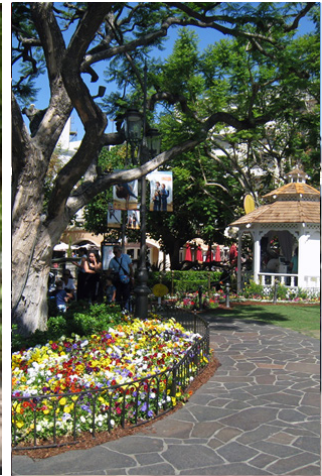


# LEAL

## MASTER PLAN

### AMENDMENT #1

ADOPTED MAY 25, 2022



CITY OF EASTVALE

# LEAL MASTER PLAN AMENDMENT #1

May 2022

## CITY OF EASTVALE

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TABLE OF CONTENTS

1. Introduction ..... 1.1

2. Project Character ..... 2.1

3. Land Use Program ..... 3.1

4. Development Standards..... 4.1

5. Development Process..... 5.1

6. Implementation Plan ..... 6.1

# 1 INTRODUCTION AND VISION

## 1.1. BACKGROUND AND PURPOSE

In the City of Eastvale, a recently incorporated and rapidly growing city in northwestern Riverside County, the Leal property holds significance as one of two major undeveloped pieces of land in the city. The idea of planning for the site's development originated in the 2012 Eastvale General Plan. The Land Use Chapter of the General Plan adopted at that time supported the development of a mixed-use project on the site in cooperation with the property owner and/or the developer.

In 2013, the City of Eastvale City Council initiated a long-range planning process for the property. The effort was born out of the desire to create the mixed-use town center project on the site and to safeguard against unsatisfactory development taking the project's place. The Leal Master Plan is the product of this planning process and is a critical step toward bringing unique, regionally significant development to the site. In December of 2017, the City of Eastvale adopted the initial Leal Master Plan. The multiple step process was established in the original Master Plan. This Leal Master Plan is the first amendment to the initial Master Plan as contemplated in the development process.

<b>City of Eastvale Demographics</b>		
Eastvale offers the developers of the Leal Master Plan excellent opportunity to serve an affluent and growing population. Current projections for 2018 show the following:		
	<b>Eastvale</b>	<b>10-Mile Radius</b>
Population	68,706	1,070,150
Average Household Income	\$130,730	\$90,507
Average Annual Increase in Household Income 2013-2018	0.94%	3.47%
Eastvale is the most diverse high-income city in California, with a population that includes 40 percent Latino residents, 9 percent black, 24 percent Asian and 24 percent white.		

### 1.1.1. What Is a Master Plan?

This Master Plan is a long-range planning document that documents how the site will be developed. This Master Plan describes the community's vision for the project area, identifies appropriate land uses, includes the development standards that are necessary to achieve the vision, defines the character of the project's development, lists the steps involved with the development process, and provides guidance on implementation of the plan.

The adoption of this Master Plan represents the second step in planning for the site's development. This document establishes general parameters for development of the Leal property (and the process for defining more specific standards tailored to the ultimate project to be proposed by the property owner/developer). Subsequent development plans will provide precise

## CHAPTER 1 – INTRODUCTION

development plans for each planning area, facilitating the actual construction of developments.

*Note to the Reader: See Chapters 4 and 5 of this Master Plan for detailed information on required future submittals.*

Implementation of this Master Plan will ensure that desirable, high-quality development is constructed on the site in an orderly and cohesive fashion. All development occurring on the site is required to comply with this Master Plan.

### 1.1.2. Community and Stakeholder Input

The original adopted Leal Master Plan was created and adopted in a public forum. The document represents a blending of the City's goals, the owner's ambitions, and the public's aspiration for the property. The participants' contributions to the project are as follows:

#### 1.1.2.1. City Council and Planning Commission

Throughout the planning process, staff was provided with input from the City Council and Planning Commission on important aspects of this Master Plan. Ultimately, the Planning Commission and City Council were responsible for selecting the Master Plan Amendment's overall concept and the land use program and for reviewing and approving the final Master Plan Amendment.

#### 1.1.2.2. Property Owner

Before and during the preparation of this Master Plan, City staff met regularly with the Leal family who has for decades owned the property and the property owner's development representatives. These meetings helped establish the vision for the property and the legacy that the family hopes to leave in the form of the proposed new development.

#### 1.1.2.3. Public Outreach

The preparation of the original Master Plan included a significant online public outreach campaign, including a website dedicated to the project and numerous postings on the City's social media outlets.

The project website provided background information on the

#### **Big Ideas for the Leal Property**

When the City asked for "big ideas" and themes for the project site, residents provided thousands of responses, mostly via social media. The following were the top listed categories:

- Lifestyle Centers
- Downtown
- Indoor Regional Mall
- Amusement
- Arts/Cultural
- Concerts/Special Events Venue
- Hospital/Medical Center
- Civic Uses
- 1950s Main Street
- University or Community College
- Sports/Recreation
- Hotel/Resort
- Giant Cow Statue

project and the property, as well as City and project-related documents, and kept the public apprised of upcoming meetings. The website also featured an interactive section that allowed users to share their input on important aspects of the project.

Initially, participants were asked to submit their suggestions for “big ideas” and “themes” for the project site. Residents responded to the City’s call for ideas, submitting thousands of comments. Subsequently, an online poll was created to see which of the ideas held the greatest level of support in the community. Of the nearly 2,000 survey responses received, the three most popular categories were:

- Lifestyle Centers
- Downtown
- Indoor Regional Mall

## CHAPTER 1 – INTRODUCTION

### 1.2. OBJECTIVES

The General Plan goal of bringing a mixed-use development to the site will be realized through the adoption and the implementation of the Leal Master Plan. This Master Plan seeks to achieve the following objectives:

- Facilitate transformation of the project area into Eastvale's Downtown.
- Encourage a mix of uses, including retail, experiential uses, office, civic, residential, and recreation/entertainment, that respond to market demand.
- Create a Downtown Village destination in Eastvale to meet the needs of patrons from the community and the region.
- Include heavily landscaped spaces, further reinforcing Eastvale's Tree City USA designation.
- Implement high-quality architecture and design that creates a sense of place and enhances the aesthetic and visual quality of the neighborhood.
- Design the site in an efficient fashion that perpetuates a compact, urban form of development.
- Provide safe and entertaining gathering places for Eastvale residents.
- Develop the site in an orderly, comprehensive, and cohesive manner that avoids the piecemeal development of the site with a mix of incompatible uses that do not relate to one another.
- Expand the city's economic base by generating substantial property and sales tax revenue.
- Provide employment opportunities for residents, improving the city's jobs/housing balance and reducing vehicle miles traveled.
- Provide the infrastructure necessary to meet project needs in an efficient and cost-effective manner.
- Provide medium- and high-density housing opportunities.
- Provide ample access for pedestrians, bicyclists, and automobiles throughout the site.

### 1.3. VISION

The City envisions the project area emerging as the City's Downtown and a destination within the region. The area will be anchored by a downtown village and surrounded by a mixture of complementary office, civic, residential, and recreation/entertainment uses. All aspects of the project will exhibit the hallmarks of thoughtful, high-quality design and landscape.

*Note to the Reader: For more information on the vision and the quality of the project's design, refer to Chapter 2, Project Character.*





## CHAPTER 1 – INTRODUCTION

### 1.4. LOCATION

The project area encompasses the Leal property, an approximately 160-acre landholding that (as of 2014) included one of the city's last operating dairies and a horse farm.

Shown in Figure 1.1: Regional Context Map, the project area is in the northeastern section of Eastvale, approximately one-half mile from the Interstate 15/Limonite Avenue interchange, and south of State Route 60. The site is bounded by 58<sup>th</sup> Street to the north, Hamner Avenue to the east, Limonite Avenue to the south, and Scholar Way to the west, as shown in Figure 1.2: Local Context Map. The project area is situated immediately west and north of existing commercial and retail developments and is south and east of established and newly developed residential neighborhoods of varying densities.

## 1.5. RELATIONSHIP TO OTHER DOCUMENTS

### 1.5.1. General Plan

The Leal Master Plan implements the City of Eastvale General Plan. The land uses permitted by this Master Plan are consistent with the goals, policies, and general land uses described in the General Plan.

### 1.5.2. Municipal Code

This Master Plan functions as the zoning document for the project area, except as discussed below.

This Master Plan incorporates zoning provisions that vary from, and supersede, those included in the City of Eastvale Zoning Code and introduces additional provisions not found in the Zoning Code. For these development standards, the Master Plan distinguishes between those provisions that apply to the entire project area and the provisions that only apply to individual land uses.

This Master Plan references regulations in the Eastvale Zoning Code. Where the Zoning Code is referenced, the Zoning Code in place at the time of a development project's submittal will be used.

Where this Master Plan is silent on any issue, the applicable standard in the Eastvale Zoning Code will be used.

Figure 1.1: Regional Context Map

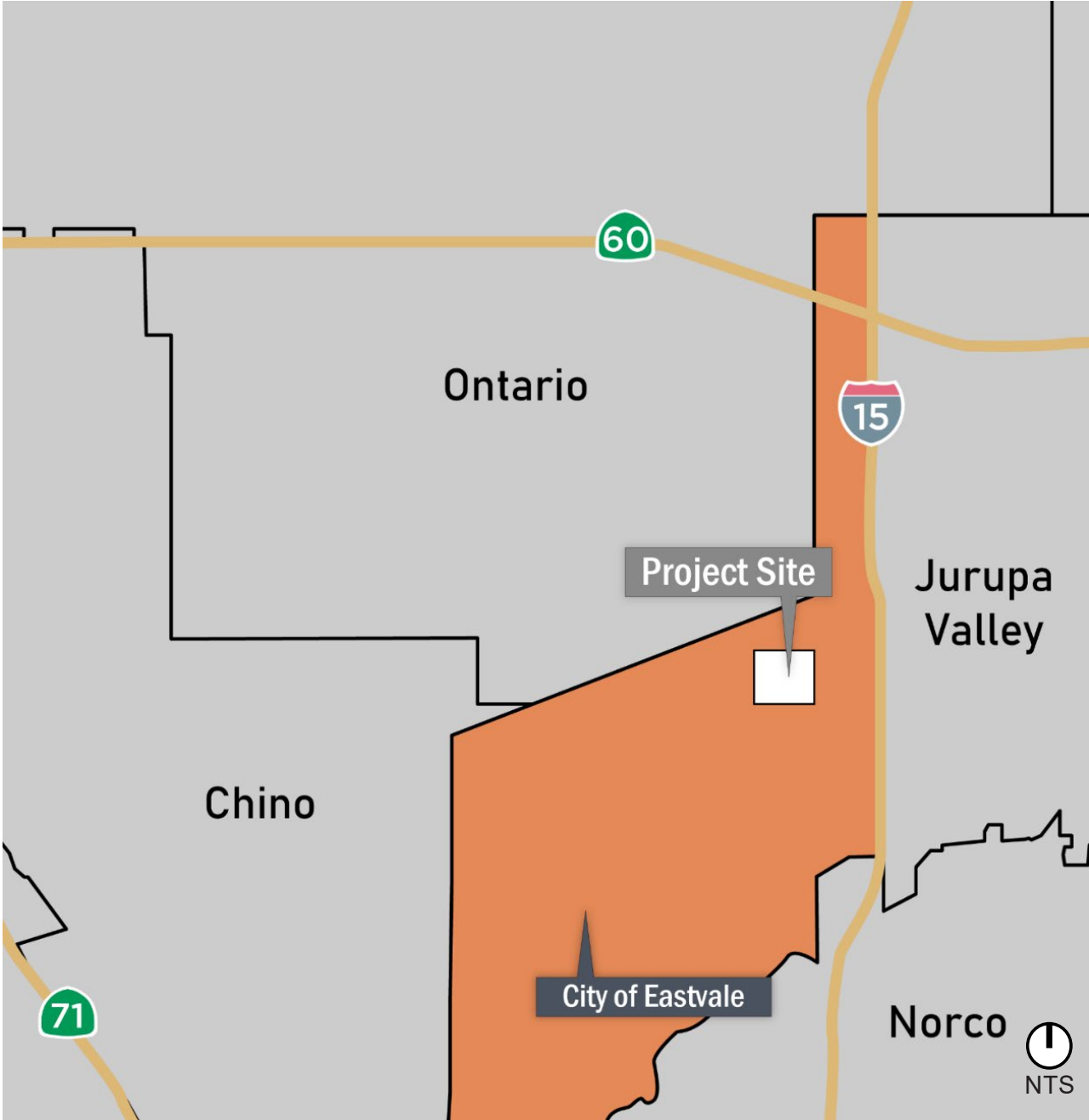
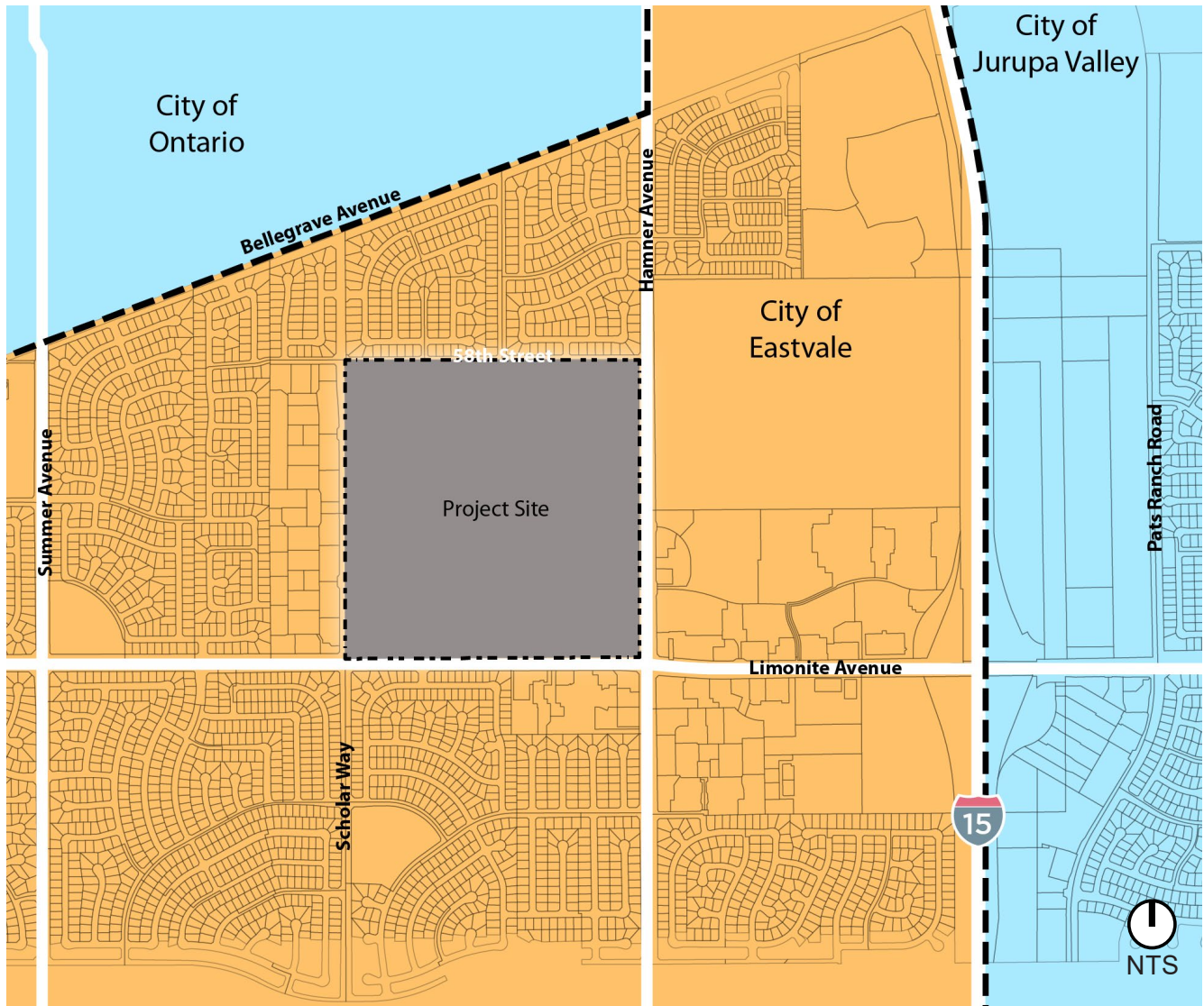


Figure 1.2: Local Context Map



## CHAPTER 1 – INTRODUCTION

### 1.6. PLAN ADMINISTRATION

#### 1.6.1. Use of This Master Plan

This Master Plan will be used as the basis for establishing standards of development and evaluating proposed development projects for the Leal property and is intended to be used by a broad range of persons, including:

- The City Council and Planning Commission in decision-making activities.
- City staff in evaluating project consistency with the standards set forth in this Master Plan.
- The development community in preparing development proposals.
- Residents and citizens seeking to understand the vision for the Leal property and the type of development which may occur.

#### 1.6.2. Interpretations of the Master Plan

The City of Eastvale Planning Department is responsible for the administration, implementation, and enforcement of this Master Plan. The Community Development Director or their designee is responsible for making determinations of consistency with this Master Plan as follows:

##### 1.6.2.1. Determination of Intent

Whenever the Community Development Director determines that an ambiguity exists in how a particular standard or regulation applies, or a formal request for an interpretation is made by an applicant, property owner, or interested party, the Community Development Director or their designee will prepare an official interpretation of intent in accordance with the procedure set forth in Eastvale Zoning Code Section 1.5.1 (Official Zoning Interpretation).

##### 1.6.2.2. Determination of Similar Land Use

Recognizing that every conceivable land use cannot be identified in this Master Plan and anticipating that new land uses will evolve over time, the Community Development Director or their designee has the authority to approve uses when their operation, impacts, and scale are similar to those land uses listed in this Master Plan.

Determinations of similar land use will be made pursuant to Section 1.5.1 (Official Zoning Interpretation) of the Eastvale Zoning Code.

##### 1.6.2.3. Amendments to the Master Plan

Over time, various sections of this Master Plan may need to be revised, as economic conditions or City needs dictate. The policies presented in this Master Plan contain some degree of flexibility, but any Master Plan amendments must be judged by relatively fixed criteria. Minor modifications to the plans, guidelines,

regulations and standards contained in this Master Plan may be approved at the discretion of the Community Development Director or their designee as described in Section 5.4.1. Major modifications that do not meet the criteria for minor modifications described in Section 5.4.1 shall require a formal amendment to the adopted Master Plan. Major modifications are described in Section 5.4.2.

Amendments to this plan may be initiated by a developer, any individual property owner, or the City, in accordance with the Eastvale Zoning Code.

#### 1.6.2.4. Actions Which Are Not Amendments to this Master Plan

The following are **not** considered amendments to this Master Plan:

- Determinations of similar use, as discussed in this chapter.
- Minor modifications to the Master Plan, as outlined in Chapter 5 of this Master plan.

# 2 INTRODUCTION AND VISION

## 2.1. INTRODUCTION

The City's vision for the Leal Master Plan area is a development that provides employment, retail, public uses, entertainment, and housing in a carefully laid out environment designed to create a memorable and enjoyable experience for both visitors and residents. The City and community expect that development of the Leal property will be of the highest quality, both in design and construction.

The envisioned level of quality is reflected in other regionally significant projects in Southern California, such as Downtown Claremont, downtown Temecula, and downtown Brea. All of these developments are noteworthy for their focus on creating a vibrant and attractive experience for visitors, incorporating vertical development (multiple stories) into a village setting, and for their attention to detail in a variety of features.

This Chapter expresses the City's vision for the Leal Master Plan. The expected level of quality is shown as it should be expressed in various aspects of the project, including:

- Site design
- Circulation
- Architecture
- Landscaping
- Public Spaces
- Buffers/Adjacencies
- Street Furnishings
- Thematic Features
- Signage

## 2.2. PROJECT CHARACTERISTICS

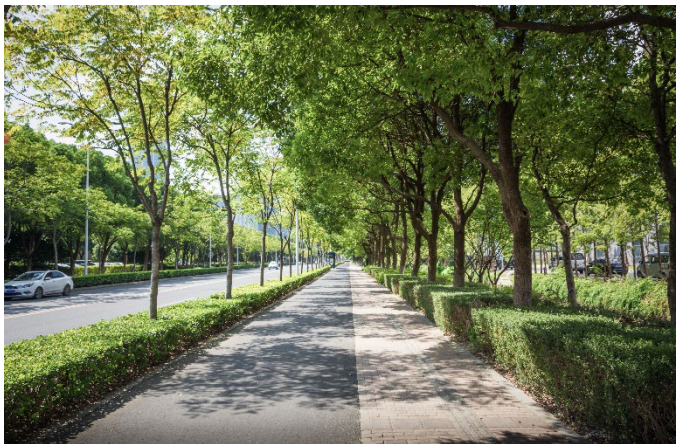
Attention to detail and incorporation of high-quality materials is a key aspect of developing high quality projects. While the examples provided on the following pages focus on distinguishing characteristics within the Downtown concept, all portions of the project will be required to achieve a similar level of quality and attention to detail.

## CHAPTER 2 – PROJECT CHARACTER

### 2.2.1 Site Design

The following principles accompany the vision for Leal Master Plan to form the foundation for the planning and design of the community.

- Create a magical destination.
- Provide energy, vitality and create a central gathering place within the City.
- Public and private spaces are designed to enhance and complement one another.
- Along retail corridors, wide sidewalks and shaded paseos lined with street trees and outdoor seating create an inviting environment for both window shopping and socializing, focusing on the human scale and experience.
- Diversify Eastvale's economy by providing a range of uses within close proximity to each other.





### 2.2.1 Site Design

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Effective site design facilitates access and mobility and integrates building design and orientation, private space, and public space to create a vibrant destination. The following bullets describe the site design vision.

- Downtown will provide opportunities for retail commercial and office uses, as well as central gathering places for residents to interact and connect. This commercial/retail hub should be visually prominent, as it is strategically located at the intersection of Limonite and Hamner Avenue to capture visibility and attract shoppers and direct visitors to this destination center.
- Downtown will be surrounded by higher density neighborhoods that gradually transits to lower density neighborhoods.
- A village green located adjacent to the Downtown will provide a wide variety of active and passive recreation amenities.
- Neighborhoods will be designed to connect to open space and park amenities, shopping, public and civic facilities, and recreational facilities via streets, paseos and pedestrian trails.
- A community wide linear park system will provide focus on community connections and pedestrian experience.
- Wide sidewalks and shaded paseos lined with trees and outdoor seating create an inviting environment both in the Downtown and residential areas.
- Public and private spaces are designed to enhance and complement one another.
- The project is integrated into the surrounding environment to provide for multiple points of access.
- On-street parking, landscaped bulb-outs, and special paving treatments provide convenient access in an aesthetically pleasing manner.
- Parking is conveniently located to destinations and should be tucked away or integrated into parking structures so as not to dominate the experience.

CHAPTER 2 – PROJECT CHARACTER



## 2.2.2 Circulation

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A carefully devised circulation network allows pedestrians, bicyclists, automobiles, and delivery vehicles to operate without conflict.

- Entries and gateways into the project are distinct and identifiable.
- Circulation patterns are simple and obvious.
- Paving and landscaping materials distinguish the types of circulation routes.
- Plant and material selection along circulation routes are used to identify distinct districts within the overall project.

The Leal Master Plan has six major points of access: two points of access from Limonite Avenue, two points of access from Hamner Avenue, one point of access from 58th Street, and one point of access from Scholar Way, as shown in Figure 3.1, Land Use Plan.

In addition to these major entry points, secondary access may be provided from the major streets surrounding the project as part of subsequent Major Development Review for the Planning Areas.

All of the project's access points will provide an opportunity to create a sense of arrival by creating entryway statements or gateways with landscaping, signage, and buildings. See Section 4.3.3 in Chapter 4 for the design standards for the major entry points.

An internal circulation system is established and shall be designed to be consistent with Chapters 4 and 5 of the Design Standards and Guidelines for residential and nonresidential site and street design.

Pedestrian paths and bicycle lanes identified on circulation cross sections on Section 6.2 shall be designed to comply with the following:

- Pedestrian and bicycle access shall be provided along all major roadways and internally within each development to allow connectivity from the streets to the businesses and residences.
- Pedestrian and bicycle connections shall be provided from the street to the interior of the development that minimize conflicts with vehicular traffic.
- Sidewalks shall be shown on each street section.
- Pedestrian and bicycle access shall be consistent with Chapters 4 and 5 of the Design Standards and Guidelines for residential and nonresidential site design.

CHAPTER 2 – PROJECT CHARACTER

2.2.2 Circulation



### 2.2.3 Architecture

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The Leal Master Plan is designed to include distinctive, identifiable neighborhoods of a walkable size and scale with an appropriate mix of housing types. This section provides the framework for high quality design and expresses the desired character of future development.

#### **Community-wide Residential Development**

This section identifies key architectural and site design elements that should be considered in all residential areas within the Leal Master Plan community. These guidelines intend to establish a diversified, yet cohesive level of quality in home design that reflects the character of the surrounding environment while allowing for flexibility in design.

##### *Architecture Forward Design*

- Within the Downtown, buildings fronting onto the street shall be designed so that active and articulated architecture visually dominates the street and allows for direct views of the street and outdoor living space to enhance the sense of security. This can be achieved by orienting doors and windows toward the streets and public areas.
- Garages shall be set behind the front face of the building or be oriented to alleys or motorcourt drives to minimize the visual dominance of garages along the street.

##### *Building Siting and Orientation*

- In general, buildings shall be located and oriented to define public streets and primary open space areas, as appropriate to the product type.
- Front entries shall face the streets, courtyards, paseos, or open spaces.
- Units shall be sited and design so that each building shall have roof exposure to the south or east, or a portion of the roof with a flat roof.
- Unit entries shall not be provided on 58<sup>th</sup> Street, Hamner Avenue, or Limonite Avenue.

##### *Corner Lot Buildings*

- Corner lots for single-family detached homes generally have wider than minimum required side setbacks from the adjacent public rights-of-way as compared to interior side setbacks (refer to product-specific standards in Chapter 4, Development Standards). This additional setback area is intended for landscaping and/or single-story architectural elements such as porches and courtyards.
- To respond to adjacent streets and intersections appropriately, buildings on corner lots shall be designed for a two-sided corner exposure, addressing the increased public visibility by allowing for architectural enhancements on the side elevation facing the street.

## CHAPTER 2 – PROJECT CHARACTER

- Corner lot buildings shall feature enhanced elevations that provide a similar level of detail on the street side as the front elevation. Enhancements may include.
  - Wrap-around porches or courtyards
  - Principal window treatments
  - Roof plane breaks
  - Accent colors, materials and detailing
  - Garage access from the side street for conventional single-family homes

### *Building Form, Massing and Articulation*

- Building massing (three-dimensional form of a building, referring to the perception of the general shape and form, and size) along the street shall be varied to create a quality streetscene.
- To reflect a variety of forms and create massing breaks, use horizontal and vertical offsets, such as interconnection and lapping of building forms and heights.
- Plane offsets cantilevered upper floors and varied roof forms are encouraged to avoid large expanses of flat, monotonous walls and roofs in alleys and motorcourts.
- To add interest to building facades, building articulations such as roof overhangs, balconies, and projections should be used in the design of building frontages.
- For attached residential buildings, break down the scale of the buildings into smaller elements through varied building massing and forms, such as varying setbacks on building elements/facades, varying roof lines and directions, incorporating single-story elements or open balconies that provide negative space at prominent corners, utilizing shed roof forms and trellis elements, etc.
- To prevent long expanses of blank walls, walls shall be articulated at least every 20 feet horizontally on each floor. Articulation shall mean a change in material, massing break of at least one foot (1'), or including a window, projecting porch, balcony (recessed or projecting), or other decorative element (e.g. decorative attic vent).

### *Colors and Materials*

- Building materials and colors shall be appropriate to the overall neighborhood design theme and relate to the selected architectural style. Frequent changes in materials shall be avoided.
- Provide a variety in texture and color to allow for diversified expressions of individuality on building elevations, while maintaining visual cohesiveness throughout the community.

- Where color or material changes occur on the building, such changes shall only occur at inside corners or wrapped to appropriate termination points where they provide a finished appearance from the street.
- Color and materials should wrap columns and posts in their entirety.
- Exposed gutters and downspouts must be colored to match or complement the surface to which they are attached.
- Colors shall be neutral tones or muted colors complementary to the chosen architectural style and compatible with the character of surrounding development. Reserve bright or dark colors for trim or accents only.

### *Roofs*

- Select simple and efficient roof forms, pitches and materials that are consistent with the architectural style of the building. Consider roof forms in relationship to the building mass to improve massing relief along public streets and on other publicly visible elevations.
- Varied roof forms, offsets and materials consistent with the architectural style of the building are encouraged to create variation in the skyline and diversity in the streetscene.
- Flat roofs with parapets or decorative cornices are permitted where appropriate to the architectural style of the building.

### *Mechanical Equipment*

- All exposed air conditioning/heating equipment, soft water tanks, and pool and spa equipment shall be hidden from view in vaults, wells, enclosures, behind walls/fences or screened by landscape. Enclosures shall be constructed similarly and finished to match the building or material which they are attached.

### *Trash Enclosures*

- Areas provided for trash and recycling bins shall be concealed from public view.
- Where trash and recycling material collection facilities are shared by several units/buildings, the collection facilities shall be screened by architectural enclosures. The screening enclosure materials and colors shall be similar or complementary to the exterior materials and colors used on the adjacent principal buildings.

CHAPTER 2 – PROJECT CHARACTER





### Detached Residential Development Design Guidelines and Standards

- Side entries are allowed to give the product design greater flexibility and varies the curb appeal.
- For rear loaded and detached cluster homes, front yard and common area landscaping will be provided by the builders.
- Provide visual harmony by applying a common family of details throughout the cluster complex.
- Provide paving within the courtyards to enhance their use and identity as pedestrian entries to the homes.
- Individual unit entries of cluster homes shall be clearly discernible from the courtyard or access drive.
- Where a central courtyard is provided for detached cluster homes, living space windows shall orient toward the courtyard.
- Provide a minimum of three (3) floor plans in each Planning Area.
- There shall be a minimum of three (3) elevations for each floor plan, for a minimum total of nine elevations.
- No more than two buildings in a row may be plotted with the same elevation style.
- The same plans may be plotted adjacent to each other or across from each other, provided they have different elevation styles.
- Detached cluster units with front facades bordering streets I, E, F, H & G shall have their entries oriented to these streets.

CHAPTER 2 – PROJECT CHARACTER



### **Attached Residential Development Design Guidelines and Standards**

Attached residential buildings tend to have larger building masses. As such, attached residential design should be carefully considered to convey a sense of human scale. Building typology and chosen architectural style should reflect the building's location within the community, and all buildings should exemplify quality design.

#### *Townhomes and Attached Motorcourt Homes*

- Where attached residential buildings are located adjacent to single family detached homes, minimize impacts on the adjoining residences with a sensitive transition in scale, massing and height, and design the transition to ensure resident privacy.
- Design the front elevation of attached residential buildings to clearly delineate individual units as a way of breaking up mass.
- Articulate the front building facades to promote individual unit identity by incorporating overhangs, recesses, porches, glazed doors, accent materials and colors, etc., consistent with the architectural style of the building.
- External unit and building entries shall be designed in a manner that is clearly visible to pedestrian and/or vehicular approaches.
- Rear facades along alleys, driveways, or visible from backbone streets shall not be void of articulation. These elevations shall include massing breaks and/or architectural details (i.e. shutters, gable vents), as appropriate to the architectural style of the building.
- Attached residential buildings sited adjacent to lower-density residential neighborhoods should be sensitive to the scale of those neighborhoods. Step down building heights to match the adjacent buildings as a transition to lower adjacent development heights.
- When located next to open space or a paseo, arrange groups of attached residential buildings so that the buildings front onto paseos or the open space. In the event that fronting onto these open spaces is not feasible, the residential buildings shall front onto a courtyard, pathway, or other gathering space that would directly connect to the open space or paseo.

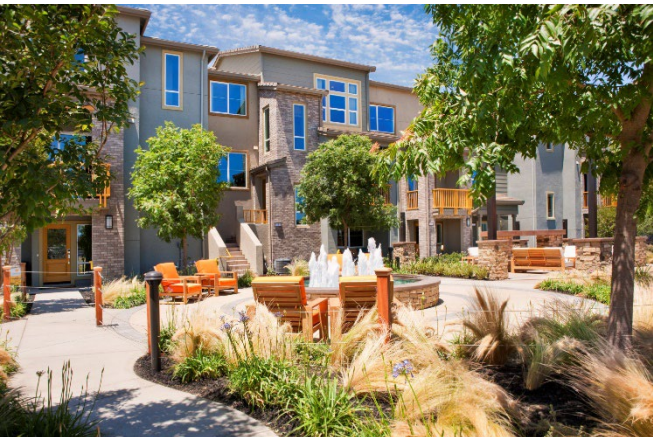
#### *Apartment/Flats*

- Building configuration shall form adequately-sized courtyards and gathering spaces, where applicable. Accessible from inside the building or from external pedestrian pathways, courtyards or gather spaces should feature enhancements such as trellises, shade trees, or outdoor furniture.
- Step down corners and ends of multi-family buildings over two-stories in height at highly visible locations, softening the building edges and enhancing the streetscene.
- Provide pedestrian-oriented elements and details on facades facing public sidewalks. Elements such as balconies and awnings can add visual interest and richness to the street environment.

## CHAPTER 2 – PROJECT CHARACTER

- Transitional spaces such as porches, covered entries or stoop entries shall be provided for ground floor units facing public street. Where common building entries are provided, they should be well defined along the street and/or parking lot edges.
- Arrange attached residential buildings and site landscaping in such a way that they screen parking areas from public view and minimize the impact of parking lots and garages on the public streetscape.
- Parking lots shall be broken up into smaller segments by landscaped islands, but should remain connected to facilitate internal circulation for a common complex.
- Provide a minimum of two (2) unit plans for each building, and a minimum of two (2) building plans (with the ability to add elements to corner units as necessary) in each Planning Area.
- Residential development adjacent to internal Street E, F, G, H and I shall include a primary pedestrian entry along this street frontage facing either the street or a courtyard or a paseo that is accessible by the residents.
- All primary entrances for multi-family dwellings shall provide unit identification.
- ... Exterior elevations shall include at least three (3) materials that accentuate or correspond to variations in building massing and plane changes, but not having too many different materials to avoid a chaotic appearance. Glazing (windows) and accent materials such as shutters and railings may count towards this requirement.

CHAPTER 2 – PROJECT CHARACTER



## CHAPTER 2 – PROJECT CHARACTER

### Downtown District Design Guidelines and Standards

The Downtown District will function as a vital commercial center for the City. Appropriate land uses for these areas include residential, commercial, retail services, restaurants, offices, paseos, recreational facilities, community venues, and civic facilities. The mixed-use areas are a place for working, shopping, dining and gathering. Businesses will be situated along the street and provide convenient access for vehicles, pedestrian walkways and landscape areas.

#### General Criteria

- Buildings shall front onto a street or spine, which may be designed either as a vehicle free zone or in such a manner as to allow for use by both pedestrians and motor vehicles. When vehicles are allowed, design features shall be incorporated to define pedestrian movement through changes in paving materials or grade, articulated walks with landscaping, or overhead structures.
- Both vertical (different uses within the same building, with commercial or office uses located on the ground floor and with office or residential uses located above) and horizontal (single-use buildings located side-by-side or adjacent to each other on a development site) mixed-use are encouraged in the Downtown District. The mix of land uses may be, but are not limited to, commercial mixed with residential or mix of uses of retail, restaurant, office, and civic uses.
- Vertical mixed-use projects are encouraged for 3-story and higher buildings, such as first floor retail with office or residential uses above. Visually, this arrangement divides the façade into two basic parts: the upper façade and the storefront.
- Large monolithic buildings, such as movie theaters and cultural venues, must be set back from a street designated for pedestrian activity and lined with smaller businesses in front to create a more appealing streetscene.
- Plaza areas in mixed-use settings are encouraged and may include seating, fountains, and landscaping.
- Open views into the retail space at the storefront level will enhance the pedestrian experience by providing a visual connection to the use inside the building. On upper levels, windows should continue the aesthetics of the building while serving the occupants' need for privacy.
- Primary entrances into retail buildings shall be clearly marked and provide a sense of welcome and convenient access into the building interior.
- Corner buildings shall be designed with enhanced treatments. These treatments may include: larger building element at the corner, more ornamentation than adjacent buildings, or a plaza to define the space. In addition, corner buildings typically have both primary and secondary façades that relate to the streets on which they front.
- The ground floor of the commercial component of a mixed-use building shall have a finished ceiling height of a minimum of 12 feet.

*Building Form, Massing, and Articulation*

- Iconic buildings in the Downtown District are encouraged and may include architectural features such as bell or clock tower or similar statements.
- Architecture shall address public areas with high quality materials and should contain architectural elements and other detail relating to the human scale.
- Groups of buildings shall be arranged in clusters around elements such as pedestrian walkways or landscaped areas.
- Retail and restaurant buildings with facades parallel to the street with covered pedestrian arcades are encouraged. Long unarticulated facades shall be avoided along the primary pedestrian corridor.
- No building wall facing a public street should extend more than 25 feet vertically or horizontally without a visual break created by a minimum 1 foot architectural/massing offset. (See graphic footnote 1 in below)



- ① For buildings with 100' or greater of street-frontage, plane breaks at least every 25 feet include glazing and provide adequate articulation.
- ② A minimum of 30% of exterior walls on ground-floor facing the street shall include windows, doors, or other openings.

- Within PA3 and PA5, the ground floor shall incorporate abundant glazing. At least thirty (30) percent of the exterior walls on the ground floor facing the identified pedestrian corridor shall include glass windows, glazed doors, or other openings, as illustrated in below. Percentage of fenestration shall be calculated based on the length of the facade frontage and the floor-to-ceiling height of the ground floor, excluding the areas for parking garage ingress/egress. (See graphic footnote 2, above)
- Adjacent to Streets H or G within Planning areas 2, 3, 4 and 5, at least 50 percent of the building (commercial, civic, or residential) shall be located within the 0 to 15 feet of the right-of-way from Streets H and G. The other 50 percent may be

## CHAPTER 2 – PROJECT CHARACTER

reserved for expanded outdoor dining opportunities, courtyards, paseos, or driveways connecting to surface lots behind the building. Parking lots are not allowed between the building and the street along these corridors.

### *Materials and Colors*

- A mixture of high-quality materials in highly visible locations and in varying quantities have a large impact on the perceived quality of the area.
- Colors should be carefully chosen to complement the architectural style or tenant of each building.
- Exterior elevations shall include at least three (3) materials that accentuate or correspond to variations in building massing and plane changes, but not having too many different materials to avoid a chaotic appearance. Glazing (windows) and accent materials such as shutters and railings may count towards this requirement.
- Colors shall be neutral tones or muted colors complementary to the chosen architectural style and compatible with the character of surrounding development. Reserve bright or dark colors for trim or accents only.

### *Services, Utilities, and Storage*

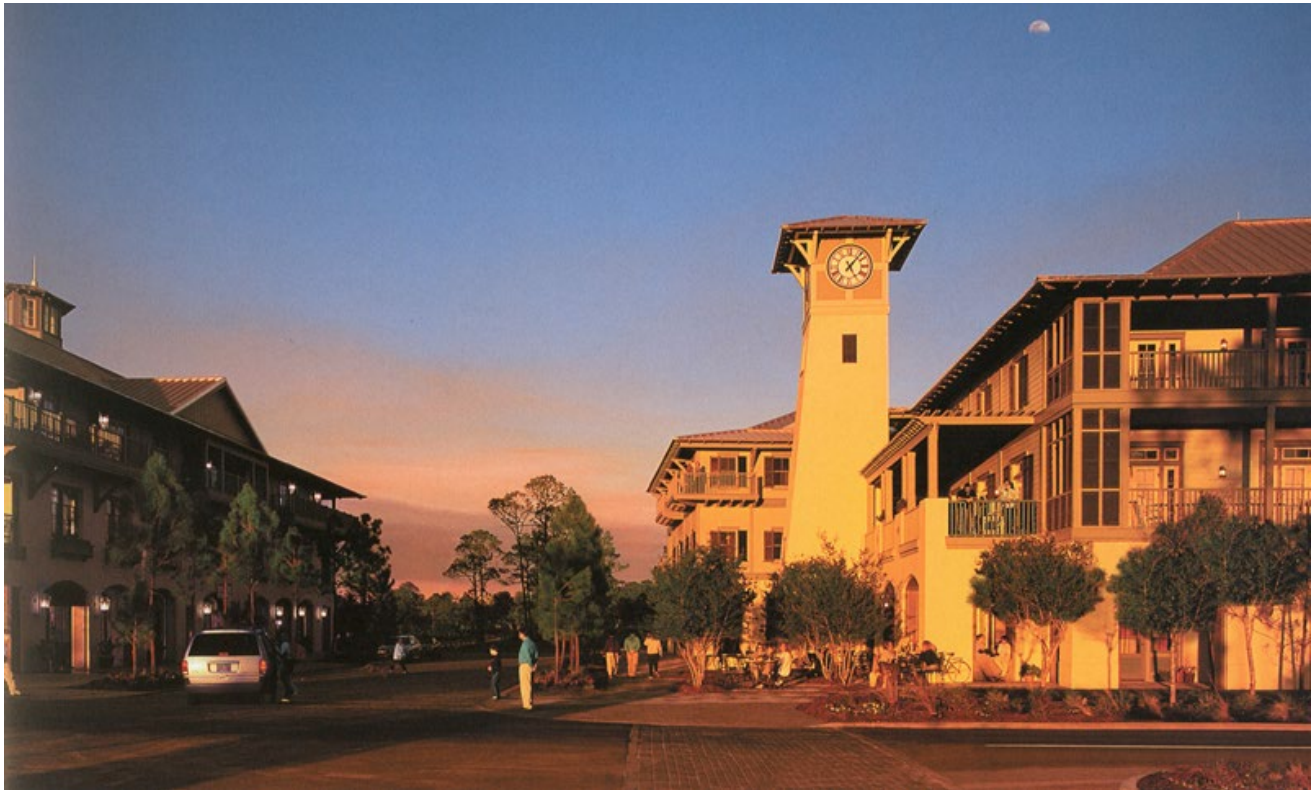
- Service, loading, and storage areas should be located away from the streets and activity area. When service areas are not able to be located away from streets or activity areas, screening elements such as walls, fences, architectural treatments, landscaping, or similar screening element shall be incorporated. In all cases, the screening shall be integrated into the design and not appear as an afterthought.



CHAPTER 2 – PROJECT CHARACTER



CHAPTER 2 – PROJECT CHARACTER



### 2.2.4 Landscape

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Landscaping can have a significant visual impact on a project through the quality of landscaping materials selected and the how landscaping is integrated throughout the project site. Landscaping both visually ties a project together and identifies distinct districts.

The City of Eastvale has been proudly designated as a “Tree City USA” by the Arbor Day Foundation by providing commitments to installing and maintaining an urban forest. The City and this Master Plan continues this commitment to provide an urban forest to improve the visual appeal, increase property values, reduce home cooling costs, and remove air pollutants. The following landscape guidelines are required for the Master Plan:

- To create an urban forest as quickly as possible, fast-growing tree species appropriate to the area and climate shall be used.
- Trees shall be planted as soon as practicable in project phasing to encourage more mature tree growth once buildings are occupied.
- The project should have a consistent plant palette, though variations may occur from street to street.
- Streets, promenades, public plazas, and smaller open spaces should have distinctive planting and landscaping treatments, making them unique and enjoyable pedestrian experiences.
- Plants are selected for specific purposes to enhance the project experience.
- Plant and material selection along circulation routes are used to identify distinct districts within the overall project.
- Streets designated as “Enhanced Parkways” on Figure 3.2: *Open Space/Parks* shall include a double-row planting of trees where the trees are planted at an average of least 20 feet on center. This requirement does not include intersecting streets or driveways. Special exceptions may be made for portions of the right-of-way that include utilities that preclude the planting of trees and for visibility of non-residential buildings.
- Surface parking lots shall have a minimum 6-foot wide landscape buffer from all street rights of way, measured from property line. Curbs and parking overhangs may be included within this required buffer.
- Where pedestrian circulation crosses a vehicular travel zone, a change in material, color, or grade is required.
- Landscape must permit adequate sight distance for vehicular and non-vehicular circulation.
- All new landscape areas must have irrigation installed.
- No plants from the California Invasive Plant Council List shall be planted.

**CHAPTER 2 – PROJECT CHARACTER**

2.2.4 Landscaping



## CHAPTER 2 – PROJECT CHARACTER

### 2.2.5 Public Spaces

Public spaces bring people together and allow for community events such as concerts, markets, exhibits, and celebrations.

- Public spaces reflect the needs of the community and project.
- Furniture, signage, paving materials and patterns, colors, landscaping, and other design features of the public space are used to create a sense of place and purpose.
- Surrounding buildings and uses are designed to interact with the public space and vice-versa.
- Common outdoor open space in the form of a pocket park, plaza, courtyard, garden, play area or outdoor amenity should be provided. Common outdoor open space must have a minimum dimension of 15 feet in all directions.
- In the Downtown District, the sidewalk along the designated pedestrian corridor shall have a minimum clear width of 10 feet (illustrated below). The sidewalk may



2.2.5 Public Spaces



CITY OF EASTVALE



2.25

LEAL MASTER PLAN AMENDMENT #1  
FINAL MAY 2022

## CHAPTER 2 – PROJECT CHARACTER

### 2.2.6 Buffers & Adjacencies

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The need to create buffers and address adjacencies between uses also provides an opportunity for continuation of the project theme and elevation of the quality of development.

- Freestanding and retaining walls shall have a minimum 30-inch planter on each exposed side of the wall to allow for the planting of shrubs, flowers, and/or groundcovers to help conceal the wall. Private yards for single-family and multi-family dwellings, open fencing (e.g. tubular steel), and enclosed private areas (e.g. pool deck) are not subject to this guideline.
- Landscaping shall be used as a transition between public and private space.
- Planters matching the theme of the project and planted with colorful flowers are used to separate vehicle and foot traffic and add to visual appeal of the project.



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2.2.6 Buffers & Adjacencies

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## CHAPTER 2 – PROJECT CHARACTER

### 2.2.7 Screens, Fences, & Walls



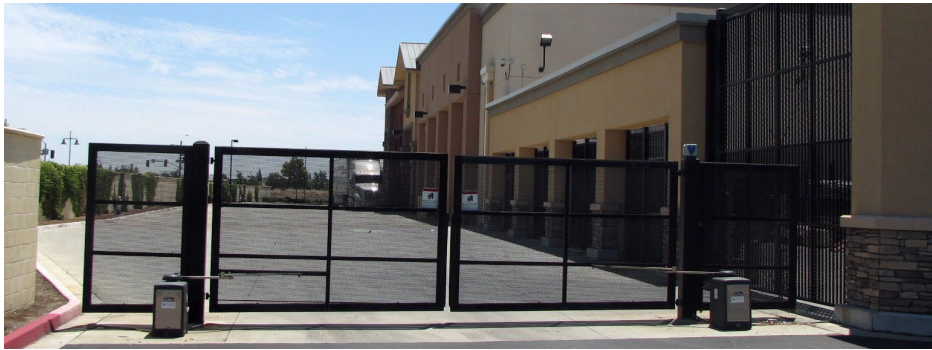
Screens, fences, and walls act as buffers between land uses, distinguish private space from public space and provide privacy.

- Fences and walls incorporate the project theme and add to the overall visual continuity of the project.
- Landscaping is effectively employed to screen undesirable uses from sight.



2.2.7 Screens, Fences, & Walls

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## CHAPTER 2 – PROJECT CHARACTER

### 2.2.8 Street Furnishings



Street furnishings shall reflect and complement the overall character of the project and provide consistency between distinct districts, creating an enjoyable and memorable experience.

- Benches and other features are designed to reflect the project theme.
- Tree grates and other project features incorporate the project logo.
- Trash receptacles, newspaper kiosks, light fixtures all feature similar design aesthetic and accent details.
- Bicycle racks are designed for form and function.



2.2.8 Street Furnishings



## CHAPTER 2 – PROJECT CHARACTER

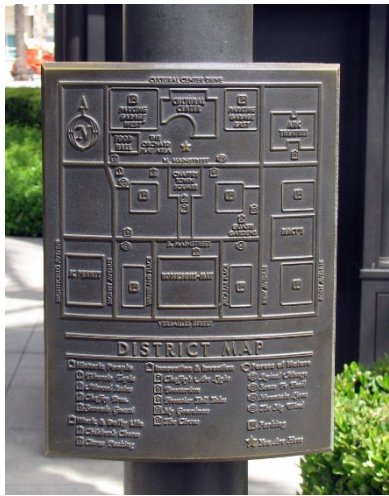
### 2.2.9 Thematic Features

Thematic elements incorporated into various design features have a significant impact on establishing a sense of place and identity for a project.

- Project logo may be incorporated into street furnishings, walkways, and signage.
- Artwork/mural on walls within the Downtown District is allowed. Utility boxes may be wrapped with art to provide visual interest on utilitarian infrastructure and may be permitted throughout the entire Master Plan area.
- Material selection and special paving patterns for public spaces shall continue the project theme.
- Project themes are incorporated into building design to reinforce project identity.



2.2.9 Thematic Features



### 2.2.10 Signage

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Signage plays a significant role in the visual quality of a community. Signs announce one's arrival at a distinct location, direct the flow of traffic, and provide information to the community through a variety of sign types, which are coordinated around a common theme.

#### **General Signage Guidelines**

- Signs shall be limited to a maximum of three (3) colors unless the use of corporate color schemes or logos dictates the use of more than three (3) colors. There should be a significant contrast between lettering colors and background colors for legibility.
- Signs for the Downtown District shall be enhanced, including halo-lit, reverse halo-lit, externally illuminated, non-illuminated, or other acceptable "high-quality" design acceptable to the City and approved through a comprehensive sign program.
- Sign conduits, transformers, junction boxes, etc. must be concealed from view.
- No sign shall be placed in such a manner that visibility of signs on an adjacent property is obscured.
- Signs should not extend above the eave line or parapet of the buildings on which they are located, except where such signs form an integral part of the building.
- Select sign colors and materials that contribute to legibility and design integrity.
- The sign copy shall be appropriately sized for the sign structure or wall. Signs should not be too large to overwhelm the elevation, nor should they be too small to be illegible. Sign shall not be more than 80 percent of the width of the unit frontage to which is attached.
- The sign structure shall be consistent with the architectural style of the building that it is placed on or close to.
- Signage may move or rotate, but the mechanism for moving or rotating shall not be visible.
- The use of propellers, flags, or noise-creating devices as part of a permanent sign shall not be allowed.
- The use of light-reflecting materials, messages appearing for less than 30 seconds, or flashing/moving lights is prohibited.

#### **Major and Minor Tenant Identification**

The purpose of these signs is to identify major and minor tenants within the Master Plan area. There are typically three (3) different types of signs utilized for tenant identification:

- Monument sigs.



- Walls signs.
- Projecting signs.

### *Monument Sign Guidelines*

- Use a consistent color scheme and design on all free-standing signs within the Downtown District.
- Signs shall be constructed of permanent, durable materials.
- Monument signs should be designed with the width of the base of the sign equal to or more than the width of the sign face.
- Plastic is prohibited except for use for the sign copy. Exterior grade acrylic (e.g. plexiglass) is acceptable.

### *Wall and Projecting Sign Guidelines*

- Locate signs as close to the customer entrance as possible.
- Raceways and sign supports shall not be visible.
- Internally illuminated box signs and banners used as permanent signs are prohibited.
- Projecting signs shall be placed perpendicular to the building wall and should not extend above building eave of a sloped roof or highest point on a flat roof.
- Projecting signs shall be attached to the building fascia or canopy with an attractive and decorative support.
- Exterior signs shall be constructed of permanent and durable materials.
- Creative signage designs and techniques are encouraged.

## **Changeable Signage**

The purpose of changeable signage is to create excitement and provide a visually interesting commercial area. Two (2) styles of this signage used in within the Downtown District to achieve this goal are “pageantry” and “marquee signs.”

### *Pageantry*

Pageantry includes flags, pole-mounted banners, kiosks, canopies, lights, directories, ground-mounted graphics, wrapped utility boxes, or other similar, temporary or permanent (but changeable) elements. The intent is to allow regular changes to the pageantry elements in terms of color, design, and other visual content so the pageantry signage can always look current. The intent of pageantry is to help advertise for special events such as fairs, public gatherings, concerts in the park, farmer's markets, etc. and to allow for a variety of different methods to advertise community events within the plan area.

Guidelines for pageantry include:

## CHAPTER 2 – PROJECT CHARACTER

- Pageantry may be located in any portion of the Downtown District. Pageantry may be placed on street lights and over the public rights-of-way, provided applicable permits have been obtained from Public Works.
- Air-inflated signs, moving signs, paper, cardboard, Styrofoam, stickers, and decals are not acceptable forms of pageantry (directories and kiosks excepted).
- Pageantry shall not include flashing, flickering, rotating, or moving lights.
- Temporary promotional advertising (banners) is not considered to be pageantry.
- Kiosks and directories should provide vertical breaks in the sign structure.
- Individual panels shall be recessed, framed, or treated to avoid a flat appearance of the sign face.

### *Marquee Signs*

Marquee signs are typically used to provide information about current showings or events for theaters and live entertainment uses. Guidelines for marquee signs include:

- Marquee signs may project or be integrated into the building to promote enhanced articulation.
- Plain, rectangular marquee signs without any articulation are discouraged.
- Marquee signs may be manual or electronic.
- Marquee signs may include advertisements.

### *Directional Signage*

The purpose of directional signage is to direct the flow of vehicular and pedestrian traffic within the Mixed-Use District.

### **Directional and Wayfinding Signs**

Directional and wayfinding signs are typically horizontal signs with tenant names and directional arrows. Guidelines for directional/wayfinding signs include:

- Directional and information signs shall be attractive, clear, and consistent in theme, location, and design.
- Place directional signs at strategic locations throughout the Downtown district, providing directions to key destinations and facilities such as parking facilities for automobiles and bicycles, transit stops, and walking and bicycling routes to nearby parks, plazas, neighborhoods, shopping, civic and other destinations.
- The project name may be located on the sign in a smaller, more understated manner to not detract from the wayfinding.
- Directional signs with exposed Unistrut supports shall be avoided.
- The placement of directional signs shall not limit sight lines.

- Wayfinding signs may be co-located with other streetscape furniture in the Downtown district, such as light standards and transit shelters, where possible, to enhance visibility and reduce visual clutter in the public realm.
- Provide consistency between wayfinding/information signs and street furniture throughout the Downtown district. This can include customized poles and mounts for regulatory signs and lighting fixtures, and an area logo, font, and color scheme.
- Elements such as pole banners or decorative paving elements can serve as public art, branding, and wayfinding.

### **Temporary Signage**

The purpose of temporary signage is to inform the public of a special event of limited duration, such as a grand opening. The duration and requirements for Temporary Signs shall adhere to the provisions within Section 5.7 of the EMC. The guidelines below apply to temporary signage:

- Temporary signage should not be affixed onto the roof of a building, a window or landscape area.
- Temporary signage material should consist of vinyl, nylon, canvas, or cloth.
- Temporary signage should be well maintained.

CHAPTER 2 – PROJECT CHARACTER





# 3 LAND USE PROGRAM

## 3.1. INTRODUCTION

On December 13, 2017, the City of Eastvale City Council adopted a General Plan Amendment to change the land use designation for the Leal Property from Business Park, High Density Residential, and Medium Density Residential to “Leal Property” or as shown on the General Plan Land Use Map, the “Leal Policy Area.” As part of this General Plan Amendment, the City Council adopted Policy LU-8.1, which is a land use table that specifies permitted land uses and development intensities. This chapter further describes the land use program for the Leal Master Plan and its consistency with General Plan Policy LU-8.1. The land use program establishes the types and intensity of development allowed within the Leal Master Plan. A land use map specifying locations for these uses is provided in Figure 3.1, Land Use Plan. Access roads showing in the Land Use Plan are described in Section 2.2.2, Circulation Plan.

Concurrent with the City Council’s adoption of a General Plan Amendment in 2017 for the Leal Property, the City Council certified an Environmental Impact Report (EIR) (State Clearinghouse No. 2015031028). The adoption of this Master Plan Amendment was accompanied by an Addendum to the Leal Master Plan EIR, which provides further detailed environmental review of the land use program. The environmental analysis presented in the Addendum to the Leal Master Plan EIR determined that to avoid new or more severe significant impacts, the maximum development intensity on the Leal Property is 2,500 residential units and 595,000 square feet of general commercial, office, and civic center uses. Since that land use limitation has been established by the environmental analysis, this Master Plan Amendment incorporates that limitation as the maximum permitted land use intensities.

# CHAPTER 3 – LAND USE PROGRAM

Figure 3.1: Land Use Plan



3.2. LAND USE TYPES AND DEVELOPMENT POTENTIALS

The City of Eastvale General Plan Policy LU-8.1 references a land use table that has been summarized as follows:

Table 3-1: General Plan Land Use Table

Land Use Type	Minimum/Maximum Permitted	Details
Lifestyle Center	325,000 SF to 1,300,000 SF	Standard and mixed-use retail
General Commercial	Up to 225,000 SF	"Big Box" Retail
Commercial Office	Up to 920,000 SF No Minimum	
Hotel	Up to 450 rooms No Minimum	Permitted in Lifestyle and General Commercial
Civic Center	Not Specified	Permitted anywhere on Project
Residential Medium Density (14 – 21 du/ac)	No Minimum No Maximum	Single Family Attached, condominiums, townhomes,
Residential High Density (22 – 40 du/ac)	Minimum 500 du Maximum 660 du	Townhomes, condominiums, stacked flats, and apartments

This land use table was incorporated into the General Plan as a general guide to the development of the Leal Property, recognizing that further development planning and detail would occur subsequent to the General Plan Amendment. The Leal Master Plan Amendment provides the next stage in refinement of the development plan and thus refines the proposed land use mix of uses and intensities.

General Plan Policy LU-8.1 includes two residential land use categories, Medium-Density and High-Density. The two residential land use types include density ranges provided in dwelling units per acre and a general description of the types of residential products associated with each residential category.

The Leal Master Plan Amendment distinguishes between the two residential densities by location. The High-Density Residential is located within the Downtown area and consists of either vertical or horizontal mixed use, and primarily consisting of apartments<sup>1</sup>. Within the approximately 52-acre Downtown, residential uses could occur on approximately 21 acres<sup>2</sup>. The maximum of 660 dwelling units planned within the approximately 21 acres

<sup>1</sup> The Leal Master Plan does not regulate ownership of residential units, therefore, there are no limitations on the number of rental or owned units.

<sup>2</sup> The residential acreage within the downtown includes the aggregate of Planning Areas 2, 4, and 10.



## CHAPTER 3 – LAND USE PROGRAM

where residential is permitted represents a density of approximately 31.0 dwelling units per acre, consistent with the High-Density residential category within the General Plan. The remaining 1,840 dwelling units allowed on the project site would occur over approximately 87.54 acres<sup>3</sup>. This represents a density of approximately 21 dwelling units per acre, which is within the Medium-Density category.

As shown in Figure 3-1, the project site has been organized into different Planning Areas. The Planning Areas represent specific development areas that would be developed either with commercial, residential or mixed-use developments. Other planning areas have been designed for parks and open space and others for right-of-way. Table 3-2, Land Use Summary by Planning Area, shows detailed information for each planning area within the Leal Master Plan area, including land use category and acreages.

*Table 3-2: Land Use Summary by Planning Area*

Planning Area (PA)	Land Use Category	Approximate Area (AC)	Minimum Intensity DU/AC or SQFT/FAR	Maximum Intensity DU/AC or SQFT/FAR
2	Mixed Use <sup>4</sup>	12.6	660 DU <sup>5</sup> 102,575 sqft <sup>6</sup>	660 DUs <sup>7</sup> Max 40 du/ac No Max sqft
4	Mixed Use	6.5		
5	Commercial Core	4.6		
10	Mixed Use	4.5		
3	Commercial Core	9.8	None	None
1	Residential	7.3		

<sup>3</sup> The residential acreage within the Medium Density category includes the aggregate of Planning Areas 1, 6, 7, 8, 9, 11, 12, 13, K, and L. The two parks are included in this acreage calculation because they serve those residential planning areas.

<sup>4</sup> Subsurface detention and water quality features may be located in Planning Area 2 or Planning Area 1, or a combination of both.

<sup>5</sup> A minimum density of 660 dwelling units is required within the Mixed Use portion of the Downtown, which equals over approximately 21 acres. The dwelling units may be allocated evenly across each planning area or clustered in one or more planning area provided the net density of any individual project does not exceed 40 dwelling units per acre. Net density is calculated by the number of dwelling units applied to only the acreage of the development less any streets, roads, parks, trails, or common open space.

<sup>6</sup> A minimum FAR of 0.10 is applied to Planning Areas 2, 4, and 10, resulting in a minimum requirement of approximately 102,575 square feet. The minimum square footage requirement is approximate based on project site design and for purposes of calculating the minimum square footage per this section including Table 3-1, square footage is calculated based on the gross size of the building, including storage, stairwells, mechanical rooms, etc. The City may administratively reduce this minimum square footage requirement without the need for a Master Plan amendment if the City decides it would like additional commercial square footage under the 595,000 square foot cap on Lot 3 or if specific building design and/or site use warrants less square footage.

<sup>7</sup> A maximum of 660 dwelling units is permitted in the Downtown area for consistency with the General Plan, since General Plan density is calculated by the total number of units applied to the approximately 21 acres of Mixed Use residential area.

## CHAPTER 3 – LAND USE PROGRAM

Planning Area (PA)	Land Use Category	Approximate Area (AC)	Minimum Intensity DU/AC or SQFT/FAR	Maximum Intensity DU/AC or SQFT/FAR
6	Residential	5.6	20 du/ac <sup>8</sup>	1840 DUs Max 40 du/ac <sup>9</sup>
7	Residential	14.1		
8	Residential	3.9		
9	Residential	4.4		
11	Residential	16.6		
12	Residential	17.3		
13	Residential	13.2		
14	Public Facility	1.2	0.6	
A - D	Right-of-Way	9.4	N/A	
E - I	Internal Streets	13.5	N/A	
J-V	Parks and Trails	14.1	N/A	
<b>Total</b>		158.59		
Maximum Development Intensity <sup>10</sup>		2,500 DU	595,000	

### 3.2.1. Downtown (DT)

The Downtown District (DT) land use category accommodates a mix of residential uses, commercial and office uses such as retail and restaurants, general commercial and commercial office, civic center, and residential. The vision for a lifestyle center included in the City's General Plan occurs within the Downtown District. The DT category applies to approximately 52 gross acres within planning areas 2, 3, 4, 5 and 10 located to the northwest of the Limonite Avenue/Hammer Avenue intersection, in the southeast corner of the Master Plan area. The Master Plan provides for up to 595,000 square feet of commercial, office and civic uses, under the DT land use category. Approximately 21 acres within the DT area can accommodate residential uses. A minimum of 660 dwelling units is required. The

<sup>8</sup> Within the 87.54 acres of Residential Uses (Planning Areas 1, 6, 7, 8, 9, 11, 12, 13, K, and L), a minimum of 730 dwelling units shall be constructed at a minimum net density of 20 dwelling units per acre. The dwelling units may be allocated within one or more planning areas provided the net density of any individual project does not exceed 40 dwelling units per acre. Net density is calculated by the number of dwelling units applied to only the acreage of the development less any streets, roads, parks, trails, or common open space.

<sup>9</sup> A maximum of 1840 dwelling units is permitted in the Residential Uses area for consistency with the General Plan, since General Plan density is calculated by the total number of units applied to the 87.54 acres of Residential Uses area.

<sup>10</sup> Maximum development intensity was determined through the Leal Master Plan EIR and Leal Master Plan EIR Addendum.

## CHAPTER 3 – LAND USE PROGRAM

dwelling units may be allocated within one or more planning areas provided the net density of any individual project does not exceed 40 dwelling units per acre.

### 3.2.2. Residential Uses (RU)

The Residential Uses (RU) land use category applies to planning areas 1, 6, 7, 8, 9, 11, 12 and 13. The Master Plan envisions variation in product types, including both detached and attached residential housing types, within the residential category to promote diversity and dynamic neighborhoods. The appropriate residential product types are discussed in Chapter 4, Development Standards. Within the 87.54 acres of Residential Uses (Planning Areas 1, 6, 7, 8, 9, 11, 12, 13, K, and L), a minimum of 730 dwelling units shall be constructed at a minimum net density of 20 dwelling units per acre. The dwelling units may be allocated within one or more planning areas provided the net density of any individual project does not exceed 40 dwelling units per acre. Net density is calculated by the number of dwelling units applied to only the acreage of the development less any streets, roads, parks, trails, or common open space. A maximum of 1,840 dwelling units<sup>11</sup> is permitted in the Residential Uses area for consistency with the General Plan, since General Plan density is calculated by the total number of units over the 87.54 acres of Residential Uses area.

### 3.2.3. Public Facilities (PF)

The Public Facility (PF) land use category applies to a 1.2-acre area within planning area 14 located at northwest corner of the Master Plan area. The PF land use designation provides for the development of a fire station.

### 3.2.4. Parks and Open Space (P/OS)

The Master Plan also provides for compatible recreational uses serving the needs of the residents, such as paseo, parks, recreation facilities and open space, as shown in Figure 3.2, Open Space/Parks Plan, which totals approximately 14.12 acres.

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<sup>11</sup> The maximum number of dwelling units of 2,500 was determined by the Addendum to the Master Plan EIR to avoid new or more severe significant impacts. Assuming 660 units are constructed in the DT area, the remaining 1,840 units may be constructed in the RU area.

CHAPTER 3 – LAND USE PROGRAM

Figure 3.2: Open Space/Parks



Illustrative purpose only, final design may vary.

## CHAPTER 3 – LAND USE PROGRAM

### 3.3. PERMITTED USES

#### 3.3.1. Permitted Uses by Land Use Category

Permitted uses within the Leal Master Plan area are identified on Table 3-3, Permitted Uses. Other use or activity not listed in Table 3-3 may be permitted within the Master Plan area if it is compatible with the intent of the Master Plan and is similar to a permitted use, subject to approval by the Community Development Director or his/her designee.

*Table 3-3: Permitted Uses*

Permitted (P): Permitted by right  
 Conditional (C): Permitted upon issuance of a Conditional Use Permit  
 Not Permitted (blank): Not permitted  
 Temporary Use (T): Permitted short-term activities

LAND USE	RU	DT	PF	P/OS
Agricultural Workers Housing				
Airports				
Ambulance Services				
Animal Hospitals				
Animal Training				
Apiaries				
Aquaculture				
Art Gallery, Library, Reading Room, Museum		P		
Auction Houses				
Automobile Parts and Supply Stores				
Automobile Service and Repair				
Bail Bonds/Pawnshops				
Banks and Financial Institutions		P		
Barber and Beauty Shops		P		
Bars and Cocktail Lounges		C		
Blueprint and Duplicating Services				
Boat and other Marine Sales and Rental				
Boat Services				
Body and Fender Shops and Spray Painting				
Boutique Wine and Beer Stores (Type 20 ABC Licenses), per Section 3.3.2.5 of the Leal Master Plan		P		

## CHAPTER 3 – LAND USE PROGRAM

LAND USE	RU	DT	PF	P/OS
Breweries, Wine Blending Businesses, and Distilleries (with a tasting room), less than 1,000 square feet subject to Section 3.3.2.4 of the Leal Master Plan		P		
Breweries, Wine Blending Businesses, and Distilleries (with a tasting room), greater than 1,000 square feet subject to Section 3.3.2.4 of the Leal Master Plan		C		
Breweries, Wine Blending Businesses, and Distilleries (without a tasting room), subject to Section 3.3.2.4 of the Leal Master Plan				
Building Materials Sales Yards				
Building Movers Storage Yard				
Bungalow Courts	P			
Car Washes				
Casinos, including Card Clubs/Rooms				
Cemeteries, Crematories and Mausoleums				
Check-Cashing and Payday Advance				
Cigar, Cigarette and Tobacco Sales				
Cigar, Hookah, and Cigarette Lounges				
Civic Center		P		
Clinics/Office, including Medical, Dental, Chiropractic		P		
Communications and Microwave Installations				
Congregate Care Facilities (7 or more persons)	C	C		
Day Care Centers				
Department Stores				
Discount Stores (i.e., 99 Cents Only Store, Dollar General, Dollar Tree, etc.)				
Drive-In or Drive-Through Operations or Facilities (any use)				
Dwelling, Multiple Family <sup>2</sup>	P	P <sup>1</sup>		
Dwelling, Second Unit <sup>2</sup>	P	P <sup>1</sup>		
Dwelling, Single Family <sup>2</sup>	P	P <sup>1</sup>		
Dwelling, Two Family <sup>2</sup>	P	P <sup>1</sup>		
Emergency Shelters				
Employment Agencies				
Equipment Rental Services				

## CHAPTER 3 – LAND USE PROGRAM

LAND USE	RU	DT	PF	P/OS
Equipment Sales and Storage				
Establishments with four or more electronic games or coin-operated amusements, or where 50 percent or more of the floor area is occupied by amusement devices, are considered an electronic game arcade as described above; three or fewer machines are not considered a land use separate from the primary use of the site.		C		
Family Day Care, Large	P	P		
Family Day Care, Small	P	P		
Farmers Markets, Carnivals, and other similar temporary events, subject to Eastvale Zoning Code Section 1.5.G, Temporary Events and Permits		T		
Feed and Grain Sales				
Fire and Police Stations		P	P	
Fortune-Telling, Spiritualism, or Similar Activity				
Fraternity and Sorority Houses				
Gasoline Service Stations, with or without the concurrent sale of beer and wine for off-premises consumption				
Golf Cart Sales and Service				
Golf Courses, not including the construction of buildings				
Grocery Stores/Market/Specialty Food Stores		P		
Group Homes (6 or fewer persons)	P	P		
Hardware and Home Improvement Centers				
Hazardous Waste Facilities				
Heliports				
Home Occupations	P	P		
Hospitals				
Hotels		C		
Indoor Amusement/Entertainment Facility: Establishments providing indoor amusement and entertainment services as primary uses for a fee or admission charge, including dance halls, ballrooms, electronic game arcades, dance classes, karate, yoga, etc.		C		

## CHAPTER 3 – LAND USE PROGRAM

LAND USE	RU	DT	PF	P/OS
Indoor Fitness and Sports Facility: Predominantly participant sports and health activities conducted entirely within an enclosed building. Typical uses include bowling alleys, billiard parlors, ice/roller skating rinks, indoor racquetball courts, indoor climbing facilities, soccer areas, athletic clubs, and health clubs.		C		
Laboratories, Film, Dental, Medical, Research, or Testing				
Liquid Petroleum Service Stations				
Liquor Stores (Type 21 ABC Licenses), subject to Section 3.3.2.5 of the Leal Master Plan				
Live-Work Units, subject to Section 3.4.2.2 of the Leal Master Plan		P		
Lumber Yards, including only incidental mill work				
Massage Parlors, Turkish Baths, or similar personal service establishments				
Medical Marijuana Dispensary				
Meteorological Towers				
Mini Storage				
Mobile Home Sales and Storage, Trailer Sales and Rental House Trailers				
Mobile Home Sales Lot				
Mortuaries				
Motels				
Nurseries and Garden Supply Stores				
Outdoor Commercial Recreation: Facility for various outdoor participant sports and types of recreation where a fee is charged for use (e.g., amphitheaters, amusement and theme parks, golf driving ranges, health and athletic clubs with outdoor facilities, miniature golf courses, skateboard parks, stadiums and coliseums, swim and tennis clubs, water slides, zoos)		C		P
Outdoor Kiosks and Vendor Carts		C		
Parcel Delivery Services				
Petroleum and Bulk Fuel Storage, above ground				
Planned Residential Developments	P	P		



## CHAPTER 3 – LAND USE PROGRAM

LAND USE	RU	DT	PF	P/OS
Printers or Publishers				
Private Recreation or Event Facilities				P
Professional Offices		P		
Public Infrastructure Facilities, including, but not limited to, drainage, water quality and flood control facilities and public communications facilities	P	P	P	P
Public Recreation, Nonprofit Community Centers and Clubhouses, Social Halls, Parks, Playgrounds, Community Recreation Facilities, Plazas, Trails and Paseos, Community Gardens, Open Space and other similar recreational uses				P
Public Utility Substations and Storage Yards				
Real Estate Offices, Temporary	P	P		
Recycling Collection Facilities				
Religious Institutions	C	C		
Restaurants and other eating establishments with alcoholic beverage consumption (Types 41 and 47 ABC Licenses), subject to Section 3.4.2.3 of the Leal Master Plan		C		
Restaurants and other eating establishments, including fast food restaurants and sandwich shops (excluding drive-through uses), without alcoholic beverage consumption		P		
Restricted Single-Family Residential Subdivisions	P	P		
Retail Sales and Services, <30,001 sq. ft.		P		
Retail Sales and Services, >30,000 sq. ft.				
Sale, Rental, Repair, or Demonstration of Motorcycles, Scooters, and Motorbikes				
Schools, Business and Professional, including Art, Barber, Beauty, Dance, Drama, Music and Swimming		P		
Schools, Private		C		
Senior Housing	P	P		
Sewage Treatment Plants				
Sex-oriented Businesses				
Stations, Bus and Taxi				
Swap Meets				

## CHAPTER 3 – LAND USE PROGRAM

LAND USE	RU	DT	PF	P/OS
Tattoo Parlors				
Theaters (Live or Cinematic), not including Drive-Ins		C		
Tire Recapping				
Tire Sales and Service, not including recapping				
Tourist Information Centers				
Trailer and Boat Storage				
Travel Trailers and Recreational Vehicle Sales and Service				
Truck and Trailer Sales and Rental				
Truck Service				
Wedding Chapels				
Wireless Communication Facilities, Private	Pursuant to Sec. 4.14 of the EMC			

Note 1: Residential uses, including live-work, are not allowed in the Planning Area 3 and 5 in Downtown (DT), except as outlined in the Development Agreement.

Note 2: Residential use types are further defined in Chapter 4.

### 3.3.2. Standards Related to Specific Uses

The following standards apply to specific uses within the Leal Master Plan. Uses not listed here will be subject to a determination by the Community Development Director.

#### 3.3.2.1. Outdoor Kiosks and Vendor Carts

- A. Signage: All signs on outdoor kiosks and vendor carts shall be regulated by Section 4.5, Signage, of this Master Plan.
- B. Minor Development Review: Prior to commencement of each outdoor kiosk and vendor cart on public property, the business owner shall obtain approval from the Community Development Director for the size, design, and aesthetic characteristics, to ensure the facility is consistent with the overall characteristic of the development.

#### 3.3.2.2. Live-Work Units

For live-work development in the Planning Areas 2, 4, and 10, the following commercial/residential activities, conducted wholly within enclosed buildings,

## CHAPTER 3 – LAND USE PROGRAM

shall be permitted, provided the commercial/office uses shall occur in conjunction with residential uses and are not standalone uses:

- A. Tailor/Seamstress/Clothing Designer – custom tailoring and sales of apparel in conjunction with tailoring activities, clothing and other sewing products made on the premises
- B. Artists and craft/sculpture products, sales galleries, and studios
- C. Internet-based commerce (no inventory, no pornography)
- D. Office - creative/tech-based offices and services
- E. Office - professional offices and services
- F. Photographer/photography studios
- G. Residential uses in conjunction with office, retail or other work-related uses as permitted herein for live-work development
- H. Spas and personal care to include esthetician/body sculpting with proof of training, nail salons and hair salons (for single patron use only and subject to Homeowners Association/Property Owners Association approval)
- I. Similar uses permitted by the determination of the Community Development Director.

The property development standards set forth below shall apply to all live-work units within the confines of the Leal Master Plan:

- A. Live-work units include the combination of residential living units and workspace of a building for self-employed residents. Ground floor residential living may be permitted in live-work units.
- B. Where live-work uses are operated, the workspace shall be limited to a maximum of 50 percent of the entire unit (minus porches and garages).
- C. The working area of a live-work unit shall be used exclusively for work activities and not for residential purposes.
- D. Storage of hazardous materials necessary for work activities in live-work occupancies may be stored in controlled areas per the current California Building Code used by the City of Eastvale.
- E. The residential portion of the live-work unit shall only be occupied by the individual and his/her household that has their professional occupation established in the same unit.
- F. Live-work units are single-tenant spaces that include both residential and commercial/office square footage in a single unit providing for a

## CHAPTER 3 – LAND USE PROGRAM

business to be conducted solely by the resident. In no instance shall the work portion of the live-work unit be sub-leased.

- G. Noise levels generated by live-work spaces shall conform to the requirements of the Eastvale Municipal Code for residential use.
- H. All signage and lighting shall comply with the requirements of the Leal Master Plan and the Eastvale Zoning Code and must be approved the City of Eastvale.

### 3.3.2.3. Alcohol Sales with a Bona-Fide Eating Establishment

The sale of beer, wine, or spirits is permitted as an accessory use for any bona-fide eating establishment under a "Type 41 License" or a "Type 47 License" of the California Department of the Alcoholic Beverage Control (ABC) Board.

In addition to the design guidelines and development standards contained in the Leal Master Plan, the following performance standards shall apply to accessory alcohol sales with a bone-fide eating establishment:

- A. Food shall be available for purchase at all times during restaurant operating hours.
- B. Alcohol sales shall not exceed 50 percent of gross receipts for the establishment.
- C. Any sale of spirits for consumption off-premises is strictly prohibited. The consumption of spirits shall be limited to the restaurant area as defined per applicable license from the ABC Board.
- D. Beer and wine may be purchased for off-premises consumption; however, the beer and wine sold for off-premises consumption may not be consumed on the premises that it was purchased on.

### 3.3.2.4. Breweries, Wine Blending Businesses, and Distilleries

Accessory beer, wine, or distilled spirit tastings is permitted within an alcoholic beverage manufacturing facility, provided the area devoted to tastings shall provide parking at the same rate as a restaurant or bar as described in Chapter 4, Table 4-8. The alcohol production area shall provide parking at the same rate as a manufacturing use as described in Chapter 4, Table 4-8. All such uses described within this section shall have an active, valid license from the ABC Board, as applicable.

In addition to the design guidelines and development standards contained in the Leal Master Plan, the following requirements shall apply to craft breweries, wine blending businesses, distilleries, and accessory tasting rooms:

- A. A brewery, wine blending, or distillery use with a tasting room equal to or less than 1,000 square feet shall be permitted by right. An accessory

## CHAPTER 3 – LAND USE PROGRAM

tasting room of more than 1,000 square feet shall be required to apply for a Conditional Use Permit.

- B. A brewery, wine blending or distillery use may not exceed production of 15,000 barrels per year.
- C. All production activities and on-site storage shall be located completely within the facility. Off-site storage is permitted, provided it meets all applicable provisions of the underlying zone. The display of alcoholic beverages shall be located within the manufacturing area and accessory tasting room facility.
- D. The brewery, wine blending, or distillery use and accessory tasting room use shall be allowed to operate and be open to the public during the following hours:
  - i. Manufacturing and Operation: 7:00 A.M. to 7:00 P.M. Monday through Saturday; and
  - ii. Accessory Tasting Room Open to the Public: 11:00 A.M. to midnight daily, 11:00 A.M. to 1:00 A.M. on Friday and Saturday.
- E. Service trucks used for the purposes of loading and unloading materials, ingredients, products, and equipment shall be restricted to the hours of 7:00 A.M. to 6:00 P.M. Monday through Friday and 9:00 A.M. to 6:00 P.M. on Saturday.
- F. The consumption, tasting and sales of alcoholic beverages shall be limited to only those products produced on site.
- G. Ancillary retail sales shall be limited to only those retail items directly associated with the on-site facility and accessory tasting room.
- H. The brewery, wine blending, or distillery use or accessory tasting room shall not charge an admission fee, cover charge or require a minimum purchase.
- I. A security plan, including a video surveillance system and exterior lighting plan, satisfactory to the Community Development Director, or his/her designee, shall be submitted to and approved prior to the issuing of a Certificate of Occupancy. The video surveillance system shall be installed to assist with monitoring the property on both the interior and exterior. A Digital Video Recorder (DVR) or similar video-recording device, capable of exporting images in TIFF, BMP, or JPG format shall be used. Recording shall be retained for no less than 30 days. Exterior lighting shall clearly illuminate the common areas surrounding the building including, but not limited to, the entrance and exit doors, as well as the business address.

## CHAPTER 3 – LAND USE PROGRAM

- J. No more than 10 percent of the window display area (including any transparent doors) shall be allowed to bear advertising, signs or any other obstructions. All advertising, signage or other obstructions shall be placed and maintained to ensure a clear and unobstructed view of the establishment's interior. Window signs displaying prices shall be prohibited. No advertising or signage shall be placed in the area above 3 feet or below 6 feet in height of all windows measured from grade.
- K. Tours of the brewery, wine blending, or distillery use and accessory tasting room use shall occur on regularly scheduled days and times. The operator shall ensure that tours do not negatively impact adjacent businesses or property owners.
- L. The use is not considered a nuisance as defined in the Eastvale Municipal Code;

### 3.3.2.5. Off-Premises Alcohol Sales

Boutique Wine and Beer Stores may permit the sale of wine and beer for off-premises consumptions under a "Type 20 License" of the ABC Board. General Liquor Stores may permit the sale of general alcohol sales, wine, and beer for off-premises consumptions under a "Type 21 License" of the ABC Board.

In addition to the design guidelines and development standards contained in the Leal Master Plan, the following performance standards shall apply to Boutique Wine and Beer Stores and General Liquor Stores:

- A. The use does not result in any adverse effects, jeopardize, or endanger the health, peace, or safety of persons residing, visiting, or working in the surrounding area; The exterior lighting and security measures shall comply with applicable requirements.
- B. The use is operated and maintained in a neat, quiet, and orderly condition and operated in a manner so as not to be detrimental to surrounding properties and occupants. This shall encompass the upkeep and maintenance of exterior facades of the building, landscaping, designated parking areas serving the use, fences, and the perimeter of the site, including all public sidewalks, alleys, and parkways;
- C. The use is not considered a nuisance as defined in the Eastvale Municipal Code;
- D. The exterior lighting and security measures shall comply with applicable requirements (including, but not limited to Sections 120.05.050, Outdoor Lighting; 120.05.080, Neighborhood Preservation Standards; 120.05.060, Off-Street Vehicle Parking as applicable)
- E. No more than 10 percent of the square footage of the windows and transparent doors of the premises shall be allowed to bear advertising, signs or any other obstructions including products, shelving, display items

## CHAPTER 3 – LAND USE PROGRAM

and/or coolers. All advertising, signage, product, shelving, display items and/or coolers shall be placed and maintained to ensure a clear and unobstructed view of the establishment's interior. Window signs displaying prices shall be prohibited. No advertising or signage shall be placed in the area above 3 feet or below six (6) feet in height of all windows measured from grade.

- F. A copy of these performance standards, additional City or ABC Board imposed operating conditions, and a 24-hour complaint telephone number shall be posted in a conspicuous and unobstructed place visible from the entrance of the establishment in public view.

# 4 DEVELOPMENT STANDARDS

This chapter contains the permitted uses and development standards for the Leal Master Plan. Standards not addressed in this chapter are subject to the City of Eastvale Municipal Code in effect at the time of approval of this Master Plan. Additionally, in order to be approved by the City, development will need to comply with the quality expectations and community features identified in Chapter 2 of this Master Plan.

## 4.1. DEVELOPMENT STANDARDS

### 4.1.1. Downtown Development Standards

The Downtown (DT) District is envisioned to be the focal point in the City. The intent is to develop an open-air marketplace for retail and specialty uses that are not currently present in Eastvale and in nearby communities (including Live/Work units).

The mix of uses may be horizontal (different uses within a Planning Area separated horizontally) or vertical (different uses within the same building, with commercial or office uses located on the ground floor and with office or residential uses located above). The residential component of this land use district is intended to provide for the development of multi-family residential dwellings in an urban atmosphere.

Minimum and maximum development intensities and densities are outlined in Chapter 3 of this Master Plan.

DT District includes planning areas 2, 3, 4, 5 and 10.

Table 4-1 establishes the development standards for the Downtown District. A conceptual plotting example illustrating the setback requirements is shown in Figure 4.1. Residential uses within the Downtown District are subject to the development standards provided in Table 4-1. Where Table 4-1 is silent on a development standard, the development standards presented later in this chapter for specific product types would apply for the project type proposed. If there is a conflict in development standards between Table 4-1 and the development standards for product types, Table 4-1 shall govern.

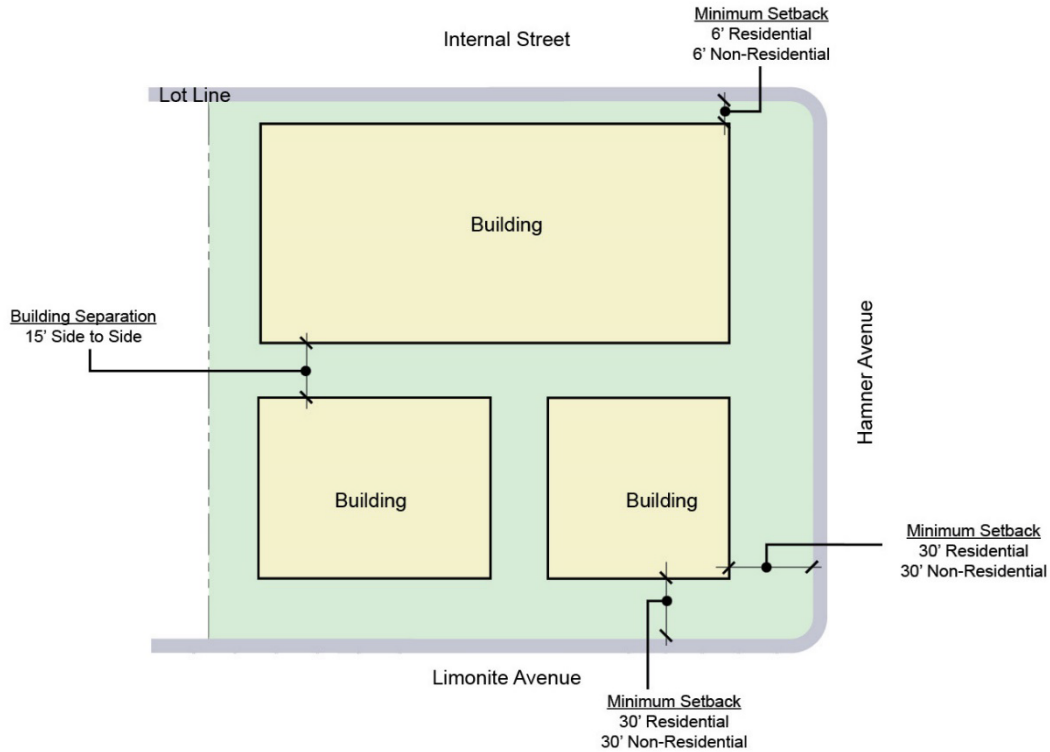


## CHAPTER 4 – DEVELOPMENT STANDARDS

Table 4-1: Downtown Development Standards

	RESIDENTIAL BUILDINGS	NON-RESIDENTIAL/ MIXED-USE BUILDINGS
Maximum Site Coverage	75%	N/A
Maximum Building Height	65' (4 stories)	
Minimum Building Setbacks From		
Hamner Avenue ROW	30'	30'
Limonite Avenue ROW	30'	30'
Lot Line Along Internal Street	6'	6'
Minimum Building Separation		
Residential - Front to Front (entries) - at open space	20'	N/A
Residential - Side to Side (no entries) - at open space	15'	N/A
Non-Residential/Mixed-Use – Side to Side	N/A	15'

Figure 4.1 Downtown Setback Diagram



#### 4.1.2. Residential Development Standards

The development standards and product types included herein are intended to establish the minimum design parameters. An appropriate mix of building types shall be incorporated into the residential land use and mixed-use districts to avoid monotonous neighborhoods.

Table 3-2 within Chapter 3 establishes permitted uses, including Dwelling – Multiple Family, Second Unit, Single Family, and Two-Family. Those permitted residential land use categories are further defined in this Chapter through the following description of residential product types permitted in the Master Plan area.

Development standards for residential uses within the Downtown District are presented above in Table 4-1. Development standards for residential uses within the Residential Uses District (Planning Areas 1, 6, 7, 8, 9, 11, 12 and 13) are presented below by housing type.

**Conventional Single Family Detached Homes** typically have street front orientation where primary entries and walks face the street or the side, and have private rear and side yards. Garages are in the front or side and face the street. Resident parking spaces are provided in garages and guest parking spaces are provided in driveways or on local streets.

## CHAPTER 4 – DEVELOPMENT STANDARDS

**Zero-Lot Line Homes** are designed to fit together along a common property line by providing one home with a deeply recessed garage. Reciprocal use easements are used to maximize the side yard areas. Zero-lot line homes typically have street front orientation where primary entries face the street, and have private rear and side yards. Garages with driveways face the street. Resident parking spaces are provided in garages and guest parking spaces are provided in driveways or on local streets.

**Rear Loaded Homes** have street-facing primary entries and are designed to take garage access from a shared access drive behind the homes. Private yard space is provided in a side yard, a courtyard behind the front portion of the house or behind the house between a detached garage and the home. Resident parking spaces are provided in garages and guest parking spaces are provided in driveways (18' minimum in length where provided), on the street or in a common parking area. Reciprocal use easements may be used to maximize side yard areas.

**Detached Cluster Homes** are single-family detached dwellings oriented on a shared access drive. Each cluster module typically consists of 4 to 10 dwelling units. Resident parking spaces are provided in garages and guest parking spaces are provided on the street or in a common parking area. Reciprocal use easements may be used to maximize side yard areas.

**Row Townhomes** are single-family attached homes with primary entries facing street or common open space. The units have private outdoor living space. Automobile access is via an alley or shared access drive. Resident parking spaces are provided in garages, and guest parking spaces are provided on public or private local streets or in designated parking areas.

**Attached Motorcourt Homes** are buildings mixed with townhomes and flats. The entries are from the street or common open space. Automobile access is via an alley or shared access drive. Resident parking spaces are provided in garages, and guest parking spaces are provided on public or private local streets or in designated parking areas.

**Apartments/Flats** are buildings with either walk-up units or flats in multiple story configurations. The entries can either be external from the street or common open space, or internal and elevator served. Resident parking spaces are provided either in garages, surface parking, or in multiple story parking structures. The units tend to be for rent as opposed to for sale.

Detailed design standards per product types are presented below and shown in Tables 4-2 to 4-7.

4.1.2.1. Conventional SFD Residential

The development standards provided in Table 4-2 have been established to encourage forward-facing living space. A conceptual plotting example illustrating the setback requirements is shown in Figure 4.3. These standards allow for the placement of entries, windows, front porches and living spaces closer to the street to provide more active and visually interesting streetscape.

Table 4-2: Conventional SFD Residential Development Standards

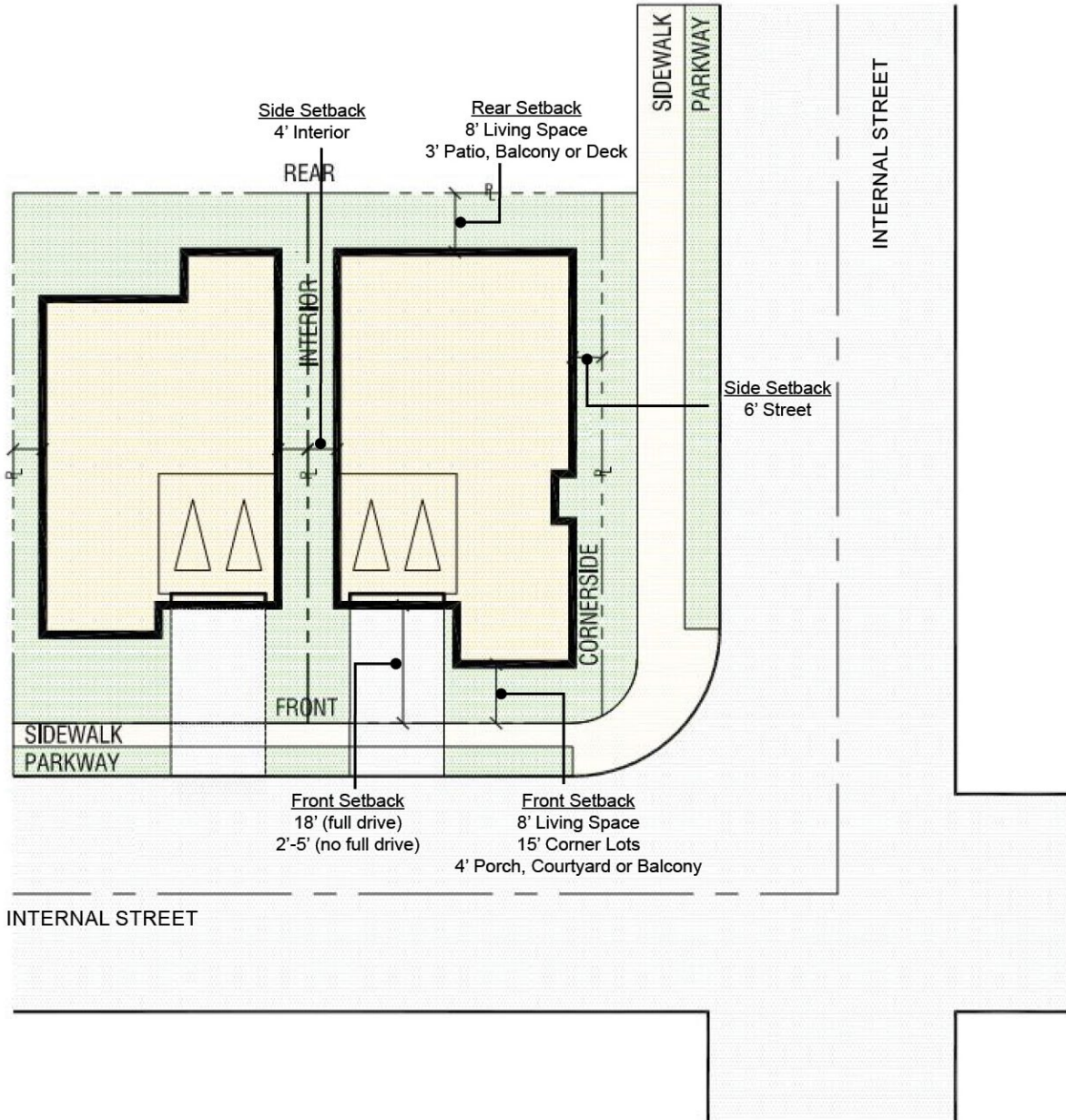
	Conventional SFD Homes
Minimum Lot Size	2,500 sq. ft.
Minimum Lot Width <sup>1</sup>	40'
Maximum Building Coverage	70%
Maximum Building Height	50' (3 stories)
Minimum Front Setback (from Property Line)	
Living Space	8' (15' at the corner lots)
Porch, Courtyard or Balcony	4'
Front Entry Garage	18' (full driveway)/ 2'-5' (no full driveway)
Minimum Side Setback (from Property Line)	
Interior Side	4'
Internal Street Right-of-Way Side	6'
Minimum Rear Setback (from Property Line)	
Living Space	10'
Patio Cover, Balcony or Deck	3'

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<sup>1</sup> The minimum lot width for knuckle and cul-de-sac lots shall be the average of the widths measured at the front and rear edges of the lot

**CHAPTER 4 – DEVELOPMENT STANDARDS**

*Figure 4.3 Conventional SFD Residential Setback Diagram*



4.1.2.2. Zero-Lot Line and Rear Loaded SFD Residential

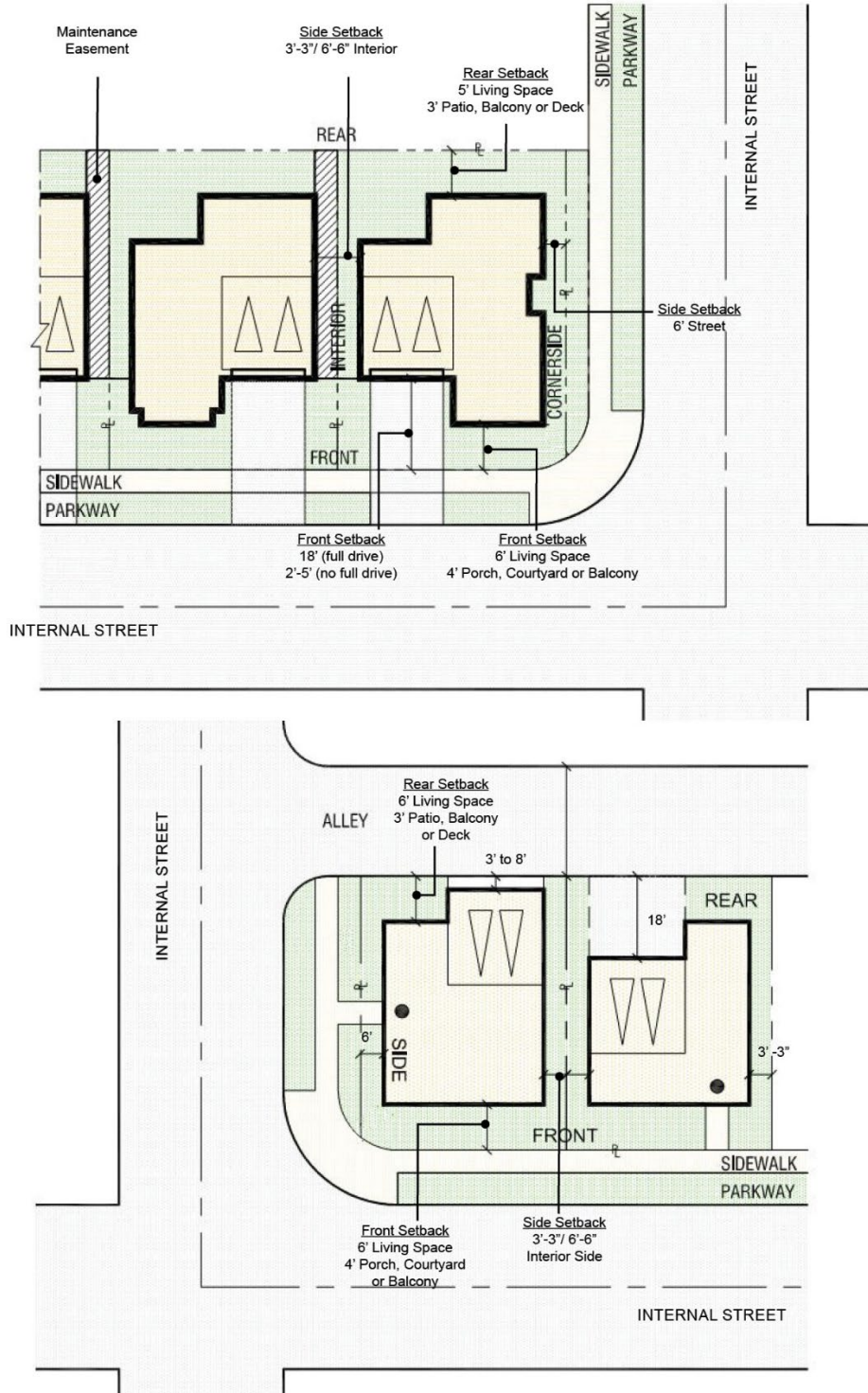
Table 4-3 establishes the development standards for front loaded zero-lot line and rear loaded SFD residential development. A conceptual plotting example illustrating the setback requirements is shown in Figure 4.4. Note: Zero-Lot Line Homes may be front or rear loaded. In the event that a rear-loaded Zero-Lot Line Home is proposed, the Rear-Loaded Homes standards shall apply (with a maintenance easement for the side yard).

Table 4-3: Zero-Lot & Rear Loaded SFD Residential Development Standards

	Zero-Lot Line Homes	Rear Loaded Homes
Minimum Lot Size	2,500 sq. ft.	2,000 sq. ft.
Maximum Building Height	50' (3 stories)	50' (3 stories)
Maximum Building Coverage	70%	70%
Minimum Front Setback (from Property Line)		
Living Space	6'	6'
Porch, Courtyard or Balcony	4'	4'
Front Entry Garage	18' (full driveway/2' - 5')	N/A
Minimum Side Setback (from Property Line)		
Interior Side (one side/between buildings)	3'/6'	3'/6'
Internal Street Right-of-Way Side	6'	6'
Minimum Rear Setback (from Property Line)		
Living Space	5'	5'
Patio Cover, Balcony or Deck	3'	3'
Rear Entry Garage Setback (from Access Drive)	N/A	3' to 8' or 18' min.

# CHAPTER 4 – DEVELOPMENT STANDARDS

Figure 4.4 Front Loaded Zero-Lot & Rear Loaded SFD Residential Setback Diagrams



4.1.2.3. Detached Cluster Residential Development

Table 4-4 establishes the development standards for detached cluster residential development. A conceptual plotting example illustrating the setback requirements is shown in Figure 4.5.

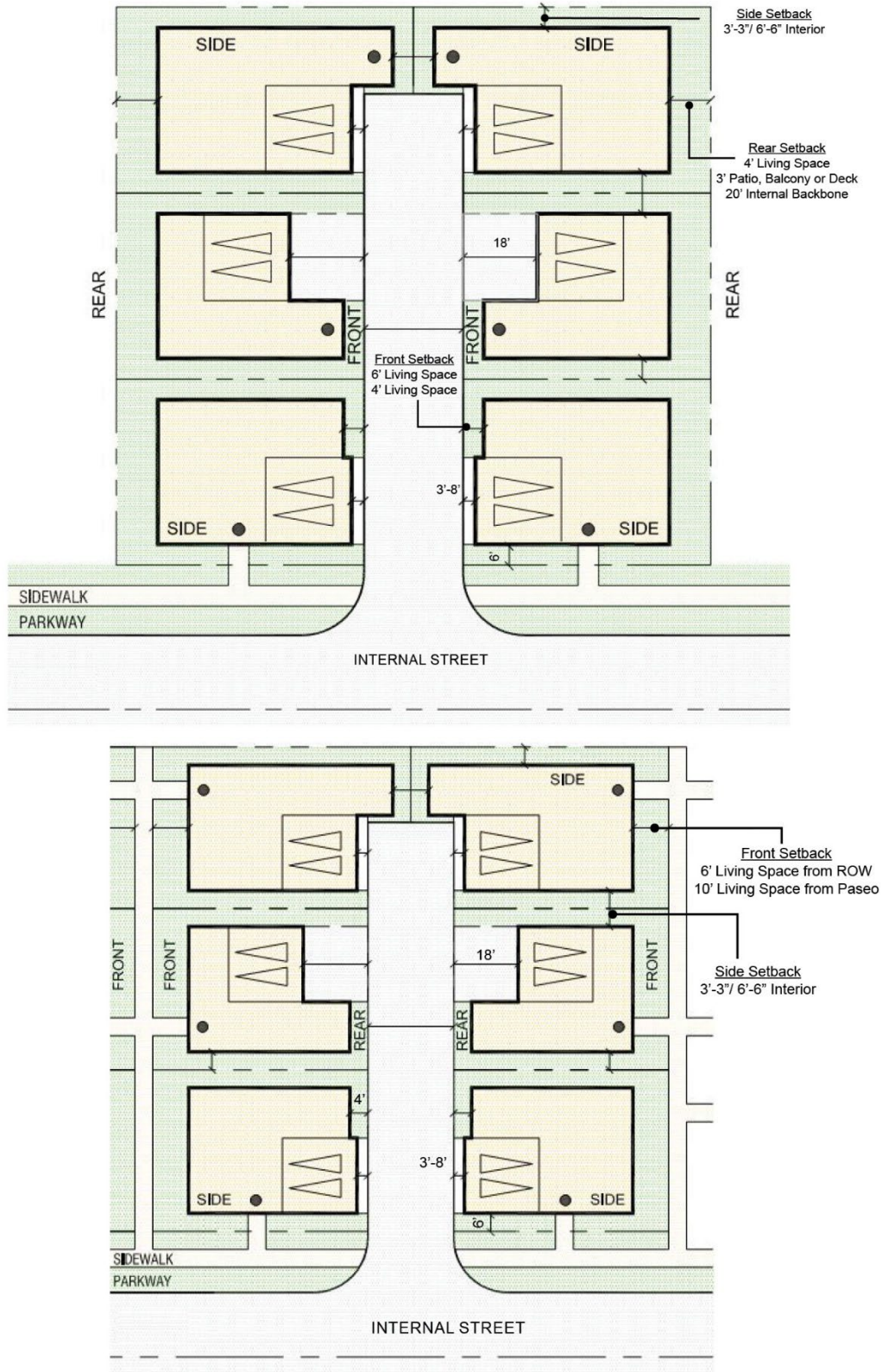
*Table 4-4: Detached Cluster Home Development Standards*

	<b>Front-Loaded Cluster Homes</b>	<b>Rear-Loaded Cluster Homes</b>
Minimum Lot Size	1,500 sq. ft. (or Condo Map)	1,500 sq. ft. (or Condo Map)
Maximum Building Height	50' (3 stories)	50' (3 stories)
Maximum Building Coverage	70%	70%
Minimum Front Setback		
Living Space from Internal Street Right-of-Way	6'	6'
Living Space from Access Drive	4'	N/A
Living Space from Paseo Walkway	N/A	10'
Minimum Side Setback		
Interior Side (one side/between buildings)	3'-3"/6'-6"	3'-3"/6'-6"
Internal Street Side (from internal street right-of-way)	6'	6'
Minimum Rear Setback (from Lot Line)		
Living Space	4'	4'
Patio Cover, Balcony or Deck	3'	N/A
Garage Face from Access Drive	3' to 8' or 18' min.	3' to 8' or 18' min.



**CHAPTER 4 – DEVELOPMENT STANDARDS**

*Figure 4.5 Detached Cluster Home Setback Diagram*



4.1.2.4. Row Townhomes

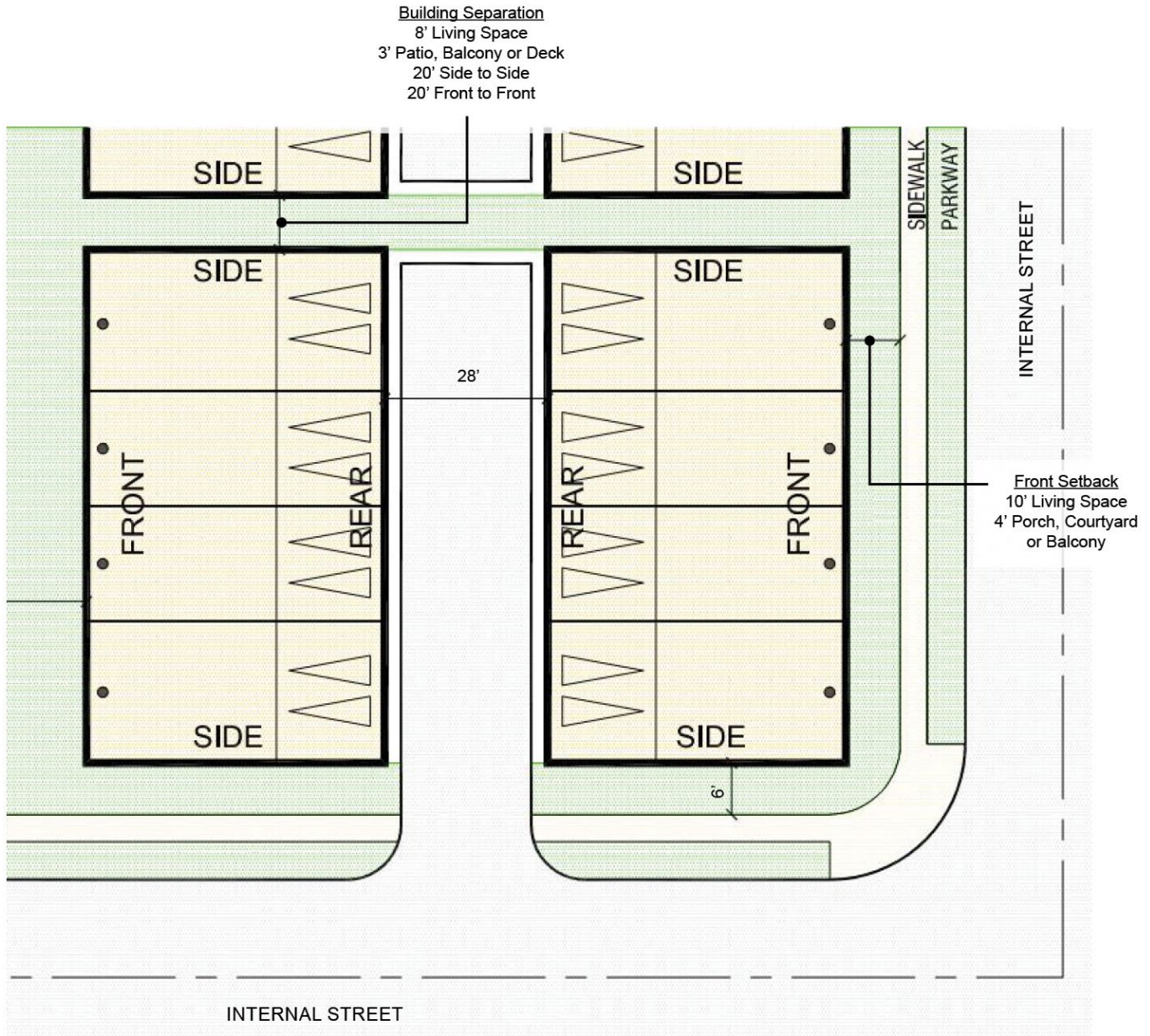
Table 4-5 establishes the development standards for row townhomes. A conceptual plotting example illustrating the setback requirements is shown in Figure 4.6.

*Table 4-5: Row Townhome Development Standards*

	<b>Row Townhomes</b>
Minimum Parcel Size	1 ac
Maximum Site Coverage	N/A
Maximum Building Height	50' (3 stories)
Minimum Front Setback (from Internal Street Right-of-Way)	
Front Living Space	10'
Porch, Courtyard or Balcony	4'
Minimum Side Setback (from Internal Street Right-of-Way)	
Street Side	6'
Minimum Building Separation	
Living Space	8'
Patio Cover, Balcony or Deck	3'
Front to Front (entries) - at open space	20'
Side to Side with entries	20'
Garage Door to Garage Door at Alley	28'

**CHAPTER 4 – DEVELOPMENT STANDARDS**

*Figure 4.6 Row Townhome Setback Diagram*



4.1.2.5. Attached Motorcourt Homes

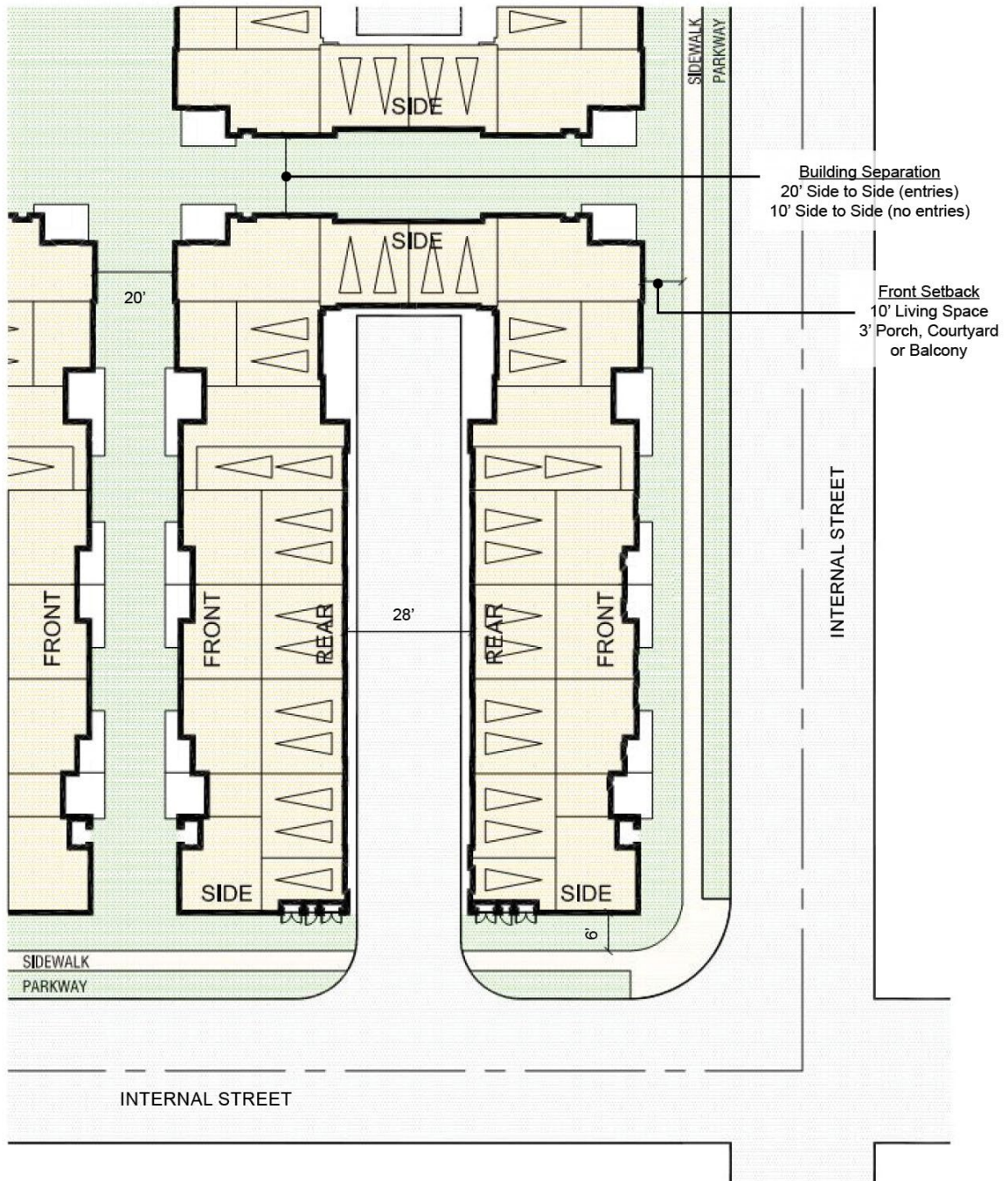
Table 4-6 establishes the development standards for attached motorcourt homes. A conceptual plotting example illustrating the setback requirements is shown in Figure 4.7.

*Table 4-6: Attached Motorcourt Home Development Standards*

	<b>Attached Motorcourt Homes</b>
Maximum Site Coverage	75%
Maximum Building Height	50' (3 stories)
Minimum Front Setback (from Internal Street Right-of-Way)	
Front Living Space	10'
Porch, Courtyard or Balcony	3'
Minimum Side Setback (from Internal Street Right-of-Way)	
Street Side	6'
Minimum Building Separation	
Front to Front (entries) - at open space	20'
Side to Side (entries)	20'
Side to Side (no entries)	10'
Garage Door to Garage Door at Alley	28'

CHAPTER 4 – DEVELOPMENT STANDARDS

Figure 4.7 Attached Motorcourt Home Setback Diagram



Apartments/Flats

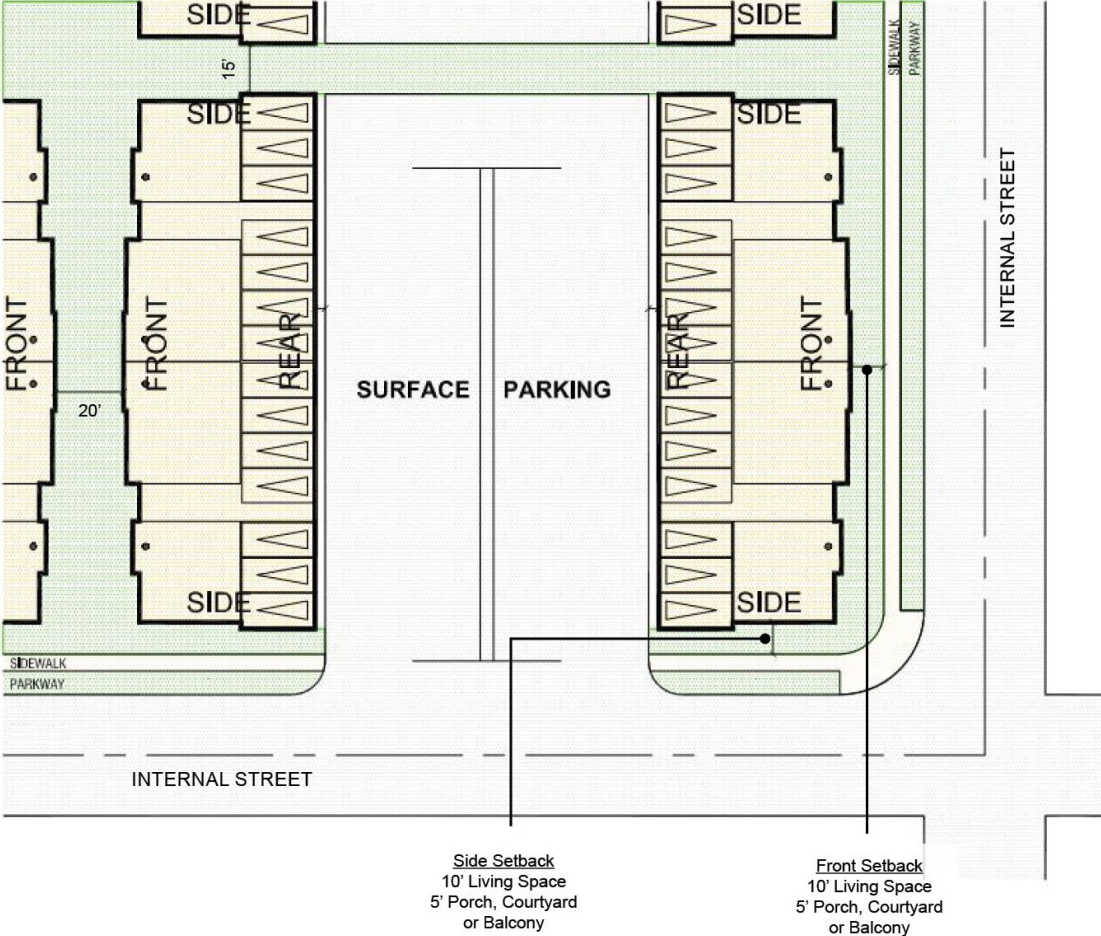
Table 4-7 establishes the development standards for residential apartments/flats. A conceptual plotting example illustrating the setback requirements is shown in Figure 4.8.

*Table 4-7: Apartments/Flats Development Standards*

	<b>Apartments/Flats</b>
Maximum Site Coverage	75%
Maximum Building Height	65' (4 stories)
Minimum Front Setback (from Internal Street Right-of-Way)	
Front Living Space	10'
Porch, Courtyard or Balcony	3'
Minimum Side Setback (from Internal Street Right-of-Way)	
Living Space	10'
Porch, Courtyard or Balcony	5'
Minimum Building Separation	
Front to Front (entries) - at open space	20'
Side to Side (no entries) - at open space	15'

CHAPTER 4 – DEVELOPMENT STANDARDS

Figure 4.8 Apartments/Flats Setback Diagram



### 4.1.3. Public Facility Standards

PA 14 is a public-institutional planning area for a fire station located at the southeast corner of Scholar Avenue and 58<sup>th</sup> Street.

- Maximum Building Height: None.

### 4.1.4. Parks and Open Space Standards

The Parks and Open Space (P/OS) District includes Panning Areas J through V. Planning Areas J, K, and L are parks and Planning Areas M through V are trails and open space areas. Planning Area J (PA J) is a village green located between PA 5 and 3, which could be used for community events, such as concerts, movies, art fairs, farmers markets, etc. Planning Area L (PA L) is adjacent to PA 6 and 8 and planned for a community park. Planning Area K (PA K) is adjacent to PA 7 and 12 and is planned as a private recreation facility for the residents of the Leal Master Plan.

- Parking Area Setback from Internal Backbone Street Right-of-Way: 10'
- Building and Structure Setback from Internal Backbone Street Right-of-Way: 6'
- Maximum Building Height: 40' (2 stories); 15' for accessory structure

### 4.1.5. Allowable Projections and Encroachments

An encroachment is a permitted allowance into a ground-floor or upper-level setback. A projection is an element that is allowed to project above the height limit. In all cases, all encroachments and projections shall comply with the California Building Code (CBC), as well as other applicable codes and regulations such as the American Disability Act. The permitted encroachments and projections are discussed below.

- A. Detached accessory buildings, including garages, or parking spaces required in the absence of garages, may occupy not more than 25 percent of a required rear or interior side yard, provided such building is not more than 15 feet in height and the wall of such building or parking space is located not less than 6 feet from the nearest wall of a main building on the same lot or a contiguous lot.
- B. A breezeway connecting a main building to another building may be permitted. Such breezeway shall remain open on one side and shall not be considered part of a main building.
- C. A covered patio, attached or unattached, which is enclosed on not more than 3 sides may encroach into any setback provided the distance between the property line and the patio at the nearest point is not less than 6 feet.



## CHAPTER 4 – DEVELOPMENT STANDARDS

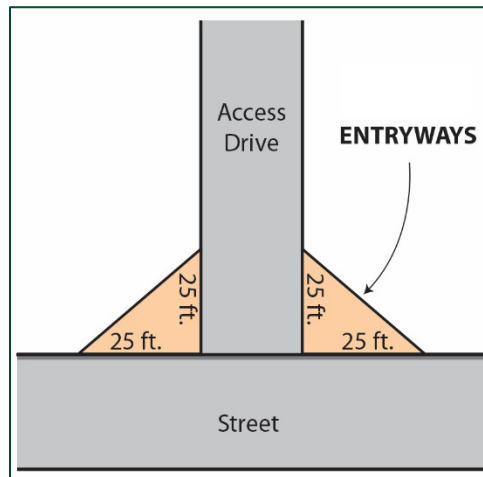
- D. Eaves, cornices, canopies, belt courses, sills, buttresses, bay windows, planter boxes, light fixtures, or other similar architectural features may encroach into any required setback, provided such extensions shall not be nearer than 2 feet to any property line. Where more than one building is located on the same lot or parcel, such features shall not be nearer than 2 feet to a line midway between the main walls of such buildings. Chimneys and fireplaces may encroach into any setback not more than 2 feet, provided such chimneys or fireplaces shall not be nearer than 3 feet to any property line. Where more than one building is located on the same lot or parcel, such chimneys or fireplaces shall not be nearer than 3 feet to a line midway between the main walls of such buildings.
- E. Open, unenclosed stairways or balconies not covered by roofs or canopies may encroach into any setback not more than 3 feet.
- F. Uncovered porches, platforms, or landings which do not extend above the level of the first floor of the building may encroach into any setback not more than 6 feet; provided, however, an open-work railing, glass or glass like material, no more than 3 ½ feet in height may be installed or constructed on such porch, platform, or landing.
- G. Open-work fences, hedges, guard railings, or other landscaping or architectural devices for safety protection around depressed ramps may encroach into any required setback provided such devices are not more than 3 ½ feet in height.
- H. Fences and walls, pursuant to Section 5.3 of the Eastvale Zoning Code.
- I. Signs may project and/or encroach into any required setback or public right-of-way, subject to applicable requirements in this Master Plan and the Eastvale Zoning Code.
- J. Landscape elements such as benches, fountains, and other decorative features may encroach into any setback, provided they do not obstruct any path of travel or intersection visibility requirements per the Eastvale Zoning Code.
- K. Mechanical equipment may encroach into any required setback area up to the property line, provided the equipment is screened by landscape or material (e.g. wall) to the maximum extent feasible and allowed by the applicable utility provider.
- L. Stairwells, elevator penthouses, mechanical equipment, and roof attachments such as flagpoles, towers, wireless masts, television antennas, and similar diminutive roof attachments, may project above the height limits set forth within the Leal Master Plan, provided such projections shall not exceed 20 feet above the prescribed height limit.
- M. Parapets, security railing, and other appurtenances on a flat roof may project above the height limits set forth within the Leal Master Plan,

provided such appurtenances shall not exceed forty-two (42) inches above the prescribed height limit.

## 4.2. COMMUNITY FEATURES STANDARDS

Community features such as entry monuments, parks, and trails are significant components in the Leal Master Plan. The development and design standards for entryway statements shall be consistent with Chapter 2, Project Character, of this Master Plan and the following:

- A. Entryways into the Master Plan shall be identified with special gateway treatments to announce arrival into the project area. The minimum sizes of each are shown in the figures below.



- B. Entryway feature treatments may include public art and/or special architectural elements such as sculptures, signage, or enhanced landscaping. All entry points shall be defined through the use of landscaping, trees, and/or architectural elements.
- C. Entryway statements shall satisfy the design guidelines provided in the Eastvale Design Standards and Guidelines.

## CHAPTER 4 – DEVELOPMENT STANDARDS

- D. Entryways should be designed to provide a clear sense of arrival and set the tone for the overall design quality in Eastvale.

4.3. PARKING

4.3.1. Parking Requirements

Vehicular and bicycle parking shall comply with the parking standards and requirements listed in Table 4-8, *Parking Requirements*, below.

Table 4-8: *Parking Requirements*

USE TYPE	PARKING REQUIREMENTS
<b>General Commercial/Retail Uses</b>	
General Retail including, but not limited to, neighborhood, community and regional shopping centers, including those with restaurants <sup>1</sup>	4 spaces/1,000 sq. ft. of net leasable floor area, except where reduced through a shared parking and/or TDM (see Section 4.3.4)
Professional Business Offices	3 spaces/1,000 sq. ft. of net leasable floor area
Breweries, Wine Blending Businesses and Distilleries	2 spaces/3 employees on the largest shift plus 1 parking space per 100 square feet of tasting area.
<b>Medical Uses</b>	
Medical and Dental Offices, Clinics, and Medical Business Offices	4 spaces/1,000 sq. ft. of net leasable floor area
<b>Civic Uses</b>	
Civic Center, Police Station, Fire Station and the like	3 spaces/1,000 sq. ft. of net floor area. Areas devoted to storage, hallways, restrooms, utility rooms and the like shall not be included within this calculation.
<b>Residential Uses</b>	
Single Family Detached Residential - Conventional SFD, Front-loaded Zero-lot Line SFD, Rear-loaded SFD, and Detached Cluster Homes	1 space/unit within a garage, 1 open space/unit within the lot
Attached Residential - Row Townhomes and Attached Motorcourt Homes	1-bedroom or studio unit: 1.25 spaces/unit 2-bedroom dwelling unit: 1.5 spaces/unit 3+ bedroom dwelling unit: 2.0 spaces/unit
Attached Residential – Apartments and Flats,	1-bedroom or studio unit: 1.25 spaces/unit 2-bedroom dwelling unit: 1.5 spaces/unit 3+ bedroom dwelling unit: 2.0 spaces/unit

<sup>1</sup> For designated outdoor dining areas, no parking spaces are required for the first 500 square feet. Any outdoor dining area that is more than 500 square feet in size shall provide 1 space per 100 square feet for the area beyond 500 square feet.

# CHAPTER 4 – DEVELOPMENT STANDARDS

## Residential Units in Mixed-Use Residential Buildings

Parking requirements for uses not indicated in Table 4-8, *Parking Requirements*, shall be reviewed and approved by the Community Development Director. Uses not specified shall be compared to a similar use or uses that could satisfy the minimum parking demand. When there is no similar use in Table 4-8, *Parking Requirements*, parking requirements found in Section 5.6 of the Eastvale Zoning Code shall apply or a parking study prepared by a firm acceptable to the Community Development Director shall be submitted that provides justification, and data supporting the proposed minimum parking requirement.

Parking may be shared within the Leal Area Master Plan, with some limitations. Figure 4.9, *Parking Distribution* identifies the location of where parking may be shared for residential and commercial uses within the Master Plan area.

Figure 4.9 *Parking Distribution*



#### 4.3.2. On-Street Parking

On-street parking spaces immediately adjacent to and on the same side of the street of a property along the internal backbone streets may be counted toward meeting the off-street parking requirement for that property. These spaces may be parallel or angled spaces. With respect to parallel parking spaces that are not marked, each 24-foot length may be counted as one space. No credit is allowed for street frontage where parking is prohibited, such as loading zones and red curb areas.

#### 4.3.3. Tandem Parking

Tandem parking is permitted for both residential and commercial uses within the Leal Master Plan area. Two tandem parking spaces shall have a minimum depth of 36 feet and shall meet the Development Standards for Off-Street Parking Facilities in Section 5.6 of the Eastvale Zoning Code.

#### 4.3.4. Alternative Programs for Parking

Shared parking and other alternative programs for parking may be permitted pursuant to Section 5.6.B of the Eastvale Zoning Code.

A Parking Management Plan/Transportation Demand Management is required for all non-residential uses that increase parking demand by ten (10) parking spaces. The Parking Management Plan/Transportation Demand Management Plan may reduce the overall parking requirements by up to 25 percent, depending on the findings of said plan. This plan shall include at least the following items:

- Information related to carpooling, van pools and staggered work hours.
- Projected effectiveness of carpool, vanpool, staggered work hours or similar transportation programs.
- Proximity to public transportation facilities serving a significant portion of employees and/or customers.
- Shared parking/overlapping parking demands.
- Specific parking management programs increasing parking efficiency, such as valet parking.
- Evidence that employees and/or customers utilize on transportation alternatives on a consistent basis.

## CHAPTER 4 – DEVELOPMENT STANDARDS

### 4.3.5. Parking Lot Design

The design standards for the parking area shall be consistent with the Eastvale Design Standards and Guidelines and with the following:

- A. Parking lots and structures shall be designed to be functionally and visually integrated and connected. Developments on separate parcels shall provide common access and parking areas.
- B. All parking areas shall be screened with landscaping and/or decorative walls from all residential developments and pedestrians along the public right-of-way.
- C. Parking lots should be visually separated into smaller units with landscaping or low walls however adjacent parking lots shall be connected for vehicle and pedestrian access.
- D. Different landscape design should be used to differentiate major access aisles from the rest of the parking area.
- E. Common parking areas shall be landscaped with shade trees to create an attractive pedestrian environment.

## 4.4. SIGNAGE

Except as identified in the Leal Master Plan, signage shall conform to the applicable provisions of Eastvale Zoning Code, Section 5.7, Signs.

**Downtown District:** A comprehensive Sign Program for the DT District identifying the location and design standards of thematic signage elements, including the sign type, size, material, and illumination, shall receive the Community Development Director's approval prior to the installation of signs. The standards shall include design standards for signs provided in the DT District and a Master Plan Area Map, consistent the signage guidelines included in Section 2.2.10 of the Leal Master Plan.

**Residential Use Districts:** Signage for the Residential Use (RU) Districts identifying the signage location and design standards, including the sign type, size, material, and illumination, shall receive Community Development Director's approval prior to the installation of signs.

In addition to the sign types listed in Section 2.2.10, Signage, of the Leal Master Plan, the sign standards for the DT and RU Districts shall also address standards for the following, as applicable:

- Grand opening/coming soon signs for commercial and residential development
- For sale/lease signs for commercial and residential development
- Model home signs
- Signs on kiosks

### 4.4.1. General Sign Standards

The following requirements shall apply to signs within the Leal Master Plan area:

- A. All signs and community monumentation in the DT District shall be included as part of an approved Sign Program.
- B. Projecting Signs Clearance. A minimum eight (8) feet vertical clearance is required from the bottom of a projecting sign, marquee, blade or awning to the sidewalk or grade immediately below the sign.
- C. Moving or Animated Signs. Unless otherwise permitted herein, signs that include, but are not limited to, rotating, flashing, swinging, blinking, strobing, or otherwise changing appearance are prohibited, except for signs that include time and/or temperature that are located at least 100 feet away from a residential land use District. In cases where illuminated signs display temperature and time, said sign shall receive City approval and shall include a mechanism to reduce the brightness of said sign when in proximity to a residential neighborhood. Signs, except for public service time and temperature signs, shall not be flashing, animated, or revolving in nature.



## CHAPTER 4 – DEVELOPMENT STANDARDS

- D. Sign Illumination. All signs may be internally or externally illuminated. All direct light rays from all signs shall be confined onto the site on which the sign is located and shall not shine directly upon neighboring property. All exposed raceways are prohibited. Temporary lighting, such as search or flood lights that are used on a permanent basis, are prohibited.
- E. Approval of Sign Modifications. The Planning Commission may grant approval of signs that do not comply with the regulations contained in the Leal Master Plan or in the approved Sign Program.

### 4.4.2. Changeable Signage

#### A. Pageantry

Pageantry is allowed in the DT District and includes flags, pole-mounted banners, community banners over the right-of-way, kiosks, canopies, lights, directories, ground-mounted graphics, and other similar temporary or permanent (but changeable) elements. The purpose of changeable pageantry signage is to create excitement and provide a visually interesting commercial area. The intent is to allow regular changes to the pageantry elements in terms of color, design, and other visual content so the pageantry signage can look current. Pageantry signage shall comply with the following:

- 1) No limit on the number of permitted pageantry signs. Maximum sign area per sign face shall be 24 square feet. Maximum height of the sign shall not exceed 20 feet. Minimum setbacks for the freestanding signs shall be the same as the setbacks established for the DT District. Banners over or within the public rights-of-way do not have any size limitation, however, applicable permits from Public Works shall be obtained.
- 2) Pageantry may consist of murals or other decorative graphics for products sold or offered on or off the premises. All pageantry with off-premises signage must be located within the commercial portion of the project and shall be oriented towards internal uses and shall not be readily visible from properties outside of the Master Plan area.
- 3) Pageantry may be located in any portion of the DT District, except that pageantry shall not be located at least 20 feet from the curved portion of the street corner to maintain visibility for motorists.
- 4) Air-inflated signs, moving signs, paper, cardboard, freestanding billboards, styrofoam, stickers, and decals are not acceptable forms of pageantry (directories and kiosks excepted).

- 5) Pageantry shall not include flashing, flickering, rotating, or moving lights.
- 6) Temporary promotional advertising (banners) is not considered to be pageantry.
- 7) Kiosks and directories should provide vertical breaks in the sign structure.
- 8) Individual panels shall be recessed, framed, or treated to avoid a flat appearance of the sign face.

### B. Marquee Signs

The height of manual letters located on a marquee shall be affixed flat to the surface of the sign and shall not have a vertical height of more than 2 feet and shall not extend vertically or horizontally beyond the marquee. An electronic marquee display is permitted, provided that the individual letters shall not have a vertical height of more than 2 feet.

### 4.4.3. Exempted Signs

The following signs and/or sign structures are exempt from any sign permit requirement as identified in Section 5.7 of the Eastvale Zoning Code; provided, however, that such signs shall comply with all other applicable requirements of the Leal Master Plan and Eastvale Zoning Code.

- A. Exempted signs identified in the Eastvale Zoning Code.
- B. Temporary contractor's, future development and building sale signs that comply with the provisions in the Eastvale Zoning Code.
- C. Public Notices and Signs. Public notices posted pursuant to law, signs erected by governmental agencies and public utilities and warning or information signs required by law for public health and safety.
- D. Copy or Message on Changeable Copy Signs. The changing of advertising copy or message on bulletin boards and pageantry, where the basic board or pageantry is permitted under the provisions of this Master Plan, may be changed digitally or manually.

## CHAPTER 4 – DEVELOPMENT STANDARDS

### 4.5. MASTER PLAN AREA MAPS

Large area maps should be placed at the information booths in the Downtown District. These maps could be combined with local area information/history, advertising, events calendars, etc.

### 4.6. LANDSCAPING

Landscaping within the Leal Master Plan area shall comply with Section 5.4, Landscaping, General Provisions, of the Eastvale Zoning Code.

# 5 DEVELOPMENT PROCESS

The goal of the Leal Master Plan is to encourage development of the desired development and level of quality (see Chapter 2, Project Character, and Chapter 3, Land Use Program), while allowing flexibility in the design and implementation of the project. To achieve this, a staged development process has been established which provides for the developer(s) flexibility while this document serves as a guide for the development of the project.

The intent of the staged development process is to allow prospective developers to respond to market demand by first creating a framework of development standards and design guidelines at the time of project conception instead of establishing strict requirements prior to any development being proposed for the Leal Master Plan. In the second phase, an amendment to the Master Plan will be conducted to establish development standards and enhanced guidelines, ensuring that overall design quality meets the City's goals for the project as stated in Chapter 2.

While the City intends to allow flexibility in the project design and layout through implementation of the staged development process, this Master Plan also establishes specific parameters for the design and quality of the project, which must be met by any future development.

Phasing requirements have also been established to ensure that a unifying theme for the Leal Master Plan and comprehensive project-wide plans are developed prior to any development taking place. These phasing requirements will ensure that the City's goal of a comprehensive, high-quality project may be updated.

This chapter establishes the process through which all proposed development is submitted, reviewed, and approved, including requirements for the staged development process and requirements for phasing of developments.

## 5.1. GENERAL PROVISIONS

The City of Eastvale shall administer the provisions of the Leal Master Plan in accordance with the City of Eastvale General Plan, the City of Eastvale Municipal Code, the Subdivision Map Act, and other applicable State and City regulations. The Master Plan development procedures, regulations, standards, and specifications shall supersede the relevant provisions of the City's Municipal Code, as they currently exist or may be amended in the future. Any development regulation and building requirement not addressed in this Master Plan shall be subject to the City's adopted codes and regulations.

### 5.1.1. Interpretation

In instances where any section, subsection, sentence, clause, phrase, portion or word contained within this Master Plan is undefined, unclear or vague, then the

## CHAPTER 5 – DEVELOPMENT PROCESS

Community Development Director, or his/her designee, shall make a determination as to its meaning and intent. The Community Development Director may elect to forward any item to the Planning Commission for final determination. Said determination shall be judged to be final.

### 5.1.2. Severability

If any section, subsection, sentence, clause, phrase, or portion of this Master Plan, or any future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Master Plan, or any future amendments or additions hereto. The City hereby declares that it would have adopted these requirements and each sentence, subsection, clause, phrase, or portion or any future amendments or additions thereto, irrespective of the fact that any one or more sections, subsections, clauses, phrases, portions or any future amendments or additions thereto may be declared invalid or unconstitutional.

## 5.2. STAGED DEVELOPMENT PROCESS SUMMARY

The staged development process has been established for all proposed developments in the Leal Master Plan. The process consists of the following stages:

- Stage 1, Initial Leal Master Plan
- Stage 2, Master Plan Amendment to Create Development Standards and Enhanced Guidelines
- Stage 3, Rough Grading Permit
- Stage 4, Development Plan Review
- Stage 5, Precise Grading and Building Permits

Table 5-1, Staged Development Process, illustrates these steps.

Table 5-1: Staged Development Process

<b>Stage 1: Initial Leal Master Plan (Adopted in 2017)</b>
<ul style="list-style-type: none"> <li>Identified Project Objectives and Project Character</li> </ul>
<ul style="list-style-type: none"> <li>Established Permitted and Conditionally Permitted Uses and Other Development Requirements</li> </ul>
<ul style="list-style-type: none"> <li>Outlined the Staged Development Review Process</li> </ul>
<ul style="list-style-type: none"> <li>Amended the General Plan and Zoning Code.</li> </ul>
<b>Stage 2: Master Plan Amendment to Create Development Standards and Enhance Guidelines (this document)</b>
<ul style="list-style-type: none"> <li>Refine land use and zoning designations within the Master Plan.</li> </ul>
<ul style="list-style-type: none"> <li>Establish project-wide Land Use Plan, Circulation Plan, and Infrastructure Plans.</li> </ul>
<ul style="list-style-type: none"> <li>Determine project-wide development standards, design guidelines and project theme.</li> </ul>
<b>Stage 3: Rough Grading Permit</b>
<ul style="list-style-type: none"> <li>Tentative Tract Map (A Map) will be reviewed and approved to allow to grade the site.</li> </ul>
<ul style="list-style-type: none"> <li>The site would be cleared and backbone infrastructure such as streets and utilities would be installed.</li> </ul>
<b>Stage 4: Development Plan Review</b>
<ul style="list-style-type: none"> <li>Submittal of detailed development plans. Development Plans will be reviewed per the Leal Master Plan and the Eastvale Municipal Code, as applicable.</li> </ul>
<ul style="list-style-type: none"> <li>Any required conditional use permits for specific uses will be reviewed and approved as provided in the Eastvale Municipal Code.</li> </ul>
<b>Stage 5: Precise Grading and Building Permits</b>
<ul style="list-style-type: none"> <li>Will be reviewed and issued based on the approved Development Plan.</li> </ul>
<ul style="list-style-type: none"> <li>May occur concurrently with Stage 4.</li> </ul>

## CHAPTER 5 – DEVELOPMENT PROCESS

### **Stage 1: Initial Leal Master Plan**

This first stage in the approval process was completed with the adoption of the Initial Leal Master Plan and the associated General Plan Amendment and Change of Zone. These approvals accomplished the following:

- Identified the project objectives and project character.
- Established permitted and conditionally permitted uses and other development requirements.
- Outlined the staged development review process.
- Created an expanded General Plan policy for the Leal Master Plan and amended the General Plan Land Use Map to show uses consistent with the new Leal Master Plan policy.
- Amended the Zoning Code to provide for the creation and adoption of Master Plans (including this Master Plan) and amended the Zoning Map to reflect the Leal Master Plan.

The Stage 1 process also included the certification of a Final Environmental Impact Report (FEIR), which provided an analysis of the impacts of this Master Plan.

### **Stage 2: Master Plan Amendment to Create Development Standards and Enhance Guidelines**

Stage 2 prepares project-wide development criteria and guidelines which are not included in the Initial Master Plan. The 2022 Amendment conducts this phase. The submittals required in Stage 2 will amend the initial Master Plan to:

- Refine land use and zoning designations within the Master Plan.
- Establish project-wide land use plan, circulation plan, and infrastructure plans.
- Determine project-wide development standards and design guidelines.
- Establish the project theme.
- Refine the permitted and conditionally permitted uses to better reflect anticipated, future development trends.

The submittal of the Stage 2 materials triggered additional environmental review in the form of an Addendum to the Leal Master Plan EIR, which concluded that no new or more severe impacts would occur as a result of the State 2 submittal. The Addendum to the Leal Master Plan EIR prepared for this stage established land use intensity limits within this Master Plan.

### **Stage 3: Rough Grading Permit**

In Stage 3, rough grading permit(s) will be reviewed and issued pursuant to an approved Tentative Tract Map and established grading permit processes in the

City of Eastvale. This phase will consist of clearing the site and installing backbone infrastructure.

**Stage 4: Development Review**

Stage 4 will consist of the submittal of specific development projects through the Development Review process established in the Leal Master Plan and in the Eastvale Zoning Code, as applicable. During this stage, any required Conditional Use Permits for specific uses will be reviewed and approved as provided in the Eastvale Zoning Code.

Table 5-2, Development Process Approvals, is intended to clarify the process of entitlement through the City of Eastvale for various applications and actions. Table 5-2 applies only to future developments being implemented within the Leal Master Plan area.

*Table 5-2: Development Process Approvals*

	Action Required By:		
	Community Development Director	Planning Commission	City Council
Development Plan Review and Conditional Use Permits		X	
Master Plan – Interpretations	X		
Master Plan – Minor Adjustments	X		
Master Plan – Amendments		X	X
Tentative Tract Map		X	



## CHAPTER 5 – DEVELOPMENT PROCESS

The following administrative provisions apply to the implementation of development applications (e.g., Development Plan Reviews) for future developments within the Master Plan area:

- A. No vertical development shall occur or building permits issued within the Master Plan area until the proposed development is reviewed by the City's Planning Division and found to be consistent with the adopted Master Plan. Criteria for review and approval of proposed development shall include, but not be limited to, the following:
  - i. Conformance with the land use program;
  - ii. Conformance with the specific development standards, goals, and policies of the Master Plan; and
- B. All Tentative Tract or Parcel Maps shall be consistent with this Master Plan.

### **Stage 5: Precise Grading and Building Permits**

Finally, grading and building permits will be reviewed and issued based on the approved development plans. This process may occur concurrently with Stage 3, pursuant to existing permit processes in the City of Eastvale.

### 5.3. STAGED DEVELOPMENT PROCESS SUBMITTAL REQUIREMENTS

The following sections describe the items that must be submitted at various points in the development process. Since Stages 1 and 2 were completed with the adoption of the Master Plan and subsequent amendment, no submittal requirements apply and are therefore not shown here.

#### 5.3.1. Stage 1: Initial Leal Master Plan

The Leal Master Plan is the implementing mechanism for the MP (Master Plan) zone district for the Leal property. It sets the vision for development of the project site, assigns a land use program, establishes development standards, and outlines the process by which the property will develop, and the Master Plan will be implemented. As noted above, there are no submittal requirements for Stage 1, which was completed with the adoption of the initial Master Plan.

#### 5.3.2. Stage 2: Master Plan Amendment to Create Development Standards and Enhance Guidelines

The Master Plan Amendment establishes the project-wide development plan components and development standards/enhanced guidelines. As noted above, there are no submittal requirements for Stage 2, which was completed with the adoption of the Master Plan Amendment. Future amendments or adjustments to the Master Plan are discussed in Section 5.4, Master Plan Adjustments and Amendments.

#### 5.3.3. Stage 3: Rough Grading Permits

Submittals of rough grading permits for development within the Leal Master Plan area shall be pursuant to the submittal requirements and procedures established by the City of Eastvale Community Development Department.

#### 5.3.4. Stage 4: Development Review

Each development within the Leal Master Plan must submit a development entitlement application to the City of Eastvale Planning Division for review per the Major or Minor Development Review provisions of the Eastvale Zoning Code (Section 2.1).

#### 5.3.5. Stage 5: Precise Grading and Building Permits

Submittals of precise grading and building permits for development within the Leal Master Plan area shall be pursuant to the submittal requirements and procedures established by the City of Eastvale Community Development Department.

## CHAPTER 5 – DEVELOPMENT PROCESS

### 5.4. MASTER PLAN ADJUSTMENTS AND AMENDMENTS

#### 5.4.1. Minor Adjustments to the Master Plan

Minor adjustments to the plans, guidelines, regulations, and standards contained in the adopted Master Plan be approved at the discretion of the Community Development Director, or his/her designee; provided, however, that such deviations are deemed to be in substantial conformance with this Master Plan and are not detrimental to the public health, safety, and welfare. Minor adjustments to the Master Plan must be consistent with the purpose and intent of the originally approved Master Plan. Any decisions made by the Community Development Director may be appealed to the Planning Commission. Decisions of the Planning Commission may be appealed to the City Council. Decisions by the City Council shall be deemed final.

All minor adjustments must comply with the following findings:

- A. The total number of dwelling units within the Leal Master Plan area shall not exceed 2,500 dwelling units.<sup>1</sup>
- B. The total gross leasable commercial area (office, retail, city hall, library, police station etc.) within the Leal Master Plan shall not exceed 595,000 square feet.<sup>1</sup>
- C. The public health, safety, and welfare shall not be jeopardized by the proposed adjustments.
- D. No potentially significant environmental impacts are expected to occur as a result of the proposed adjustments, unless if the significant impacts have already been analyzed in a previously environmental document.
- E. Substantial conformance to the design guidelines included in Chapter 2, Project Character.

The following modifications constitute “minor adjustments” to the approved Master Plan and may be approved without amending the Master Plan.

- A. Slight modifications to the Master Plan area boundaries, as shown in Figure 3.1, Land Use Plan, that respond to more accurate or recent data or actual on-site conditions.

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<sup>1</sup> As established by the Leal Master Plan EIR Addendum to avoid new or more severe significant impacts.

- B. Minor adjustments to a development standard or intensity limitation not exceeding 20%.
- C. Modifications to individual park sizes, provided a total of 14.06 acres is provided for parks or open space.
- D. Minor changes to the circulation concept to accommodate actual conditions on-site or modify ingress and egress locations, or to respond to new information that was not available at the time the Master Plan was approved.
- E. Minor changes to the design of the street cross sections, provided that the streets have adequate capacity to handle the anticipated volumes of traffic and the design changes are deemed acceptable by the City's Traffic Engineer.
- F. Modifications to the Master Plan that allow the Project master developer to move and adjust components of the plan; provided, however, that a plan is submitted to the City and reviewed and approved by the Community Development Director, or his/her designee, and the City Engineer. The plan shall depict the location of all land uses and the relationships of the uses to one another. In evaluating the plan, all of the following conditions must be met for the site plan to be approved:
  - i. A maximum of 2,500 dwelling units and 595,000 square feet of commercial gross leasable area (which does not include any civic or public facility uses) shall be allowed within the Master Plan area.<sup>2</sup>
  - ii. The land use modifications would not result in any new environmental impacts that were not previously assessed in the approved California Environmental Quality Act (CEQA) documentation for the Master Plan.
- G. Minor modifications to the architectural or landscape design guidelines included in Chapter 2. *Project Character*.
- H. Minor modifications to the water, sewer, and/or drainage plan(s).
- I. Any modifications to the Master Plan phasing.

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<sup>2</sup> As established by the Leal Master Plan EIR Addendum to avoid new or more severe significant impacts.

## CHAPTER 5 – DEVELOPMENT PROCESS

### 5.4.2. Master Plan Amendments

- A. The Project master developer, property owner, or designee shall have the authority to initiate an amendment to the adopted Master Plan at any time. No authorization by City staff, the Planning Commission, or the City Council shall be necessary to initiate a Master Plan Amendment for The Leal Master Plan area. However, the City shall be the approving authority of any requested amendments.
- B. Said amendment shall not require a concurrent General Plan Amendment unless it is determined by the City of Eastvale that the proposed amendment would substantively affect the General Plan goals, objectives, policies, or programs for the Leal Master Plan area.
- C. All Master Plan Amendments shall be subject to the requirements of CEQA and any applicable City of Eastvale environmental guidelines.
- D. The Planning Commission shall review at a noticed public hearing all proposed amendments to the adopted Master Plan. Upon the close of the required public hearing, the Planning Commission shall act by resolution to recommend to adopt, reject, or modify the proposed Master Plan Amendment and forward its recommendation and findings to the City Council for action.
- E. The City Council, at a noticed public hearing, shall review the Planning Commission's findings and recommendations. Upon the close of the required public hearing, the City Council shall act by resolution to adopt, reject, or modify the proposed Master Plan Amendment.
- F. Prior to approving or conditionally approving any Master Plan Amendment, the Planning Commission and City Council must make the following findings regarding the Amendment:
  - i. It is consistent with the goals and policies of the City of Eastvale General Plan;
  - ii. It is consistent with the vision, purpose and intent of the Master Plan;
  - iii. Results in development of desirable character that will be compatible with existing and proposed development in the surrounding neighborhoods; and
  - iv. Respects the aesthetic assets of the community consistent with economic realities.

# 6 IMPLEMENTATION PLAN

This chapter describes the implementation of this Master Plan, including the phasing of infrastructure and development. Information on the administration of this Master Plan can be found in Chapter 1.

## 6.1. PHASING

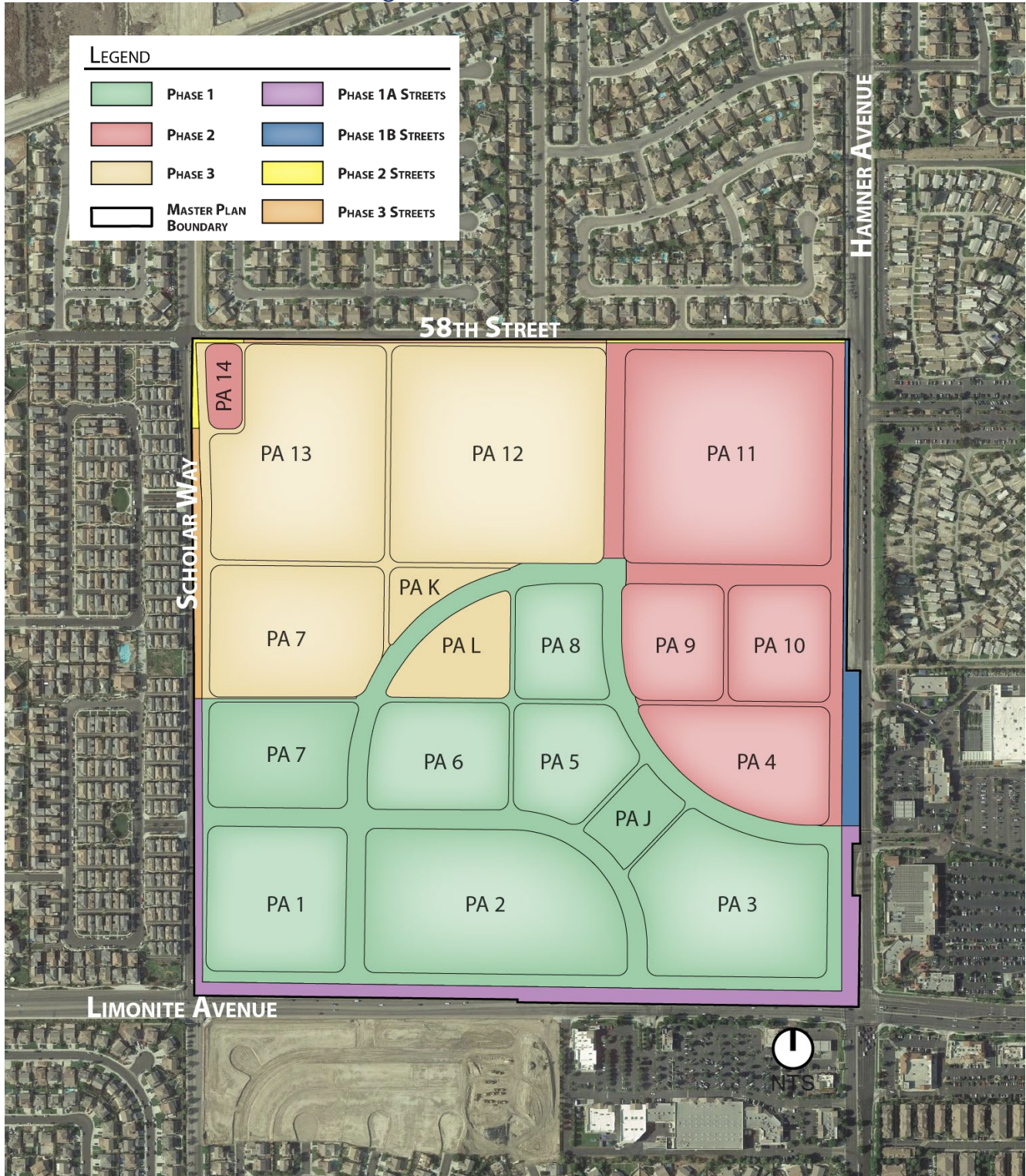
A conceptual Phasing Plan is shown in Figure 6.1. Phasing of the infrastructure as described below shall begin along Limonite Avenue and move north through the project site. The development of uses and the boundaries of each phase will be determined by market forces<sup>1</sup> and the developer(s) of the property, however phasing of residential uses shall be such that several different types of housing shall be offered concurrently.

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<sup>1</sup> Since phasing is tied to market conditions, changes to the conceptual phasing plan do not require administrative approval. The Phasing Plan provides information only and is not regulatory. Phasing is at the sole discretion of the developer and may adjust according to market conditions.

CHAPTER 6 – IMPLEMENTATION PLAN

Figure 6.1: Phasing Plan



Source: Hunsaker & Associates

## 6.2. INFRASTRUCTURE COORDINATION

To ensure that infrastructure is developed in a coordinated way and so that all phases of development will have sufficient infrastructure capacity, the following requirements are imposed. Should the project be developed in a single phase, all infrastructure will be installed in the first phase.

The following requirements relate to the coordination of infrastructure with development of uses:

- 1) Backbone Sewer/Water/Storm Drain Infrastructure – This infrastructure must be developed in conjunction with each phase of development as shown in Figure 6.2. Preparation of an infrastructure plan for backbone water/sewer/drainage infrastructure is a required Stage 3 component (see Chapter 5, Development Process).

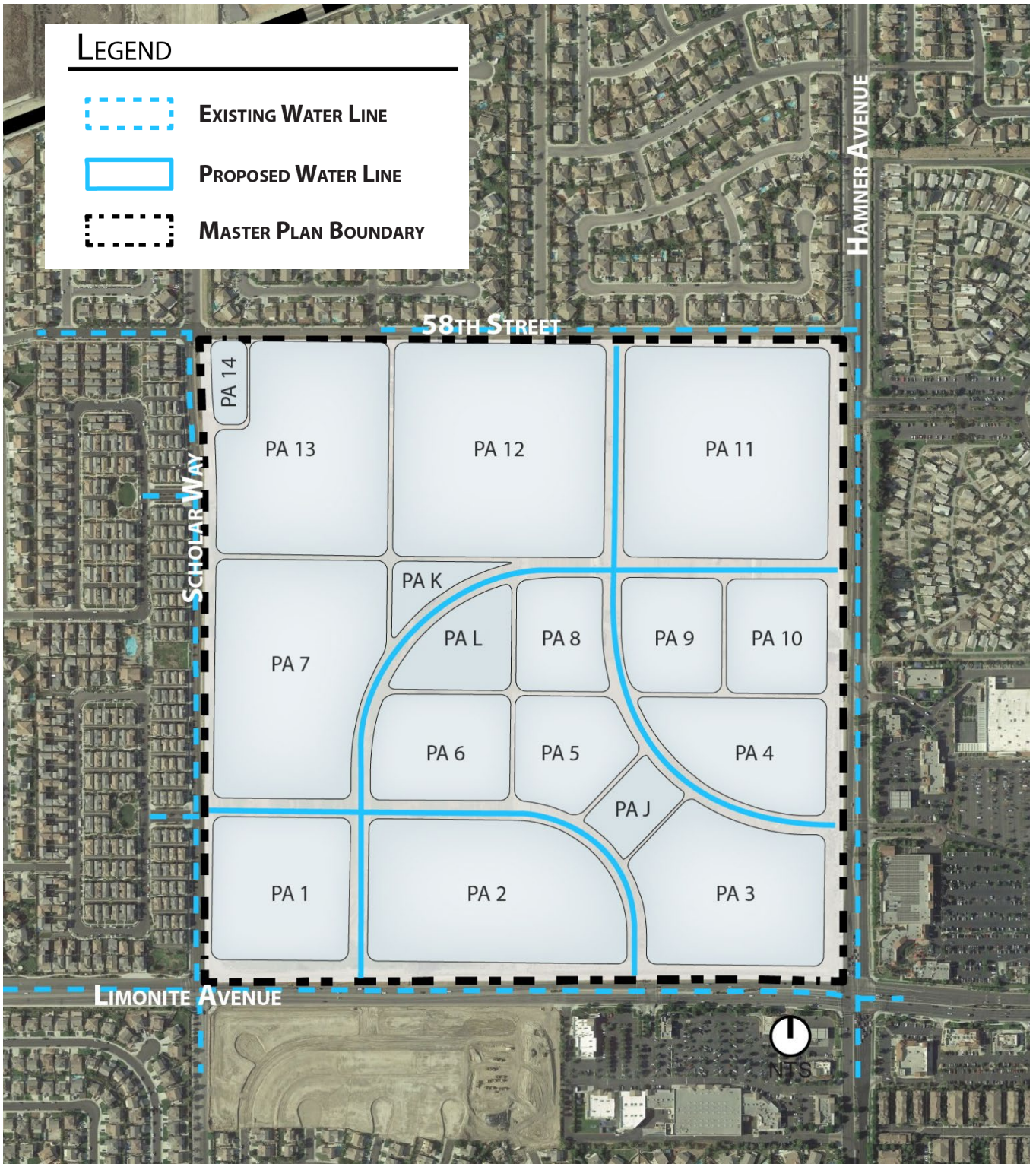
Backbone water/sewer/storm drainage infrastructure includes:

- Water – Hamner and Limonite Avenues have 30-inch water mains located within the rights-of-way. Water services for the project will use these existing lines to serve the project area.
- Sewer – Sewer service is available in all of the streets bordering the project (Hamner, Limonite, Scholar, and 58th). Sewer service inside the project area will be built to accommodate development as it proceeds and will all connect to the existing sewer in Limonite.
- Storm Drainage – These improvements will include water quality and drainage improvements to ensure that stormwater runoff from the site does not degrade downstream environments. Integration of water quality improvements into parks, parkways, and landscaped areas is encouraged throughout the Leal Master Plan.



CHAPTER 6 – IMPLEMENTATION PLAN

Figure 6.2: Water Plan



Source: Hunsaker & Associates

Figure 6.3: Sewer Plan



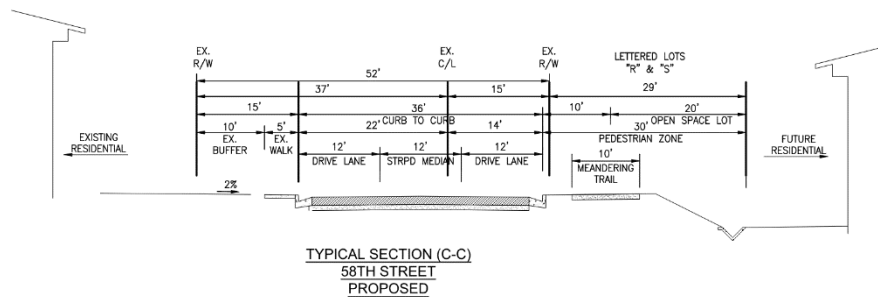
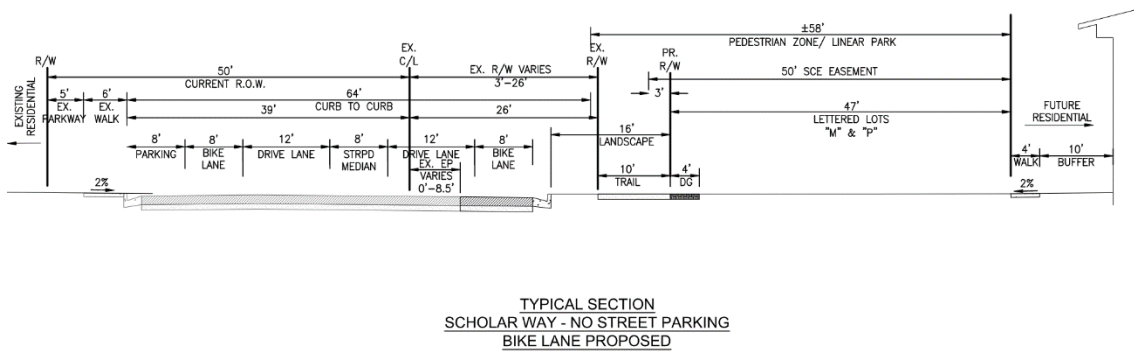
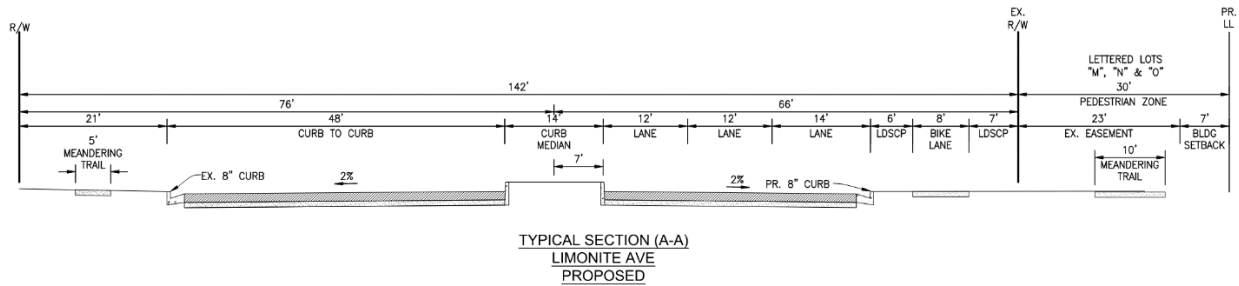
Source: Hunsaker & Associates

Figure 6.4: Storm Drainage Plan

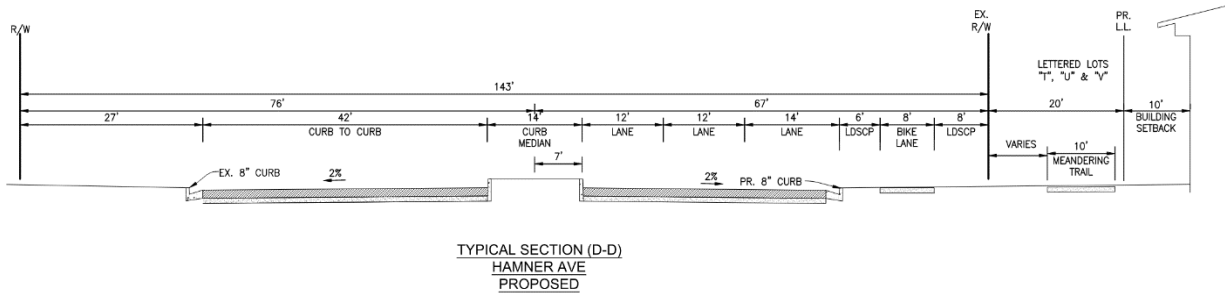


## CHAPTER 6 – IMPLEMENTATION PLAN

- 2) External Circulation – Half-width public improvements to Hamner Avenue, Limonite Avenue, Scholar Way and 58th Street shall be constructed with the Phasing Plan as shown in Figure 6.1. Improvements to Scholar Way and 58th Street may be provided in the form of half-width pavement and sidewalks, with the provision that landscaping must be installed at the time that development occurs adjacent to the street. Class I trails are provided on both sides of Limonite Avenue. Class I trails are also provided on one side of Scholar Way, 58<sup>th</sup> Street and Hamner Avenue. One bike lane is provided on one side of Limonite Avenue. Bike lanes are also provided on both sides of Scholar Way.

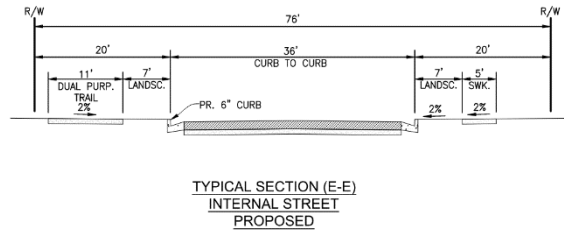


## CHAPTER 6 – IMPLEMENTATION PLAN



Source: Hunsaker & Associates

- 3) Internal Circulation – Internal roadways within the proposed phase will be constructed to provide adequate ingress/egress to all proposed development in the phase. As needed, roadways in the undeveloped portions of the site shall be constructed to provide adequate emergency access.



Source: Hunsaker & Associates

- 4) Major/Minor Entries – Major and minor entries shall be developed at the time that a phase containing the entry(ies) is developed. Preparation of a detailed design for both types of entries and a plan for their locations is a required Stage 3 component (see Chapter 5).
- 5) Signature Iconic Element (Clock-tower, art, etc.) - A unique iconic element such as an art sculpture, mural, clock-tower, or the like that helps define the project and would be unique to the City shall be provided as part of the project. The element shall be located within a publicly accessible space or at a focal point or project entry.

Additional development standards and requirements related to each increment of development are included in Chapter 4, Development Standards, and Chapter 5, Development Process.

### 6.3. MAINTENANCE

Successful operation of maintenance districts and associations are important in ensuring that the Master Plan area is well-maintained. Maintenance responsibilities for the open spaces, landscape areas, lighting, and common project facilities will be maintained by the homeowner association's property manager.<sup>2</sup> Table 6-1, Maintenance Responsibilities, identifies the maintenance responsibilities for various infrastructure and landscape improvements associated with the project.

Table 6-1: Maintenance Responsibilities

Maintenance Area	City/JCSD	HOA	POA
Internal Streets		X	
Perimeter Right-of-Way	X		
The commercial area, including any parking structures			X
Water System	X		
Sewer System	X		
Internal Storm Drainage Systems		X	
Water Quality Basins		X	
Parks and trails <sup>3</sup>		X	

<sup>2</sup> Funding for private maintenance responsibilities may occur through the homeowner’s association, community facilities district, or other maintenance district.

<sup>3</sup> Except for Planning Area J, which will be a City-owned and maintained park.