Living space/garage - closed/open end lots/or corner units	15'
Living space/garage adjacent to parcel property lines	15'

Rear

Garage Face to Face	30'
Garage Apron	3'
Living space over garage-offset	Average 4' from 1st story

Private open space

min. 180 SF
With a Min. 12' dimension on ground level**
** Measured to foundation line and dimension of privacy wall/fence may be included within this space

Encroachments into setbacks-front, rear and only one side yard of any home.

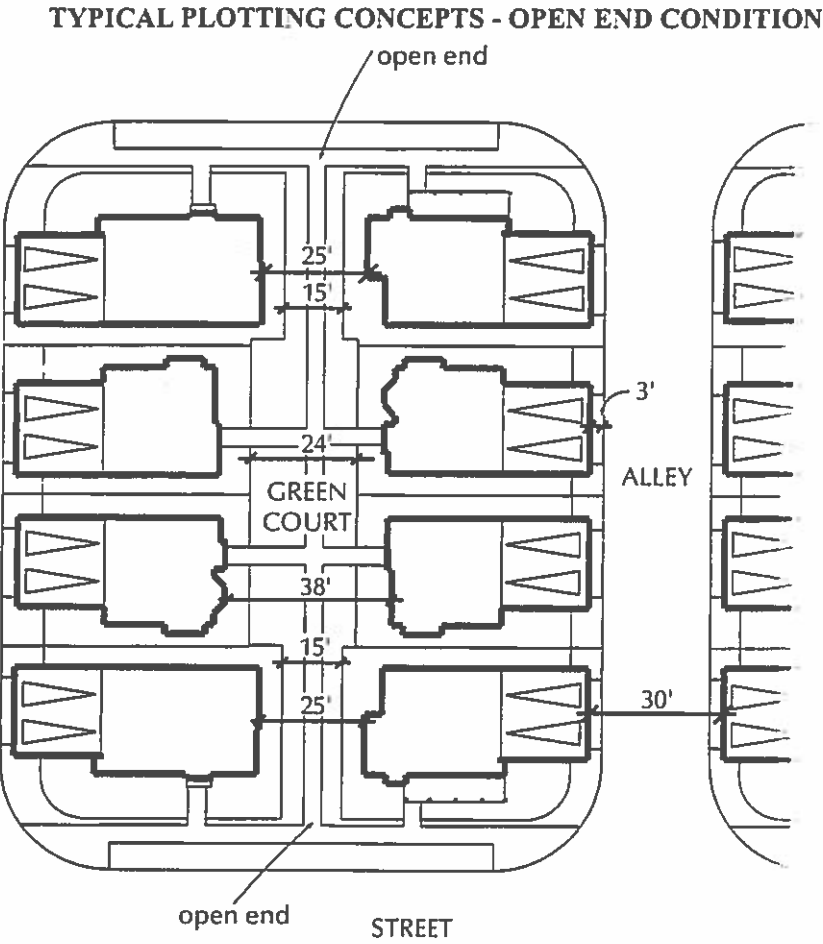
Media Niche (8' w. max), Fireplace, Bay windows (cantilevered), Potshelves/Brackets, etc.	2'
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Parking Per Zoning Ordinance

Residential Design Guidelines 2.0

A. PLANNING AREA 2—SINGLE FAMILY DETACHED GREEN COURT HOMES
 2. DESIGN STANDARDS

Minimum Lots - 2,030 Square Feet



NOTE: Plotting Concepts provided for illustrative purposes only. Not intended to be mandated layout. Plotting Concept diagram illustrates typical plotted clusters. See prior page for minimum setbacks.

MINIMUM SETBACKS

Green Courts - (between property lines)	
Central court	24'
Court at entry (open end)	15'

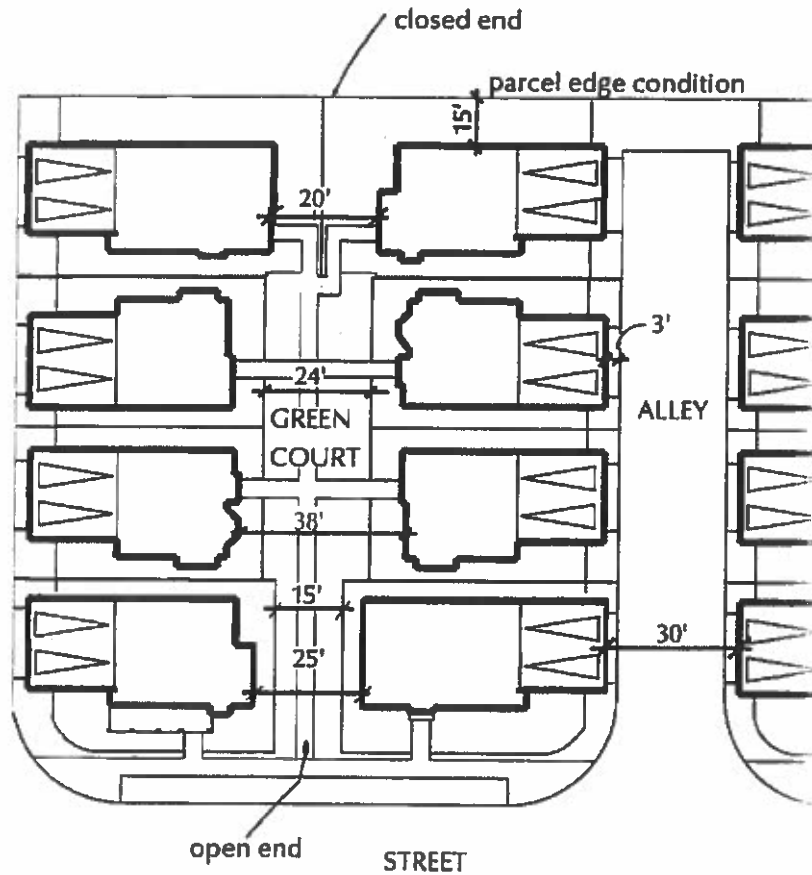
Building Separation	
Front to Front interior units	38'
Front to Front open end units	25'
Front to Side	15'

Residential Design Guidelines 2.0

A. PLANNING AREA 2—SINGLE FAMILY DETACHED GREEN COURT HOMES
 2. DESIGN STANDARDS

Minimum Lots - 2,030 Square Feet

TYPICAL PLOTTING CONCEPTS - CLOSED END CONDITION



NOTE: Plotting Concepts provided for illustrative purposes only. Not intended to be mandated layout. Plotting Concept diagram illustrates typical plotted clusters. See prior pages for minimum setbacks.

MINIMUM SETBACKS

Green Courts - (between property lines)

Central court	24'
Court at entry (open end)	15'

Building Separation

Front to Front interior units	38'
Front to Front closed end units	20'
Front to Front open end units	25'
Front to Side	15'

Residential Design Guidelines 2.0

B. PLANNING AREA 3—SINGLE FAMILY DETACHED ALLEY LOADED HOMES

1. PLANNING STANDARDS

Minimum Lot Size - 2,625 Square Feet

Planning Area 3 consists of approximately 23 acres of detached alley loaded homes located on the western edge of The Enclave community. It is bordered on the north, east and south sides by single family residential Areas 2, 4 and 5 and on the northwestern edge by an existing livestock holding parcel. Access to this area is provided from the gated project entries on Schleisman Road and Archibald Avenue and from internal neighborhood streets. Emergency vehicular access is provided near the northwest corner of this planning area.

Alley loaded homes have a street-front image with front doors facing the sidewalk and street. The front edge presents a pedestrian friendly neighborhood scene along the primary entry street, free of curb cuts for vehicular access. Garages are all located at the rear of lots, accessed by alleys.

In addition to the typical side yard setback of 5', additional side yard living space is provided with the use of a reciprocal use easement of 5', and a required minimum 180 SF private open space. In addition to this, house plans may be notched on the user's side to provide wider, more varied and usable yard spaces between homes. (See following page for diagram of Reciprocal Use Easements and specific design standards)

a. Encroachments

See following site development standards for individual encroachments into setbacks.

b. Parking

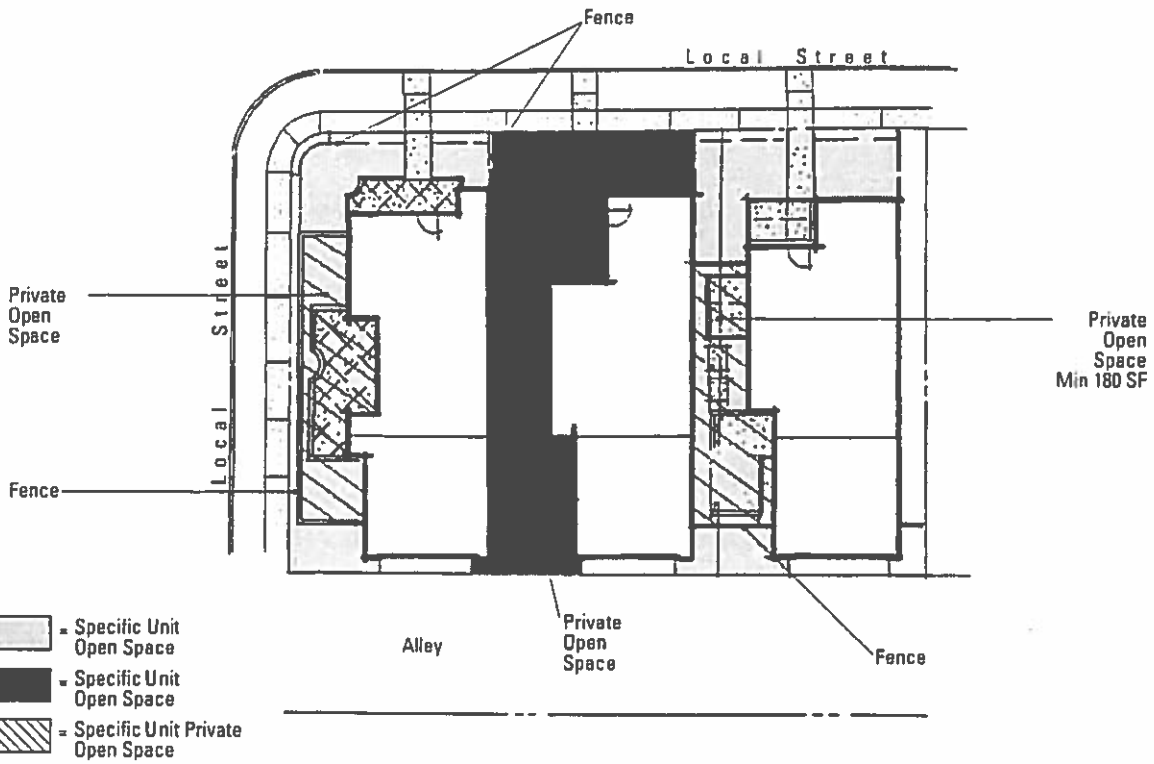
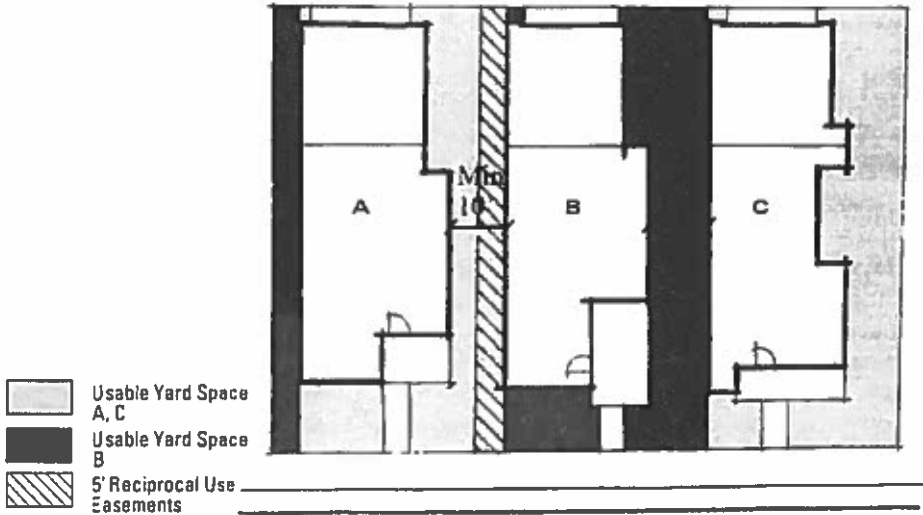
Parking for residents is provided in garaged spaces at a minimum of two per unit. Guest parking is accommodated along neighborhood streets.

c. Special Treatment/Buffer Areas

Open space buffers, specific setbacks and/or landscape treatments are planned where these homes have certain adjacency conditions (see following page for setbacks and landscape section for these treatments).

Residential Design Guidelines 2.0

Single Family Detached Alley Loaded Homes - Reciprocal Use Easements

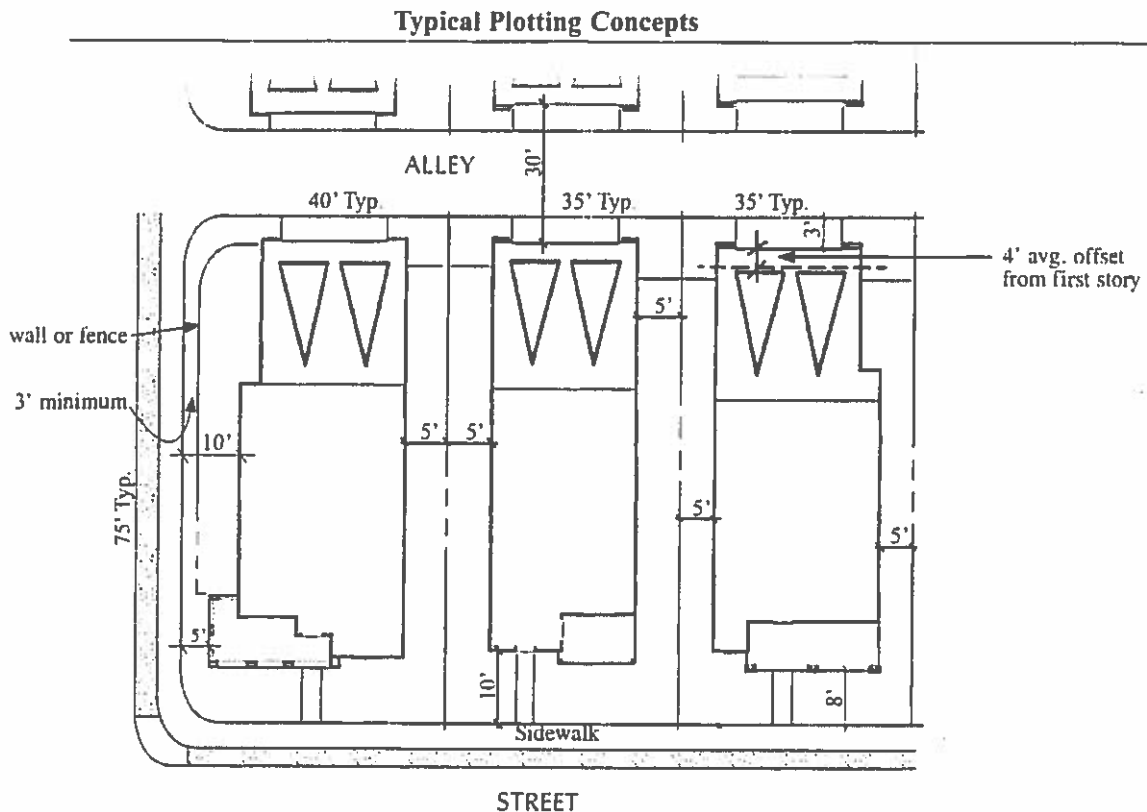


Alley loaded Open Space Study

NOTE: Plotting Concepts above provided for illustrative purposes only. Not intended to be mandated layout. See Landscape section exhibits for wall/fence standards

Residential Design Guidelines 2.0

- B. PLANNING AREA 3—SINGLE FAMILY DETACHED ALLEY LOADED HOMES
 2. DESIGN STANDARDS Minimum Lot Size - 2,625 Square Feet



NOTE: Plotting Concepts provided for illustrative purposes only. Not intended to be mandated layout. See Landscape section exhibits for wall/fence standards.

MINIMUM SETBACKS

Front - to back of sidewalk	
Porch or balcony	8'
Living space	10'
Side - to property line	
Porch or balcony at corner units	5'
Living space/garage	5'
Living space/garage at corner lot	10'
Living space/garage adjacent to parcel property lines	10'
Rear	
Garage face to face	30'
Garage Apron	3'
Living space over garage-offset from 1st story	Average 4'

Private open space min. 180SF

With a min 12' dimension on ground level**
 ** Measured to foundation line and dimension of privacy wall/fence may be included within this space

Encroachments into setbacks-front, rear and only one side yard of any home.

- Media Niche (8' w. max), Fireplace, 2'
- Bay windows (cantilevered),
- Potshelves/Brackets, etc.

Parking Per Zoning Ordinance

Residential Design Guidelines 2.0

c. PLANNING AREA 4—SINGLE FAMILY DETACHED HOMES 7,200 SF LOTS

1. PLANNING STANDARDS

Minimum Lot Size – 7,200 Square Feet

Area 4 consists of approximately 24 acres of single-family detached homes. It forms the eastern boundary edge of The Enclave community. To the west it is bounded by Areas 2, 3 and 5 (also single family neighborhoods). Access to this area is provided by the gated project entries at Schleisman Road and Archibald Avenue and from internal neighborhood streets. Emergency vehicle access is provided at the southwest corner of this planning area.

These homes have a street front image where front doors face the sidewalk and vehicular access to front or side facing garages also occurs.

a. *Encroachments*

See following site development standards for individual encroachments into setbacks.

b. *Parking*

Parking for residents is provided in garaged spaces at a minimum of two per unit. Guest parking is accommodated along neighborhood streets.

c. *Special Treatment/Buffer Areas*

Open space buffers and/or landscape treatments are planned where these homes have certain adjacency conditions. These conditions occur along the entry street at Archibald Avenue where homes may have a view of the rear side of the commercial area or are adjacent to a primary neighborhood entry street.

Residential Design Guidelines 2.0

c. PLANNING AREA 4—SINGLE FAMILY DETACHED HOMES 7,200 SF LOTS

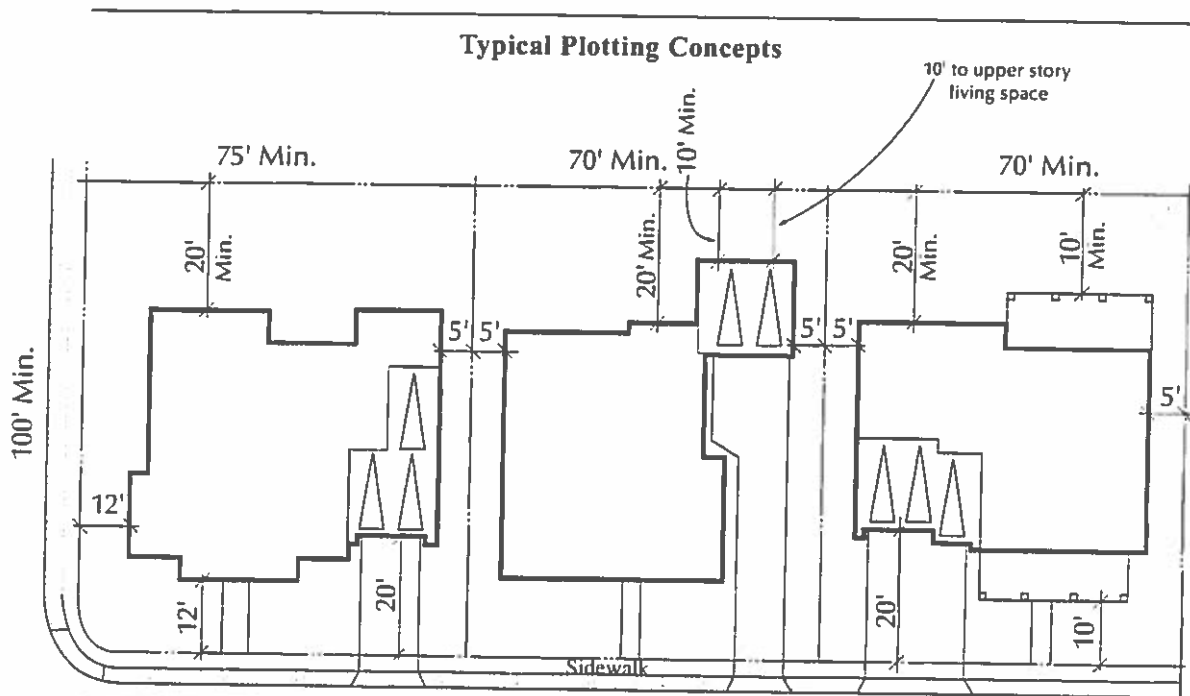
2. DESIGN STANDARDS

Minimum Lot Size – 7,200 Square Feet

Minimum Width Interior Lot – 70' Minimum Depth – 100'

Minimum Width Corner Lot – 75'

Exceptions: Cul-de-sac and knuckle lots - see Riverside County Zoning Code for requirements



NOTE: Plotting Concepts provided for illustrative purposes only. Not intended to be mandated layout.

MINIMUM SETBACKS

Front – to property line

Porch or balcony	10'	Porch or balcony	10'
Living space	12'	Garage	10'
Garage – Front facing	20'	Accessory structures	5'
Garage – Swing – in	15'	Living space over garage	10'

Sides – to property lines

Porch or balcony on corner units	8'
Living space/garage	5'
Living space/garage on corner lot	12'

Rear – to property line

Living space	20'
--------------	-----

Encroachments into setbacks-front, rear and only one side yard of any home.

Media Niche (8' w. max), Fireplace,	2'
Bay windows (cantilevered),	
Potshelves/Brackets, etc.	

Parking

Per Zoning Ordinance

Residential Design Guidelines 2.0

D. PLANNING AREA 5—SINGLE FAMILY DETACHED HOMES 6,500 SF LOTS

1. PLANNING STANDARDS

Minimum Lot Size – 6,500 Square Feet

Area 5 consists of approximately 30 acres of single-family detached homes. It is located at the southern part of The Enclave community and bounded on the north and east by Areas 3 and 4, both single-family detached neighborhoods. To the south it is bounded by existing rural residential uses and on the west by Cucamonga Creek Channel. Access to this area is provided by the gated project entries at Schleisman Road and Archibald Avenue and from internal neighborhood streets. Emergency vehicle access is provided at the southeast corner of this planning area.

These homes have a street-front image where front doors face the sidewalk and vehicular access to front or side facing garages also occurs. Two neighborhood parks are located in the central and southern areas of this neighborhood to serve surrounding homes.

a. Encroachments

See following site development standards for individual encroachments into setbacks.

b. Parking

Parking for residents is provided in garaged spaces at a minimum of two per unit. Guest parking is accommodated along neighborhood streets.

c. Special Treatment/Buffer Areas

No special treatments required.

Residential Design Guidelines 2.0

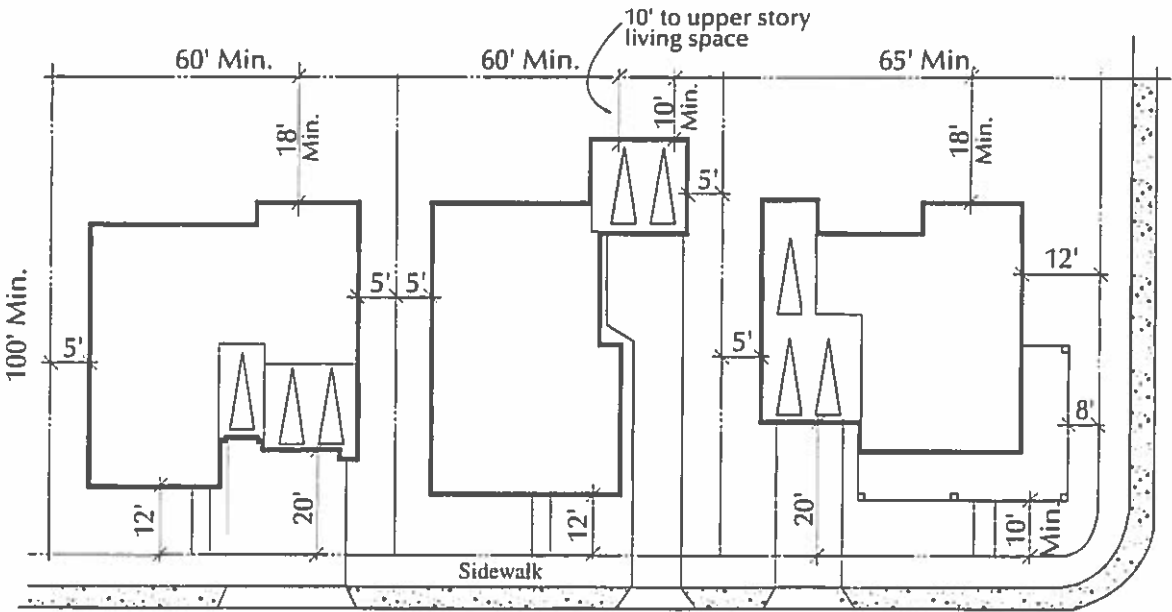
D. PLANNING AREA S—SINGLE FAMILY DETACHED HOMES 6,500 SF LOTS

2. DESIGN STANDARDS

Minimum Lot Size – 6,500 Square Feet

Minimum Width Interior Lot – 60' Minimum Depth – 100' Exceptions: Cul-de-sac and knuckle lots - see Riverside County Zoning Code for requirements
Minimum Width Corner Lot – 65'

Typical Plotting Concepts



NOTE: Plotting Concepts provided for illustrative purposes only. Not intended to be mandated layout.

MINIMUM SETBACKS

Front – to property line

Porch or balcony	10'
Living space	12'
Garage – Front facing	20'
Garage – Swing –in	15'

Rear – to property line

Living space	18'
Porch or balcony	10'
Garage	10'
Accessory structures	5'
Living space over garage	10'

Sides – to property lines

Porch or balcony on corner units	8'
Living space/garage	5'
Living space/garage on corner lot	12'

Encroachments into setbacks-front, rear and only one side yard of any home.

Media Niche (8' w. max), Fireplace,	2'
Bay windows (cantilevered), Potshelves/Brackets, etc.	

Parking Per Zoning Ordinance

Residential Architecture 2.1

2.1 Residential Architecture

A. Introduction

1. Purpose

The purpose of these architectural guidelines is to provide design direction to guest home builders that will guide the development of high quality living environments. These homes will demonstrate individuality, a high quality of design and construction and value-added appeal. Overall compatibility throughout neighborhoods and the community will be achieved by combining tried and true with innovative site planning techniques and a community-wide landscape program. These guidelines are not intended to be overly restrictive or limiting, but to help achieve neighborhoods with a higher level of living quality.

2. DESIGN CHARACTER

The design character of the neighborhoods in The Enclave is one that re-captures the best of the past and integrates it with the function and efficiency of today's lifestyle. The result of this evokes the feeling of a small town with neighborhoods of simple, yet charming homes, curb-separated sidewalks and parkways lined with trees. Street scenes will reflect an overall feeling of quality and tradition.

The selected palette of eclectic, yet compatible architectural styles has a regional, historic background including styles that are found near the site and in the older neighborhoods in this area. The variety of styles provides opportunities for builders and homeowners to express individuality in the homes within each neighborhood.

Neighborhood sidewalks and street trees add to the overall traditional feeling in these neighborhoods and provide a sense of community connection, linking neighborhood parks with all parts of the community.

Residential Architecture 2.1

3. DESIGN INTENT

This area's original home builders used whatever resources were available to their best advantage, influenced by styles they knew and brought with them when they came to California. This resulted in the development of homes that reflected function and tradition, simplicity in massing, plan and roof forms, and eventually, authentic, regional styles.

Looking back to these older homes and established neighborhoods for inspiration, the intent for The Enclave is to recapture the charm and essence of these original styles and express them in the simple, honest manner that they originated. These homes will provide the kind of function, quality, value and appeal that were built into those original homes. Neighborhood parks, sidewalks, parkways and street trees will add to the traditional feeling in these neighborhoods, linking them with the overall community.

4. AUTHENTICITY

The design criteria in these guidelines is offered to encourage quality architecture and authenticity of styles through the use of appropriate elements. Although detail elements may be used to further convey the character of a style, the overall massing and appropriate roof forms should be used to establish a recognizable style. Proper scale and proportion of architectural elements and appropriate choice of details are all factors in achieving authenticity.

Residential Architecture 2.1

2.1.1 Architectural Criteria

The following architectural criteria have been created to help develop architecture that reflects quality in design, simplicity in form and plan and contributes the appropriate character and appeal to the neighborhoods of The Enclave.

- The home, not the garage, is the primary focus of the front elevation. A variety of garage placements is encouraged to emphasize the pedestrian environment as opposed to the automobile.
- A variety of compatible architectural styles are provided to ensure a degree of individuality throughout neighborhoods.
- Appropriate massing and roof forms play a major role in defining architecture styles.
- Architectural elements and details used reflect the character of the chosen style.
- Appropriate color palettes are used to reinforce individual architectural styles.
- Selected architectural styles are related to those historically found in Riverside county.

2.1.2 Architectural Inspiration—Theme

The architectural styles selected for The Enclave were inspired by a number of sources, both immediate to the site and in the larger Riverside County Area. These styles currently exist in some of this area's older neighborhoods. Using styles that exist and blend well to make a pleasing traditional neighborhood will help to make these new homes compatible with existing, older surroundings and help to carry out the traditional small town theme.

Selected architectural styles for The Enclave are related to those historically or culturally represented in Riverside County.

These are:

- Farmhouse
- Cottage
- Spanish Colonial
- Craftsman
- Monterey
- American Colonial

Residential Architecture 2.1

2.1.3 Architectural Styles

An important goal in this community is to develop varied and interesting street scenes. In order to achieve this, an architectural palette has been selected that represents those styles historically found in this area.

The style information on the following pages provides the builder and design consultants with the tools to create attractive authentic architectural designs without using gimmicks or sacrificing the integrity of the style.

Each architectural style is defined by elements as “Minimum Requirements” that are typical characteristics of that style. “Enhanced” are those elements that help to further define the character of each one. Although they are only required on some homes, these added “enhanced” elements are highly encouraged on all homes.

- Two enhanced elements are required on homes without porches.

(See individual style matrices for appropriate “enhanced elements”)

Architectural Style/Plan/Color Mix

An important goal in this community is to develop varied and interesting street scenes. In order to achieve this, the following architectural style and plan requirements must be met:

In all neighborhoods provide:

- minimum of four plans for neighborhoods of more than 75 homes
- minimum of three plans (four preferred) for neighborhoods of less than or equal to 75 homes
- minimum of three elevations per plan using a minimum of two styles. If only two styles are selected, same-style elevations shall be significantly different in appearance.
- minimum of three color schemes per number of plans

The Enclave Style Selection

Builders for The Enclave, will select from the following palette of architectural styles for all home types.

- Farmhouse
- Cottage
- American Colonial
- Craftsman
- Monterey
- Spanish Colonial

Individual style-appropriate design requirements and enhancements can be found on the following pages.

Residential Architecture 2.1

A. FARMHOUSE



The American Farmhouse represents a practical and picturesque country house. Its beginnings are traced to both Colonial styles from New England and later the Mid-west. As the American Frontier moved westward, the American Farmhouse style evolved according to availability of materials and technological advancements, such as balloon framing.

Predominant features of the style are large wrapping front porches with a variety of wood columns and railings. Two story massing, dormers and symmetrical elevations occur most often on the New England Farmhouse variations. The asymmetrical, casual cottage look, with a more decorated appearance, is typical of the Midwest American Farmhouse.



Residential Architecture **2.1**

A. FARMHOUSE

Element	Minimum Requirements	Encouraged Enhancements
Form	<ul style="list-style-type: none"> • Simple plan form massing and simple roof design 	
Roof	<ul style="list-style-type: none"> • 6:12 to 12:12 roof pitch* • Front to back main gable roof • 12" overhangs with open eaves • Architectural quality (340 lb) asphalt shingles or smooth flat concrete tiles 	<ul style="list-style-type: none"> • Main gable roof with one or two intersecting gable roofs • 12" to 16" overhangs with open eaves
Walls	<ul style="list-style-type: none"> • Horizontal siding may be combined with stucco 	<ul style="list-style-type: none"> • Full wrapped horizontal siding • Material changes occurring at an inside corner
Doors	<ul style="list-style-type: none"> • Complementary to style 	<ul style="list-style-type: none"> • Vertical or cross paneled with multiple windows
Windows	<ul style="list-style-type: none"> • Vertical multi-divisioned windows at front elevation • Multi-divisioned windows or inserts on side and rear elevations in high visibility public view areas 	<ul style="list-style-type: none"> • Bay windows • Built up header trim at front windows • Single hung windows at front
Details	<ul style="list-style-type: none"> • Porches with simple wood columns and wood railings • Min. 2 x 4 window and door trim - wood on siding, stucco on stucco • Garage door patterns to complement style • Lighting fixtures to complement style 	<ul style="list-style-type: none"> • Shaped wood columns, wood windows and/or door trim • Shutters & layered header trims at front elevation • Stone/brick chimney wrap • Wood pot shelves, louvered attic vents • Cupolas or dormers
Colors	<ul style="list-style-type: none"> • Field: Whites or light-mid tones of blue, yellow, or gray • Trim: Whites, light or dark shades complementary to field color • Accents: Light or dark shades in contrast with field color 	

* Possibly lower pitch at main roof



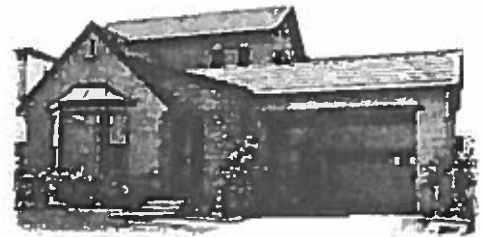
Residential Architecture 2.1

B. COTTAGE



Cottage is a picturesque style derived from medieval Norman and Tudor domestic architecture. The resulting English and French inspired “cottage” became extremely popular nationwide after the adoption of stone and brick veneer techniques in the 1920’s.

Although the cottage is looked upon as small and not costly, it was recognized as one of the most popular styles in suburban America. The design of the home was reflected in the rural setting that they evolved in. Established neighborhoods in Riverside contain many homes of charm and character that depicted the alluring, yet unpretentious lifestyle of the Cottage home.



Residential Architecture **2.1**

B. COTTAGE

Element	Minimum Requirements	Encouraged Enhancements
Form	<ul style="list-style-type: none"> Rectangular plan form massing with some recessed 2nd floor area 	<ul style="list-style-type: none"> Irregular plan form massing with substantially recessed 2nd floor
Roof	<ul style="list-style-type: none"> Main roof hip or gable with intersecting gable roofs 6:12 to 12:12 roof pitch* 0" to 12" overhangs Architectural quality (340 lb) asphalt shingles or smooth flat concrete tiles 	<ul style="list-style-type: none"> Main roof hip or gable with intersecting gable roof or steep 2nd story roof breaking over 1st story elements Curved slope at roofline
Walls	<ul style="list-style-type: none"> Stucco 	<ul style="list-style-type: none"> Stucco with wood siding or stone accents Material changes occurring at an inside corner
Doors	<ul style="list-style-type: none"> Complementary to style 	<ul style="list-style-type: none"> Arched top door Paneled with windows) or other detail
Windows	<ul style="list-style-type: none"> Vertical multi-divisioned windows at front elevation Multi-divisioned windows or inserts on side and rear elevations in high visibility public view areas 	<ul style="list-style-type: none"> Curved or round top accent windows Bay windows Single hung windows at front
Details	<ul style="list-style-type: none"> Entry accents with real or faux stone Garage door patterns to complement style Shutters Simple wood 2 x 4 window and door trim - wood on stone or siding, stucco on stucco Lighting fixtures to complement style 	<ul style="list-style-type: none"> Enhanced shutters Stone veneer chimney Wrought iron or wood balconies and wood potshelves
Colors	<ul style="list-style-type: none"> Field: Whites or light tinted colors or mid-earthtones Trim: Whites or light-mid shades complementary to field color Accents: Light or dark shades to complement field and trim 	

* Possibly lower pitch at main roof



Residential Architecture **2.1**

c. AMERICAN COLONIAL



This classic American style descended directly from the first homes built in the New England colonies in the 17th century. Their beginnings were as small and unpretentious as the one story saltbox, favoring the cultures and traditions of the settlements.

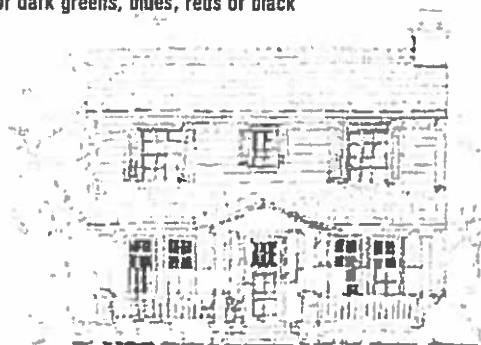
As living functions became more defined and prosperity increased, so did the need for additional space. Second stories with overhangs, dormers and gabled roof forms became favored solutions, later evolving into classic elements of this traditional American style. Wood shutters and an enhanced entry element and/or trim are the finishing details for an otherwise simple and functional form.



Residential Architecture **2.1**

c. AMERICAN COLONIAL

Element	Minimum Requirement	Encouraged Enhancements
Form	<ul style="list-style-type: none"> • Simple plan form and massing • Enhanced plan forms 	<ul style="list-style-type: none"> • Added dormers
Roof	<ul style="list-style-type: none"> • 5:12 to 12:12 roof pitch • 12" to 16" overhang • Simple front to back gable roof • Architectural quality (340 lb) asphalt shingles or shingle texture flat concrete tiles 	<ul style="list-style-type: none"> • 12" to 24" overhang • Shed or pitched roof dormers
Walls	<ul style="list-style-type: none"> • Horizontal siding may be combined with stucco 	<ul style="list-style-type: none"> • Fully wrapped horizontal siding • Material changes occurring at an inside corner
Doors	<ul style="list-style-type: none"> • Complementary to style 	<ul style="list-style-type: none"> • Multi-paneled door with windows • Transom or side lites • Enhanced trim surround
Windows	<ul style="list-style-type: none"> • Vertical multi-divisioned windows at front elevations • Multi-divisioned windows or inserts on side and rear elevations* in high visibility public view areas 	<ul style="list-style-type: none"> • Bay windows • Dormer window in roof
Details	<ul style="list-style-type: none"> • Simplified cornice trim at gable ends • 2 x 6 window and door trim - wood on siding, stucco on stucco • Enhanced entry element such as portico or covered porch • Shutters, enhanced window trims, louvered attic vents • Garage door patterns to complement style • Lighting fixtures to complement style 	<ul style="list-style-type: none"> • Neoclassic columns or posts at entry • Knee braces at dormer • Wood porch columns and rails
Colors	<ul style="list-style-type: none"> • Field: Pastels, whites, light earth tones, off-whites, or dark earth tones • Trim: Light or dark in contrast to field • Accents: Whites, light tones, or medium to dark tones in contrast to field, grayed or dark greens, blues, reds or black 	



Residential Architecture 2.1

D. CRAFTSMAN



The Craftsman style was inspired by the English Arts and Crafts Movement of the late 19th century. Of the utmost importance was that all exterior and interior elements received both tasteful and “artful” attention. The movement influenced numerous California architects such as Green and Green, and Bernard Maybeck.

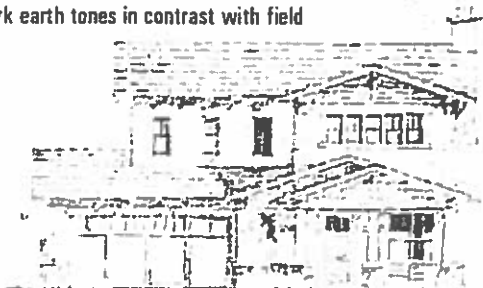
In Southern California, the Craftsman style spun out of bungalows that were the production home of the time. The resulting Craftsman style responded with extensive built-in elements and by treating details such as windows or ceilings as if they were furniture. The style was further characterized by the rustic texture of building materials, broad overhangs with exposed rafter tails at the eaves and trellises over the porches. The overall affect was the creation of a natural, warm and livable home.



Residential Architecture 2.1

D. CRAFTSMAN

Element	Minimum Requirements	Encouraged Enhancements
Form	<ul style="list-style-type: none"> Simple 2 story boxed massing with vertical and horizontal breaks 	<ul style="list-style-type: none"> Varied plan shapes
Roof	<ul style="list-style-type: none"> 4:12 to 5:12 roof pitch 16" to 24" overhangs Flat concrete tile - shingle appearance Basic gabled roof - side to side with cross gables 	<ul style="list-style-type: none"> Varied porch roofs - shed or gabled 18" to 36" overhangs
Walls	<ul style="list-style-type: none"> Horizontal siding - may be combined with stucco 	<ul style="list-style-type: none"> Stone base accents on walls and/or porch Plain texture shingle siding accent Material changes occurring at an inside corner
Doors	<ul style="list-style-type: none"> Complementary to style 	<ul style="list-style-type: none"> Wider, heavy appearing paneled or rustic, planked door Aesthetic, iron hardware
Windows	<ul style="list-style-type: none"> Vertical multi-divisioned windows at front elevation Multi-divisioned windows or inserts on side and rear elevations* in high visibility public view areas Use individually or ganged 	<ul style="list-style-type: none"> Single hung windows at front elevation Feature ribbon windows 3 or more
Details	<ul style="list-style-type: none"> Entry porches with heavy square columns or posts on stone or brick piers Arts and crafts style lighting fixtures Shaped wood header trim at windows and doors - wood on siding, stucco on stucco Simple knee brace Garage door patterns to complement style Lighting fixtures to complement style 	<ul style="list-style-type: none"> Full porches with heavy square columns or posts on stone piers Classically styled columns or battered columns Blended stone and brick chimney Layered wood trims at doors and windows Stone and brick base accents Open eave overhangs with shaped roof rafter tails Decorative ridge beams and purlins Triangulated knee braces
Colors	<ul style="list-style-type: none"> Field: Light to dark earth tones Trim: Light to dark earth tones in harmony or contrasting with field Accents: Light to dark earth tones in contrast with field 	



Residential Architecture 2.1

E. MONTEREY



The Monterey style is a combination of the original Spanish Colonial adobe construction methods with the basic two-story New England colonial house. Prior to this innovation in Monterey, all Spanish colonial houses were of single story construction.

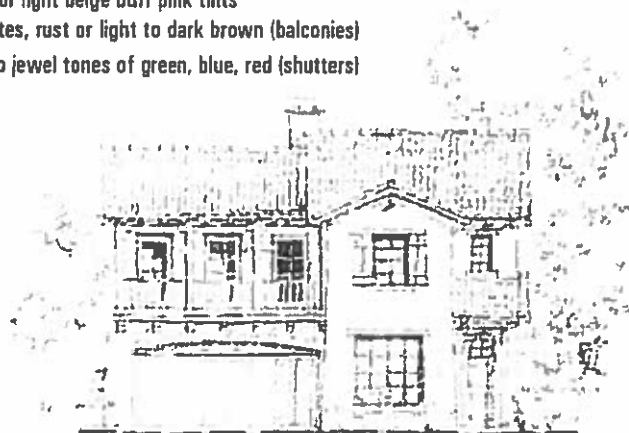
First built by Thomas Larkin in 1835, this style introduced two story residential construction and shingle roofs to California. This Monterey style and its single story counterpart eventually had a major influence on the development of modern architecture in the 1930's.



Residential Architecture 2.1

E. MONTEREY

Element	Minimum Requirements	Encouraged enhancements
Form	<ul style="list-style-type: none"> • Simple box plan form end forward 	<ul style="list-style-type: none"> • Simple plan with one story break or gable
Roof	<ul style="list-style-type: none"> • Main hip roof front to back at 4:12 to 7:12 and shed roof break over balcony at 31/2 to 41/2:12 roof pitch • 12" to 24" overhangs • Barrel or 'S' tile roofs or concrete tile with shingle appearance 	<ul style="list-style-type: none"> • Main hip roof front to back with one intersecting front facing gable roof
Walls	<ul style="list-style-type: none"> • Stucco 	<ul style="list-style-type: none"> • Stucco with siding accents at 2nd floor balcony and gable ends • Brick accents on lower story wall • Material changes occurring at an inside corner
Doors	<ul style="list-style-type: none"> • Complementary to style 	<ul style="list-style-type: none"> • Paneled door with windows • Enhanced trim surround
Windows	<ul style="list-style-type: none"> • Vertical multi-divisioned windows at front elevation • Multi-divisioned windows or inserts on side and rear elevations in high visibility public view areas • Simple 2 x 4 window and door trim - wood on siding, stucco on stucco 	<ul style="list-style-type: none"> • Vertical window shape with multiple panes often in groupings • Enhanced window and door trim
Details	<ul style="list-style-type: none"> • Wood balcony and railing • Chimney top trim • Round tile attic vents • Garage door patterns to complement style • Shutters on primary windows • Lighting fixtures to complement style 	<ul style="list-style-type: none"> • Brick veneer wainscot at first floor • Wood corbels • Recessed accent windows • Arched and sloping fin walls • Decorative wrought iron accents
Colors	<ul style="list-style-type: none"> • Field: Whites or light beige buff pink tints • Trim: Off-whites, rust or light to dark brown (balconies) • Accents: Deep jewel tones of green, blue, red (shutters) 	



Residential Architecture 2.1

F. SPANISH COLONIAL



Spanish Colonial, also known as Spanish Eclectic is an adaptation of Mission Revival enriched with additional Latin American details and elements. The style attained widespread popularity after its use in the Panama-California Exposition of 1915.

The simple courtyards of the Spanish Colonial heritage with hanging pots, a flowering garden and sprawling shade trees are hardly surpassed as foreground design elements. Further architectural distinction was established through the use of tile roofs, stucco walls, heavily textured wooden doors and highlighted ornamental ironwork.

Key features of this style were adapted to the Southern California locale. The plans were informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability and contrast of materials and textures.



Residential Architecture **2.1**

F. SPANISH COLONIAL

Element	Minimum Requirements	Encouraged enhancements
Form	<ul style="list-style-type: none"> • 2 story massing with strong one story element with not more than 50% one story element across front elevation 	<ul style="list-style-type: none"> • Simply articulated 2 story boxed plan massing
Roof	<ul style="list-style-type: none"> • 4:12 to 5:12 roof pitch • 12" to 16" overhang • Simple hip or gable roof with one intersecting gable roof • Barrel or 'S' shape concrete tiles 	<ul style="list-style-type: none"> • Shed roof over porch
Walls	<ul style="list-style-type: none"> • Stucco 	<ul style="list-style-type: none"> • Stucco
Doors	<ul style="list-style-type: none"> • Complementary to style 	<ul style="list-style-type: none"> • Arched-top doors • Heavy, rustic appearance with aesthetic iron hardware
Windows	<ul style="list-style-type: none"> • Vertical multi-divisioned windows at front elevations • Multi-divisioned windows or inserts on side and rear elevations in high visibility public view areas • Simple 2 x 4 window and door trim - wood or stucco 	<ul style="list-style-type: none"> • Feature recessed arched window • Accent beveled glass recessed window • Single or ganged round top windows
Details	<ul style="list-style-type: none"> • Stucco over window and door trim • Arched stucco column porches • Garage door patterns to complement style • Lighting fixtures to complement style 	<ul style="list-style-type: none"> • Wrought iron balconies and accent details • Shaped rafter tails at feature areas
Colors	<ul style="list-style-type: none"> • Field: White tone or warm pastel body with bright accent trim • Trim: Dark brown trims • Accents: Deep jewel tones of green, blue, red (on shutters, door, balcony trim) 	



Residential Plotting & Massing 2.2

2.2 Residential Plotting and Massing

2.2.1 Architectural Plotting and Massing Concepts

Creating street scenes that function well and have visual interest are primary community objectives. The following basic elements and criteria are intended to develop variations in appearance and a sense of individuality for each home. Neighborhoods that have nearly identical homes and streets without variation in product placement and form will not be approved in design review. This section lists architectural massing and plotting techniques that work together to create a quality environment.

- Stagger front setbacks where possible to provide undulation and variety in the street scene.
- Provide additional width on corner lots to allow single story and wrap around elements on facades.
- Provide variation in floor plans, massing forms and elements on facades.
- De-emphasize garages by encouraging architecture (living space) forward.
- Provide single-story elements as defined below
- Design variable setbacks in elevation
- Design floor plan form and building mass with selected styles in mind
- Adjacent and facing residences having the same front elevation are prohibited. However, reversed footprints with variation in elevation design and color/material application are permitted.

A. FORM, MASS AND HEIGHT

Select architectural styles that best fit the massing derived from the floor plan. As an example, styles such as Monterey and American Colonial may elevate as two-story rectangular forms. Designing a floor plan with simple two-story stacking of exterior walls yields an appropriate massing form for either of these styles. Heights of various architectural elements should be in keeping with individual styles. (See Zoning section for maximum building height limits.)



Monterey



American Colonial

Residential Plotting & Massing 2.2

B. SHADE AND SHADOW—BUILDING RELIEF

The following techniques help to provide variation on individual homes and the overall street scene:

- Where authentic to style, provide variable setbacks to different parts of the façade. Include both vertical and horizontal massing breaks as this provides opportunities for shade and shadow on the elevation.
- Provide alternative garage locations, from shallow to deep where possible on homes in front loaded neighborhoods.
- Include significant single story elements on exposed, street-facing facades

Stepping of the second story mass is a technique used to improve the variety in the overall street scene. A variety of stacking arrangements for the second story across different plan types is required.

- Provide building forms as a series of interlocking masses, that are aesthetically designed. Alternate the location of garages within the overall massing to provide undulation along the horizontal plane and reduce the focus on garage doors.

When using box-like solutions, provide appropriate-to-style building elements and details to reduce boxiness and to emphasize the architectural character of the home. There are only a two styles in the Enclave that are appropriately expressed with this type of massing. They include the American Colonial and Monterey. The simple box solution is not appropriate for other styles.



Variable Setbacks on Elevation

C. SPACES—SINGLE STORY ELEMENTS

Incorporating significant single story elements is another way to add variety to the street scene.

They provide a transition from upper stories to sidewalk level and help to establish a neighborhood pedestrian scale. This is particularly important on corner homes to provide a street-front appearance along both exposed facades. A minimum of 1/3 of all homes in each neighborhood are required to have a significant single story element.



Single-Story Living Space

Significant single story elements include:

- Front or wraparound porch (minimum 6' deep and 10' wide)
- Single story interior living space
- Single story garage (attached)
- Second story recess of at least 4' from first story (minimum of 1/3 façade width)

Residential Plotting & Mass **2.2**

D. ARTICULATION OF REAR AND SIDE ELEVATIONS

The second story portion of elevations of all homes that back or side onto streets, parks or other public space, must include a variety of window treatments, roof projections, etc. to provide variety on these elevations. Where these conditions of visibility exist, a variety of hipped and gabled roof forms must be used in each neighborhood. Incorporating single story elements also helps to provide this variety.

E. MATERIALS AND COLORS

The colors and materials used at The Enclave will reflect a general theme of environmental harmony with the surrounding region and neighborhood character. The architectural style palette selected for our guidelines will contribute to this goal as each color palette has a historic lineage that shares this "common sense" approach to the use of materials and colors indigenous to the region or individual character of each style.

A variety of natural looking materials and colors will provide the diversity required for visual interest while unifying the homes with their settings and creating a timeless appeal. The primary purpose of the architectural color palette selection is to avoid monotony, provide a variety of colorful schemes and promote visual diversity.

To further this goal of diversity, the following criteria shall be met:

- Individual color schemes must be appropriate to the architectural styles with a harmonious selection of accent materials, roof colors, wall, trim and accent colors. (See Architectural Style/Plan/Color Mix for minimum requirements).
- No adjacent home shall have the same color scheme. (See "Architectural Styles" for individual style - appropriate guidelines for color and materials)

F. ACCESSORY STRUCTURES

Accessory structures such as gazebos or garden storage buildings should be designed so that they are consistent with the architectural style of the primary structure and compatible with the residential character of the neighborhood. Location of such structures is limited to rear yards.

G. ARCHITECTURAL LIGHTING

All lighting plans, equipment and related components are subject to design review and approval.

Residential Plotting & Massing 2.2

2.2.2 SINGLE FAMILY DETACHED GREEN COURT CLUSTER HOMES

This home type is plotted in a cluster of long, narrow lots surrounding a shared, green courtyard space. Front entries face onto the green court with front yard setbacks and porches where applicable providing a semi-private transition between the common green and private space. Garages are located at the rear of each home and accessed by way of alleys.

The Enclave green court homes are typically plotted with a minimum 10' side yard separation between homes. Although half (5') of this separation belongs to each of the adjacent properties, use of this side yard is limited to one owner by a reciprocal use easement. This space may be considered part of the required minimum 180 SF private open space for this home type. (See page 7 for Reciprocal use/private open space standards).

The focus of for this home type is primarily on the green court-facing front of the home and in particular on the entry. As the house plans and lot frontages are narrow with no vehicular access, the front of the homes is experienced by pedestrians at a fairly close range. This makes the concepts of individuality in homes, articulation of the façades and front entry identity very important in the design of these homes. The relationship between homes and the treatment of green court spaces between them are also prime factors to consider. The intent is to identify individual entry spaces while achieving a sense of continuous open green space between buildings.

Front elevations

- Lend a sense of individuality to each home within a cluster by providing a complementary variety of architectural styles, each with appropriate elements and details, materials and colors.
- Emphasize the front door and entry to provide a unique, recognizable identity for each home within a cluster.
- Provide stepped second stories, interior single story elements, porches and/or individual entry statements where appropriate to help provide transitions from upper to ground story and public to private spaces within each green court cluster.

Side elevations

- 'Notch' side elevation on yard user's home where appropriate to provide varied side yard spaces between buildings (as opposed to two parallel walls).
- Avoid ground floor windows that allow views into reciprocal use side yards. Locate upper story windows above view level or toward front and rear as much as possible to limit views into neighbor's reciprocal use side yard.

Rear elevations

- Avoid a "canyon-like" effect in the alley by varying massing over garages. Offset upper stories from ground stories. (See Planning Standards for setbacks).
- Articulate alley-facing elevations with window treatments and level of detail as other exposed elevations as they will be experienced on a daily basis by homeowners.

Residential Plotting & Massing 2.2

2.2.3 SINGLE FAMILY DETACHED ALLEY LOADED HOMES

This home type is plotted in a row of long, narrow lots fronting the sidewalk and street. Front entries face the street with front yard setbacks, and porches where applicable, providing a semi-private transition between public and private space. Garages are located at the rear of each home and accessed by way of alleys.

The Enclave alley loaded homes are typically plotted with a minimum 10' side yard separation between homes. Although half (5') of this separation belongs to each of the adjacent properties, use of this side yard is limited to one owner by a reciprocal use easement. This space may be considered part of the required minimum 180 SF private open space for this home type. (See page 12 for Reciprocal use/private open space standards).

The primary focus of attention for this home type is primarily on the street-facing front of the home and in particular on the entry. As the house plans and lot frontages are narrow with no vehicular access, the front of the homes is experienced by pedestrians at a fairly close range. This makes the concepts of individuality in homes, articulation of the façades and front entry identity very important in the design of these homes. The relationship between homes and the treatment of front yard spaces between the house or porch and sidewalk are also important factors to consider. The intent is to identify individual entry spaces while maintaining a sense of continuous landscape edge between the buildings and the sidewalk.

Front elevations

- Lend a sense of individuality to each home by providing a complementary variety of architectural styles, each with appropriate elements and details, materials and colors.
- Emphasize the front door and entry to provide a unique, recognizable identity for each home.
- Provide stepped second stories, interior single story elements, porches and/or individual entry statements to help provide transitions from upper to ground story and public to private spaces.

Side elevations

- 'Notch' side elevation on yard user's home where appropriate to provide varied side yard spaces between buildings (as opposed to two parallel walls).
- Avoid ground floor windows that allow views into reciprocal use side yards. Locate upper story windows above view level or toward front and rear as much as possible to limit views into neighbor's reciprocal use side yard.

Rear elevations

- Avoid a "canyon-like" effect in the alley by varying massing over garages. Offset upper stories from ground stories. (See Planning Standards for setbacks).
- Articulate alley-facing elevations with window treatments and level of detail as other exposed elevations as they will be experienced on a daily basis by homeowners.

Garage Placement & Treatment **2.3**

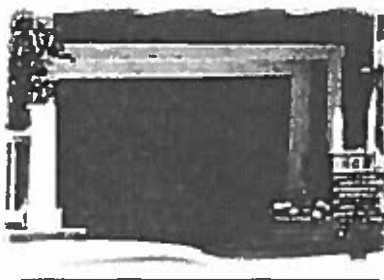
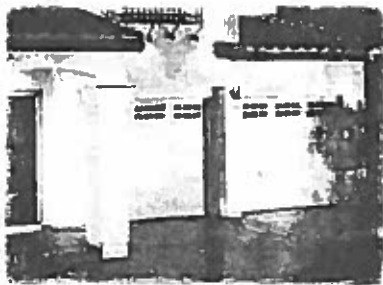
2.3 GARAGE PLACEMENT AND TREATMENTS—STREET FACING

The home and front yard should be the primary focus of the front elevation. This should be considered when plotting homes in order to create an attractive street scene. The impact of repetitive, street-facing garages can be reduced by using the following techniques:

- Vary garage placement from plan to plan
- Vary garage placement within neighborhood plotting plan
- Vary garage door appearance
- Provide optional treatments that occur forward of the garage to buffer the view impact of garages and garage doors.

A. GARAGE PLACEMENT FROM PLAN TO PLAN

- Vary garage placement whenever possible by alternating front setbacks.
- Alternate plans with different garage types when plotting adjacent homes.



Varied Garage Door Appearance

B. GARAGE DOOR APPEARANCE

Vary garage door pattern, windows and/or color as appropriate to individual architectural styles.

C. GARAGE PLACEMENT WITHIN NEIGHBORHOOD PLOTTING PLAN

In each conventional front loaded neighborhood, a minimum of 3 of the following 5 garage placements are required:

1. Shallow recessed
2. Mid recessed
3. Deep recessed
4. Corner with side street entry
5. Swing-in or forward front-facing (limited to 1 plan per neighborhood)

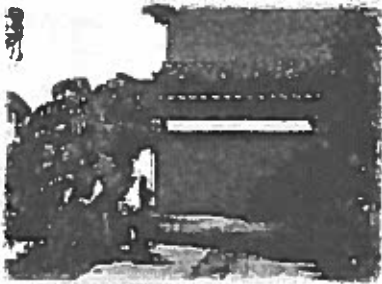
Garage Placement & Treatment 2.3



Shallow Recessed Garage

Shallow-Recessed Garage

Shallow recessed garages are located 5' or more behind the front elevation / living space. Additional garage treatments are encouraged to further reduce the impact of the garage door.



Deep-Recessed Garage

Mid-Recessed Garage

Design plans that place the garage at varied locations. Mid-recessed garages are located 10' or more behind the front elevation/living space.



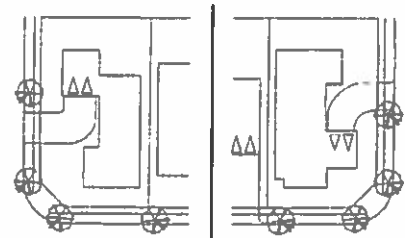
Mid-Recessed Garage

Deep-Recessed Garage

Deep-recessed garages are located 20' or more behind the front elevation/living space.

Corner with Side-Street Entry Garage

This garage type allows the option of entering from the side street, thereby eliminating the front facing garage and driveway.



Varied Corner Lot Garages

Garage Placement & Treatment 2.3

Forward Front-Facing Garage

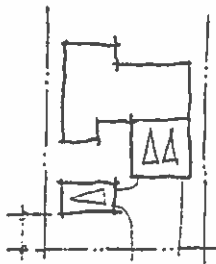
Standard minimum garage setbacks shall be maintained. This garage placement is limited to 1 plan per neighborhood. When using this garage placement, garage doors shall be recessed a minimum of 12”.

Swing-In Garages

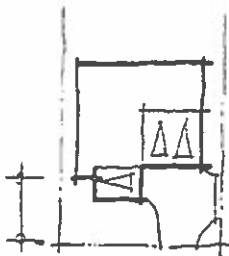
Home plans that feature attached, swing-in (“side-loaded”) garages are encouraged. This garage placement may be located at the front, side or rear of a plan or split, thereby reducing the impact of garage door faces on the streetscape.

The resultant street-facing wall shall be articulated with the same level of detail as the front façade of the home including windows, trim etc.

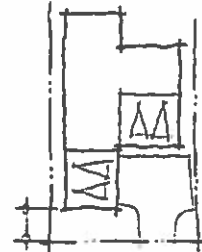
Varied Swing-In Garages:



Detached Split Swing-In Garage



Split Swing-In Garage



Attached Split Swing-In Garage

Garage Placement & Treatment **2.3**

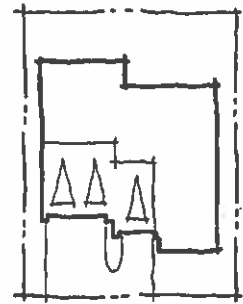
D. GARAGE TREATMENTS

Three-Car Garages

When three car garages are planned, split, swing-in and tandems are encouraged.

Three-car garages may be located forward of the house or recessed. If they are located forward of the living space they are subject to all requirements of Garage Forward plans. (See "Forward, Front-facing and Swing-in garages" for requirements).

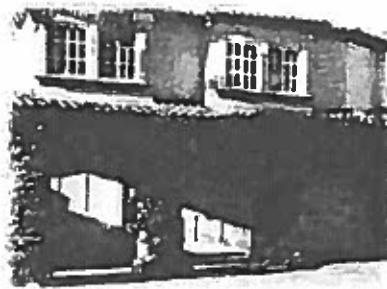
- No more than two garage doors are permitted to be in the same plane—split and offset the third door by at least 2'.



3-Car Front Facing Garage



Offset Garage Doors



Three Single-Car Garages

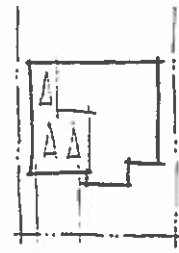


Split 3-Car Swing-In Garage

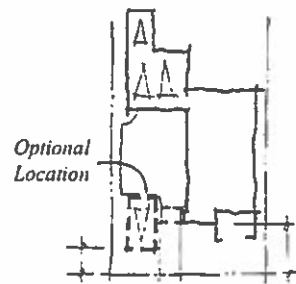
Garage Placement & Treatment **2.3**

Tandem Garage

When a three-car garage is planned, the impact on the streetscape can be reduced by constructing the additional car bay in tandem behind the standard two-car garage door.



3-Car Tandem Garage



Deep-Recessed 3-Car Tandem Garage

Varied Tandem Garages



Tandem Garages

Garage Placement & Treatments - Alley Conditions 2.4

2.4 GARAGE PLACEMENT AND TREATMENTS — ALLEY CONDITIONS

Although alleys are thought of as merely a transitional vehicular space, they also provide garage and pedestrian access, trash collection and other daily utility uses. They may be experienced by homeowners as often as the front entries to these homes.

Therefore when designing alleys there are both functional and aesthetic issues to be considered. It is the intent to provide a pleasant experience for daily users by incorporating both in the elements of alley design.

Alley facing garages should be set back from the alley to facilitate ease of vehicular movement and provide relief from an otherwise continuous line of garage doors meeting the hard drive plane. This setback allows some planting between the drive and the building faces, softening and interrupting the view of hard surfaces.

Alleys lined with homes that have similar or identical facades, setbacks, roof lines, color schemes and landscape treatments are monotonous and lack individual identity. This condition is not permitted.

In order to avoid this the following requirements must be met:

- Avoid a multi-storied, “canyon-like” effect within the alley by providing varied massing, vertical and horizontal offsets of primary architectural elements and roof lines. Where possible, vary ground floor building setbacks to provide undulation in the line of garage doors. All drive apron and building separation setback requirements shall still be maintained, (see Planning Standards for specific product requirements/setbacks)
- Articulate building elevations with style-appropriate window trim, elements and details.
- Vary garage door appearance by using door patterns, colors, and windows as appropriate to individual architectural styles.
- Design and locate rear privacy walls and pedestrian gate entries to provide ease of access to the rear yard, allow sufficient dimension for landscape requirements and screen trash can storage from alley view.

1 line, or from the specific plan street line.

2 (3) Except as provided above, all other zoning requirements shall be the same
3 as those requirements identified in Article IX of Ordinance No. 348.

4 b. Planning Area 2.

5 (1) The uses permitted in Planning Area 2 of Specific Plan No. 331 shall be the
6 same as those uses permitted in Article VIIIId, Section 8.91 of Ordinance No. 348 except
7 that the uses permitted pursuant to Section 8.91.b. and f. shall not be permitted. In
8 addition, the uses permitted under Section 8.91 shall include parks.

9 (2) The development standards for Planning Area 2 of Specific Plan No. 331
10 shall be the same as those standards identified in Article VIIIId, Section 8.93 of Ordinance
11 No. 348 except that Section 8.93.a.; b.; and d. shall be deleted and replaced by the
12 following:

13 A. The minimum overall area for each dwelling unit, exclusive of the
14 area used for commercial purposes and area set aside for street rights of way, but
15 including recreation and service areas shall be four thousand five hundred (4,500)
16 square feet.

17 B. The minimum lot area for the individual lots used as a residential
18 building site shall be two thousand thirty (2,030) square feet. The minimum width
19 of each lot shall be thirty-five feet (35') and the minimum depth shall be fifty-eight
20 feet (58').

21 C. The front yard shall be not less than three feet (3') measured from
22 the existing street line or from any future street line as shown on any Specific Plan
23 of Highways, whichever is nearer to the proposed structure.

24 D. Side yards on interior and through lots shall be not less than five feet
25 (5'). Side yards adjacent to Specific Plan No. 331 boundaries shall be not less than
26 eight feet (8'). Side yards on corner and reverse corner lots shall be not less than
27 eight feet (8') from the existing street line or from any future street line as shown
28 on any Specific Plan of Highways, whichever is nearer to the proposed structure,

1 upon which the main building sides.

2 D. The rear yard shall be not less than three feet (3').

3 In addition, the following standards shall apply:

4 AA. Fireplaces, media niches (8' width maximum), bay windows,
5 window boxes, and similar architectural features shall be allowed to
6 encroach a maximum of two feet (2'). Encroachments into side yard
7 setbacks shall be permitted on only one (1) side yard of any dwelling unit.
8 No other structural encroachments shall be permitted in the front, rear or
9 side yard setbacks except as provided for in Section 18.19 of Ordinance No.
10 348..

11 BB. The minimum frontage of a lot shall be thirty-five feet (35'),
12 except that lots fronting on knuckles or cul-de-sacs may have a minimum
13 frontage of thirty feet (30'). Lot frontage along curvilinear streets may be
14 measured at the building setback in accordance with zone development
15 standards.

16 (3) Article VIII d Section 8.96 shall be deleted.

17 (4) Except as provided above, all other zoning requirements shall be the same
18 as those requirements identified in Article VIII d of Ordinance No. 348.

19 c. Planning Area 3.

20 (1) The uses permitted in Planning Area 3 of Specific Plan No. 331 shall be the
21 same as those uses permitted in Article VIII d, Section 8.91 of Ordinance No: 348 except
22 that the uses permitted pursuant to Section 8.91.b. and f. shall not be permitted.

23 (2) The development standards for Planning Area 3 of Specific Plan No. 331
24 shall be the same as those standards identified in Article VIII d, Section 8.93 of Ordinance
25 No. 348 except that Section 8.93.a.; b.; and d. shall be deleted and replaced by the
26 following:

27 A. The minimum overall area for each dwelling unit, exclusive of the
28 area used for commercial purposes and area set aside for street rights of way, but

1 including recreation and service areas shall be three thousand one hundred (3,100)
2 square feet.

3 B. The minimum lot area for the individual lots used as a residential
4 building site shall be two thousand six hundred twenty-five (2,625) square feet.
5 The minimum width of each lot shall be thirty-five feet (35') and the minimum
6 depth shall be seventy-five feet (75').

7 C. The front yard shall be not less than eight feet (8'), measured from
8 the existing street line or from any future street line as shown on any Specific Plan
9 of Highways, whichever is nearer to the proposed structure.

10 D. Side yards on interior and through lots shall be not less than five feet
11 (5'). Side yards on corner and reverse corner lots shall be not less than five feet
12 (5') from the existing street line or from any future street line as shown on any
13 Specific Plan of Highways, whichever is nearer to the proposed structure, upon
14 which the main building sides.

15 E. Rear loaded garages shall be not less than three feet (3') from rear
16 property line.

17 In addition, the following standards shall apply:

18 AA. Fireplaces, media niches (8' width maximum), bay
19 windows, window boxes and similar architectural features shall be
20 allowed to encroach a maximum of two feet (2') into setbacks.
21 Encroachments into side yard setbacks shall be permitted on only
22 one (1) side yard of any dwelling unit. No other structural
23 encroachments shall be permitted in the front, rear or side yard
24 setbacks except as provided for in Section 18.19 of Ordinance No.
25 348.

26 BB. The minimum frontage of a lot shall be thirty-five
27 feet (35'), except that lots fronting on knuckles or cul-de-sacs may
28 have a minimum frontage of thirty feet (30'). Lot frontage along

1 curvilinear streets may be measured at the building setback in
2 accordance with zone development standards.

3 (3) Article VIII d, Section 8.96 shall be deleted.

4 (4) Except as provided above, all other zoning requirements shall be the same
5 as those requirements identified in Article VIII d of Ordinance No. 348.

6 d. Planning Area 4.

7 (1) The uses permitted in Planning Area 4 of Specific Plan No. 331 shall be the
8 same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that
9 the uses permitted pursuant to Section 6.1.a.(2), (3) (5), (7), (8) and (9); 6.1.b.(1), (3), (4)
10 and (5), and c.(1) and e.(1) shall not be permitted. In addition, the permitted uses
11 identified in under Section 6.1.a. shall include parks and playgrounds.

12 (2) The development standards for Planning Area 4 of Specific Plan No. 331
13 shall be the same as those standards identified in Article VI, Section 6.2, except that the
14 development standards set forth in Section 6.2.b. and e. shall be deleted and replaced by
15 the following:

16 A. Lot area shall be not less than seven thousand two hundred (7,200)
17 square feet.

18 B. The front yard shall be not less than ten feet (10') from the existing
19 street line or from any future street line as shown on any Specific Plan of
20 Highways, whichever is nearer the proposed structure. In addition, front loaded
21 garages shall be setback a minimum of twenty feet (20') from the aforementioned
22 existing or future street line.

23 C. Side yards on interior and through lots shall be not less than five feet
24 (5'). Side yards on corner and reverse corner lots shall be not less than eight feet
25 (8') from the existing street line or from any future street line as shown on any
26 Specific Plan of Highways, whichever is nearer the proposed structure, upon which
27 the main building sides.

28 D. The rear yard shall be not less than five feet (5').

1 In addition, the following standard shall apply:

2 AA. Fireplaces, media niches (8' width maximum), bay
3 windows, window boxes, and similar architectural features shall be
4 allowed to encroach a maximum of two feet (2') into setbacks.
5 Encroachments into side setbacks shall be permitted on only one (1)
6 side of any dwelling unit. No other structural encroachments shall
7 be permitted in the front, rear or side yard setbacks except as
8 provided for in Section 18.19 of Ordinance No. 348.

9 (3) Except as provided above, all other zoning requirements shall be the same
10 as those requirements identified in Article VI of Ordinance No. 348.

11 e. Planning Area 5.

12 (1) The uses permitted in Planning Area 5 of Specific Plan No. 331 shall be the
13 same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that
14 the uses permitted pursuant to Section 6.1.a.(2), (3), (5), (7), (8) and (9) and b.(1), (3), (4)
15 and (5), and c.(1) and e.(1) shall not be permitted. In addition, the permitted uses
16 identified under Section 6.1.a shall include parks and playgrounds.

17 (2) The development standards for Planning Area 5 of Specific Plan No. 331
18 shall be the same as those standards identified in Article VI, Section 6.2, except that the
19 development standards set forth in Section 6.2.b.; e; and g. shall be deleted and replaced by
20 the following:

21 A. Lot area shall be not less than six thousand five hundred (6,500)
22 square feet.

23 B. The front yard shall be not less than ten feet (10') from the existing
24 street line or from any future street line as shown on any Specific Plan of
25 Highways, whichever is nearer the proposed structure. In addition, front loaded
26 garages shall be setback a minimum of twenty feet (20') from the aforementioned
27 existing or future street line.

28 C. Side yards on interior and through lots shall be not less than five feet

1 (5'). Side yards on corner and reverse corner lots shall be not less than eight feet
2 (8') from the existing street line or from any future street line as shown on any
3 Specific Plan of Highways, whichever is nearer the proposed structure, upon which
4 the main building sides.

5 D. The rear yard shall be not less than five feet (5').

6 E. In no case shall more than sixty-five percent (65%) of any lot be
7 covered by a dwelling.

8 In addition, the following standard shall apply:

9 AA. Fireplaces, media niches (8' width maximum), bay
10 windows, window boxes and similar architectural features shall be
11 allowed to encroach a maximum of two feet (2') into setbacks.
12 Encroachments into side yard setbacks shall be permitted on only
13 one (1) side yard of any dwelling unit. No other structural
14 encroachments shall be permitted in the front, rear or side yard
15 setbacks except as provided for in Section 18.19 of Ordinance No.
16 348.

17 (3) Except as provided above, all other zoning requirements shall be the same
18 as those requirements identified in Article VI of Ordinance No. 348.
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2 Section 3. This ordinance shall take affect 30 days after its adoption.
3

4 BOARD OF SUPERVISORS OF THE COUNTY
5 OF RIVERSIDE, STATE OF CALIFORNIA

6 By Marion Ashley
7 Chairman, Board of Supervisors - Marion Ashley
8

9 ATTEST:

10
11 Nancy Romero
12 Clerk of the Board

13 By: J. H. Lemmer
14 Deputy

15 [SEAL]
16
17

18 APPROVED AS TO FORM:
19 June 21, 2005

20 By: Karin Watts-Bazan
21 KARIN WATTS-BAZAN
22 Deputy County Counsel
23

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