

# GOODMAN COMMERCE CENTER AT EASTVALE



## Specific Plan

July 2018



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# 1: INTRODUCTION

## Overview

A specific plan is a policy tool to implement the vision for a defined area in greater detail than provided in a general plan and through more customized development and design standards than those found in a zoning code. The Goodman Commerce Center at Eastvale (GCCE) Specific Plan serves as the long-range plan for development of a retail, hospitality, and employment center, including warehouse distribution facilities and a business park. It guides all future development proposals within the project area. (Please see the Development Plan Overview section later in this chapter for a more detail description of the development concept.) This Specific Plan provides detailed text and exhibits describing the various land uses, development standards, design guidelines, and circulation and infrastructure improvements, as well as a systematic approach for project implementation and administration. This document guides the buildout of the property in a manner that is consistent with City and other applicable regulations and ensures that the various plan elements will be developed in a coordinated manner.

## Project Location

Eastvale is in the northwestern corner of Riverside County, as shown in Figure 1.1, Regional Location. The GCCE site is shown in Figures 1.2, Local Vicinity, 1.3, Aerial Photo, and 1.4, Existing Conditions. It is bordered by Cantu-Galleano Ranch Road to the north, I-15 to the east, Bellegrave Avenue to the south, and Hamner Avenue to the west.

Surrounding land uses within 1,000 feet of the project site include, industrial to the north, agricultural land and dairy to the west, residential to the south, and the I-15 highway to the east. Most of these areas are developed with a few vacant parcels further east within the City of Jurupa Valley. Land adjacent to the west of the project site is located within the City of Ontario. This land is guided by the City of Ontario's New Model Colony Plan, which includes two specific plans, Esperanza and Rich Haven. These two specific plans will guide future development of residential, commercial, office, and park land in the city of Ontario.

### *Specific Plan Authority*

California Government Code section 65450 establishes the authority for cities and counties to adopt specific plans by resolution as policy or by ordinance as regulation; identifies the required contents of a specific plan; and mandates consistency with the General Plan.

The City of Eastvale establishes criteria and mandatory content for

## Reader's Guide

This Specific Plan is divided into the following chapters:

***Chapter 1: Introduction***—Describes the objectives of the project, compliance with guiding documents, description of the location, and development concept of the GCCE Specific Plan.

***Chapter 2: Development Criteria***—Provides the regulatory descriptions of the land use plan, permitted uses, development standards, statistical data, mobility plan, and infrastructure plans. This chapter establishes much of the City policy guiding the land use and physical development of the GCCE site. Any requirements (City policies) are clearly distinguished from flexible guidance provisions by the use of certain terminology, as noted later in this chapter.

***Chapter 3: Design Guidelines***—Addresses the aesthetic treatments for the GCCE. Any requirements (City policies) are clearly distinguished from flexible guidance provisions by the use of certain terminology, as noted later in this chapter.

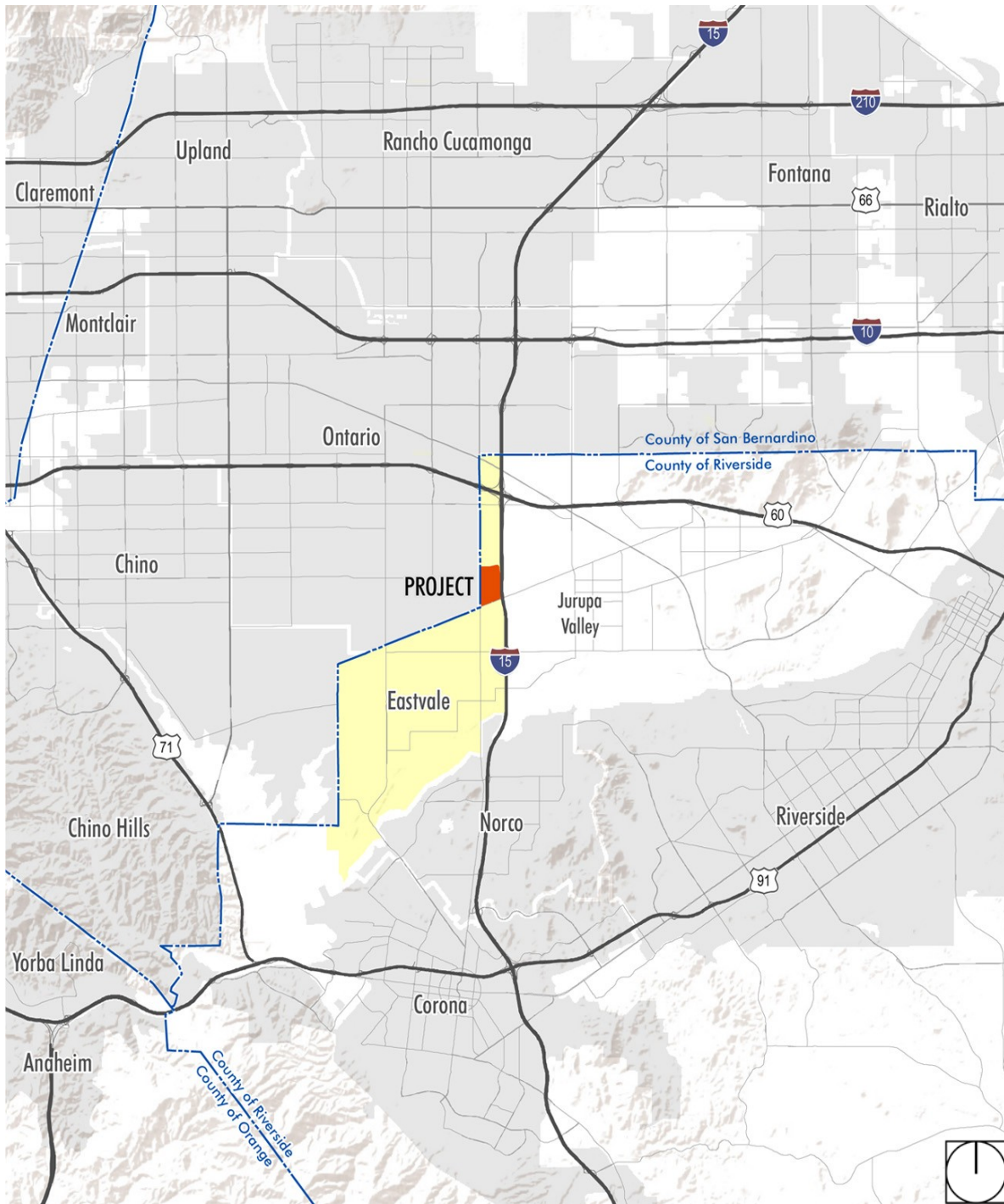
***Chapter 4: Signs***—Contains the regulatory procedures and design guidance for signs. Any requirements (City policies) are clearly distinguished from flexible guidance provisions by the use of certain terminology, as noted later in this chapter.

***Chapter 5: Implementation and Administration***—Contains the regulatory procedures for development processing, plan amendments, and narrative descriptions of the phasing of the GCCE. Requirements are clearly distinguished from flexible guidance provisions (“guidelines”), as noted later in this chapter.

***Appendices***—Contains the landscape palette, glossary, General Plan consistency analysis, and conditions of approval for the Development Plan Review and Tentative Map submitted with the Specific Plan.



**Figure 1-1 Regional Location**

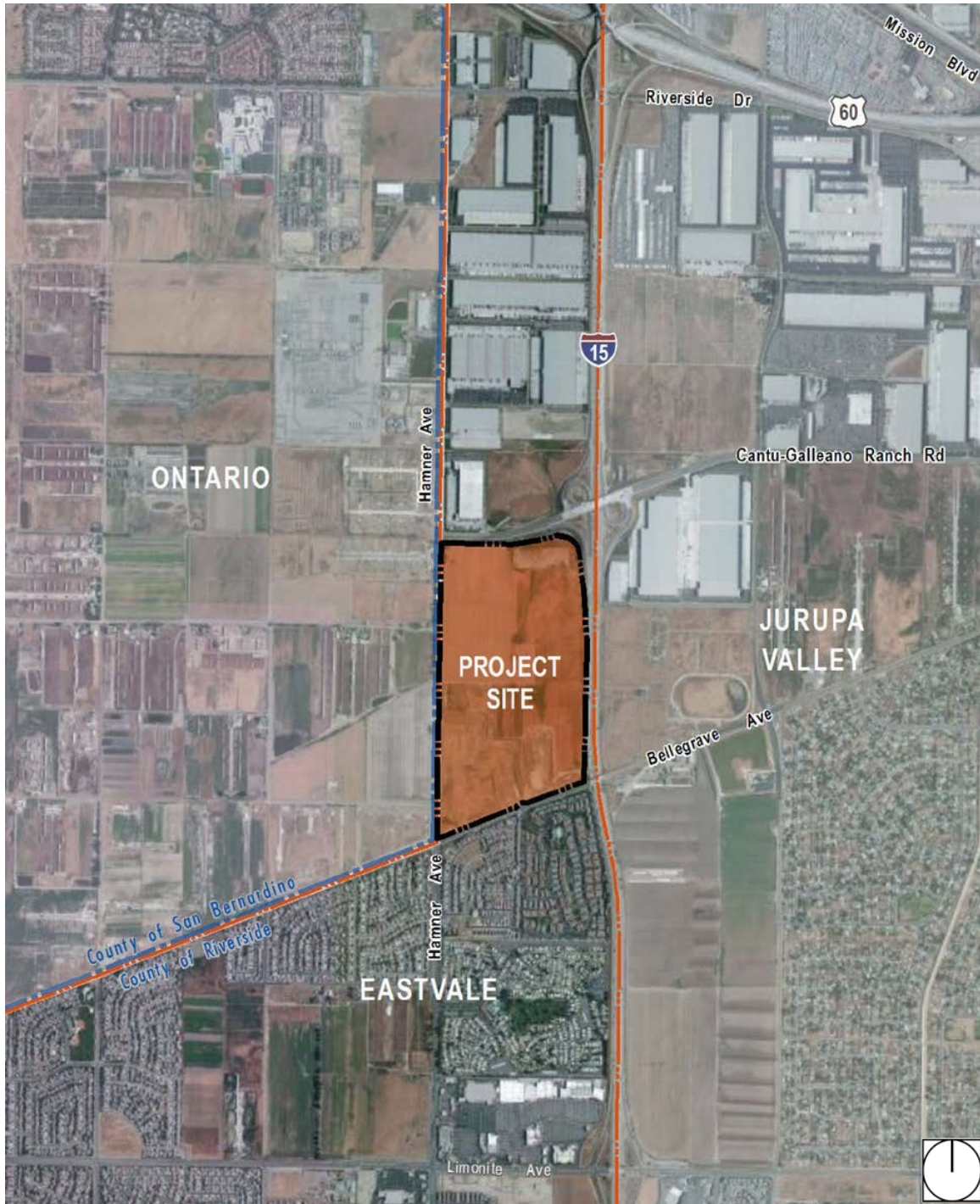


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# Introduction

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Figure 1-2 Local Vicinity



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# Introduction

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Figure 1-3 Aerial Photo



# Introduction

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Figure 1-4 Existing Conditions



A view of the site from Hamner Avenue, looking north toward warehousing across Cantu-Galleano Ranch Road



Facing the site, looking south on Hamner Avenue



A residential neighborhood southwest of the site, across Bellegrave Avenue and Hamner Avenue



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Sound wall, landscaping and sidewalks buffer a residential neighborhood from Bellegrave Avenue



Looking north toward the site from across Bellegrave Avenue



A sound wall behind residential uses reduces noise impacts from traffic along Bellegrave Avenue

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## *Regulatory Structure*

This Specific Plan contains narrative (non-regulatory text that provides background or context), standards (regulatory requirements), and guidelines (regulatory measures used to evaluate applications and written to provide flexibility in the implementation of aesthetic treatments and building practices). Each chapter may contain narrative, standards, and guidelines.

Statements specifically listed as policies can be determined according to the use of the terminology noted below and are to be interpreted as statements of City of Eastvale policy. Narrative descriptions and discussions are provided for background information and may assist decision makers with the interpretation of policies. In chapters where standards, guidelines, and narrative relating to a particular topic are intermixed, they can be identified by the use of the terminology described below.

## *Terminology*

Statements occur throughout this plan in the form of policies, standards, and guidelines that create expectations of actions intended to implement the development concept. The following terms clarify the level of commitment described in the plan and reflect those expected outcomes.

***Shall***—This type of policy statement will always be followed. Shall represents an absolute commitment to the guidance expressed in the policy. Shall statements are requirements. (Similar action words: require, regulatory, enforce, must)

***Should***—This type of guideline is followed in most cases; exceptions or degrees of implementation are acceptable with valid reasons. When reviewing proposed projects for compliance with this Specific Plan, the City of Eastvale will evaluate the applicability of these types of policies and provide recommendations through the appropriate process. (Similar action words: may, guide, encourage)

***Allow***—Permit someone else's initiative and support it unless there is a significant reason not to. When reviewing proposed projects for compliance with this Specific Plan, the City of Eastvale will evaluate the applicability of these types of policies and provide recommendations through the appropriate process. (Similar action words: permit, guide)

***Prohibit***—This type of regulatory policy is intended to actively prevent a specified condition or decision from occurring. (Similar action words: forbid, ban)

***Conceptually***—This term is used to describe potential characteristics or forms of the plan based on the standards and guidelines but does not indicate a required design or solution. (Similar action words: concept, example, demonstrate, envisioned)

Other terminology may appear in certain policy statements. These terms are to be interpreted according to their similarity to the appropriate term described above.

## Relationship to Other Plans

### *General Plan*

Specific plans are required to be consistent with the goals and policies of the governing General Plan. The California Government Code states that a “specific plan shall include a statement of the relationship of the Specific Plan to the General Plan, and further, that it may not be adopted or amended unless found to be consistent with the General Plan.” The consistency between this Specific Plan and the City of Eastvale General Plan is detailed in Appendix C, *General Plan Consistency Analysis*.

If approved, future subdivisions, building permits, and public works projects must be consistent with this Specific Plan (Government Code Sections 65455, 66473.5, 65860, and 65401). All projects that are found to be consistent with this Specific Plan will likewise be deemed consistent with the City of Eastvale General Plan.

### *Zoning Code*

This Specific Plan provides standards, design guidelines, and development parameters unique to the project and is the “zoning code” for the project site. As such, this Specific Plan is the first source for direction regarding any proposed development and use in the project area; however, it is not the only source. In some cases, this Specific Plan provides direct references to the City of Eastvale Zoning Code. In addition, where this Specific Plan is silent, applicable provisions of the City of Eastvale Zoning Code<sup>1</sup>, as determined to be appropriate by City staff, shall be utilized. Where a conflict exists between the standards contained herein and those found in the City of Eastvale Zoning Code, the standards in this document apply. Please see Chapter 5, *Implementation and Administration*, for more detail regarding interpretations, authority, and plan administration.

Since the land use designations and accompanying development standards are uniquely tailored to this project, there is no direct correlation to any one zoning category in the City of Eastvale Zoning Code. However, if a reference proves necessary in the future, Table 1-1 shows the most similar zoning categories from the Zoning Code to those found in this Specific Plan. The zoning designation for the entire project site will be “Goodman Commerce Center at Eastvale Specific Plan.”

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<sup>1</sup> The procedures of the adopted Zoning Code as defined by the Zoning Code that is in effect at the time a project is submitted shall apply.

**Table 1-1  
Zoning Equivalent to Specific Plan Land Uses**

Goodman Commerce Center at Eastvale Land Use Areas	City of Eastvale Zoning Code
Commercial Retail (CR)	General Commercial (C-1/C-P)
Industrial (I)	Manufacturing – Service Commercial (M-SC)
Business Park (BP)	Commercial Office (C-O)
Hospital Overlay (H)	Commercial Office (C-O)

### *Environmental Impact Report*

The California Environmental Quality Act (CEQA) informs decision makers, staff, and the public about the potential environmental impacts of development. The CEQA process provides an opportunity to address potential environmental impacts in order to maintain public health and safety.

An environmental impact report (EIR) has been prepared to analyze and disclose the significant environmental impacts of the Goodman Commerce Center at Eastvale Specific Plan (provided under separate cover). The EIR analyzes the project and potential alternative projects to identify any potential significant environmental impacts associated with the proposed future development of the site. The EIR includes mitigation measures and a mitigation monitoring program that are required to be implemented as conditions of development approval.

## Significant Site Opportunities

### *Location and Accessibility*

Vehicular access is a driving factor in the design of this plan. The Goodman Commerce Center at Eastvale is located along the I-15 between State Routes 60 and

Interstate 15 is the major north–south connection between the high desert and San Diego County, while State Routes 60 and 91 connect Los Angeles and Orange counties to the Inland Empire and points east.

The project’s immediate access via the interchange at Cantu-Galleano Road makes it an ideal location for business uses. Trucks will have a short distance between the project and a major interchange, an advantage for distribution and warehousing. This Specific Plan is designed to address the freeway as an asset by accommodating retail, hospitality, office, and industrial uses that benefit from freeway visibility and access.

# Introduction

## Employment Opportunities



Given its adjacency and access to the freeway, the project site is an opportunity for the City to attract businesses and expand employment opportunities. This Specific Plan accommodates uses that could employ entry-level, mid-level, and management positions in retail, hospitality, light manufacturing, light assembly, distribution, as well as a variety of financial, medical, and service professions. This variety of employment opportunities can provide jobs for workers with a range of education levels and skill sets.



## Development Plan Overview

### Vision and Objectives

With its proximity to existing residential neighborhoods and direct freeway access, this site provides the ideal opportunity for a retail and employment center. This Specific Plan provides development standards and guidelines that direct the creation of a high quality retail and employment center that provides:



**Diverse Business Opportunities**—The Goodman Commerce Center at Eastvale accommodates a blend of professional offices, light industrial, warehousing/distribution, business park, hospitality, hospital, and retail commercial uses.

*Objective: Develop the site with a variety of uses that serve the local community and will be located close to residential areas to help reduce automobile trips and travel distances, which can help improve air quality and encourage non-automobile trips.*



**Employment**—Projections indicate that the Goodman Commerce Center at Eastvale could accommodate thousands of jobs in convenient proximity to Eastvale residents that will help diversify employment opportunities in the vicinity.<sup>2</sup>

*Objective: Provide a mix of commercial and industrial uses that utilizes the site's job-creation potential and that will be located in convenient proximity to Eastvale residents, thereby helping to diversify employment opportunities in the vicinity.*

Examples of some of the uses accommodated in the Goodman Commerce Center at Eastvale Specific Plan: hospitality (top), retail (second from top), industrial (third from top), and business park (bottom).

**Improved Jobs-Housing Balance**—The Goodman Commerce Center at Eastvale provides needed employment opportunities, which affords Eastvale residents the chance to live and work within their community and helps improve the relationship and ratio between jobs and housing.

*Objective: Provide a variety of new sources of employment opportunities, which affords Eastvale residents the chance to live and work within their community and helps improve the relationship and ratio between jobs and housing.*

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<sup>2</sup> The source for employment generation projections is the Draft Environmental Impact Report, which utilized the Riverside County General Plan Appendix E. Socioeconomic Buildout Projection Assumptions & Methodology.

***Resident-Serving Uses***—The Goodman Commerce Center at Eastvale provides an opportunity for shopping, hospitality, and services to the local community via convenient access to major roads and the freeway.

*Objective: Provide shopping, hospitality, and services to the local community via convenient access to major roads and the freeway.*

***Quality Master Planned Development***—Development of the Goodman Commerce Center at Eastvale is guided by this Specific Plan that requires architectural quality, unifying landscaping, appropriate signage, and welcoming entries. As a master planned development its buildings, infrastructure, landscaping, and street furniture are coordinated in terms of use, access, and improvements.

*Objective: Provide a master-planned commercial/ industrial project that establishes unified and coordinated architecture, landscaping, design, infrastructure and development standards.*

***Freeway Accessibility***—The Goodman Commerce Center at Eastvale allows for the development of a mix of businesses that rely on and are easily accessible to the nearby I-15 freeway.

*Objective: Provide for development of commercial/ industrial uses that are compatible with the adjacent I-15 freeway and which rely on and benefit from convenient access to that freeway.*

***Regional Context***—The Goodman Commerce Center at Eastvale allows for the development of regionally serving employment center accommodating a variety of jobs that can meet short- and long-term market demands.

*Objective: Respond to market demand for additional logistics centers that are designed to handle both current distribution needs and to respond to the region's identified need for 228 million square feet of warehouse space by 2035.*

***Efficient Goods Movement***—The development of Goodman Commerce Center at Eastvale is consistent with regional planning goals and is considerate of the strategies to facilitate goods movement through the area.

*Objective: Locate uses necessary to promote efficient goods movement in areas that are consistent with the SCAG Goods Movement Corridor and promote consistency with SB 375.*

## *Plan Description*

The Goodman Commerce Center at Eastvale accommodates Commercial Retail, Business Park, Hospital, and Industrial uses. The Goodman Commerce Center at Eastvale will be integrated by a coordinated package of common area landscaping, lighting, and entry signage and interconnected by its circulation system, which accommodates trucks and vehicles as well as bicycles and pedestrians in appropriate areas. Enhanced pedestrian and cyclist connectivity will be provided within and between the Business Park and Commercial Retail areas. No direct truck or motorized vehicle connection will be provided between the Business Park and Industrial areas. This will direct truck traffic away from nearby residents and help foster a pedestrian-oriented environment in a campus-like setting in the Business Park area.

The Goodman Commerce Center at Eastvale is divided into the following land uses, described from the northern end to the southern end of the project:

***Commercial Retail***—The Commercial Retail area is along Cantu-Galleano Ranch Road and Hamner Ave. The area accommodates retail uses that benefit from freeway visibility and access making this area attractive for regional commercial- retail, office, and a hotel. This area is a prime location for services that will be frequented by the local community as well as travelers. While the final design is not set, this plan sets up the framework for a vibrant, attractive, and easily accessible commercial-retail area along Cantu-Galleano Ranch Road and Hamner Avenue. Locating buildings close to the street with parking concentrated on the interior will create aesthetically pleasing development with pedestrian-friendly frontage for nearby residents, visitors, and employees walking from the adjacent office and industrial businesses.

***Industrial***—The Industrial land use area is located adjacent to I-15 with access from both Cantu-Galleano Ranch Road and Hamner Avenue. This core is envisioned to be developed with large-format light manufacturing, light assembly, and warehousing and distribution uses. Like similar uses to the north, these types of industrial uses benefit from convenient access to I-15 and proximity to the Ontario Airport.

***Business Park***—The Business Park land use area is located in two areas. The primary area is located along Bellegrave Avenue, the part of the site that is closest to existing residential uses. This location was selected to provide a buffer between the Industrial land use area and the residences to the south. The second Business Park land use area is located on Hamner Avenue adjacent to the Commercial Retail planning area. This location was selected to reduce industrial frontage on Hamner Avenue and to provide support uses for the commercial-retail uses and/or medical uses. A review of business license records indicates that there are numerous home offices in Eastvale, indicating that there is a pool of local small businesses that may need space to grow and expand. The offices, and small industrial spaces offered within the Business Park area are the ideal places for these types of business as they grow beyond the confines of their residences.

The Business Park uses on Hamner Avenue (adjacent to the Hospital Overlay area) may be used for professional offices, research, and service uses intended to support the commercial-retail uses and/or medical offices uses to support a hospital. Building frontages within each of the two Business Park areas shall be oriented towards the commercial-retail/medical uses and/or Hamner Avenue. Buffers including screening walls/fences and landscaping will be designed between the Business Park and adjacent Industrial uses to the north of the Business Park located along Bellegrave Avenue, and to the east of the Business Park located along Hamner Avenue, to avoid incompatibilities between land uses.

*Hospital Overlay*— A portion of the Industrial, Business Park, and Retail/Commercial areas are shown with an overlay which allows the development of a full-service hospital and associated support uses. This location, along Hamner Avenue, provides access and visibility for a future hospital. It also supports uses for the Commercial Retail and/or Business Park.

### *Market-Based Buildout*

The timing of the final design and buildout of the project will depend on market conditions. Accordingly, the project is anticipated to be developed in phases. Regardless of how or when the site is developed, the provisions of this Specific Plan, adopted mitigation measures in the associated EIR, and infrastructure requirements will be provided, as required and approved by the City of Eastvale, at the appropriate phases of project construction, operation, and maintenance.

# Introduction

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## 2: DEVELOPMENT CRITERIA

This Chapter includes the land use plan and development standards for the Goodman Commerce Center at Eastvale (GCCE). In addition, it includes the conceptual mobility plan, grading plan, and infrastructure plans. Standards not addressed in this Chapter are subject to applicable standards in the City of Eastvale Zoning Code that is in effect at the time of a subsequent application is submitted.

### Land Use Plan

The GCCE is a business and employment center that accommodates commercial, light industrial, warehousing, distribution, office, hospitality, hospital, and flexible business park uses (also known as incubator space). The following land use categories govern the use and development of the site.

Figure 2-1, Land Use Plan, shows the location and extent of each land use category. The maximum buildout potential for each land use category is shown in Table 2-1.

A detailed list of uses permitted in each land use category is provided in Table 2-2, *Permitted Uses*.

***Commercial Retail (CR)***—Allows a mixture of neighborhood and regional retail shopping that may include restaurants, entertainment, lodging, gas stations, fitness, medical office, and retail showrooms. The shopping center is envisioned to be designed with some buildings close to Cantu-Galleano Ranch Road and interior parking to engage passersby and provide a pedestrian scale near the public right-of-way. The Commercial Retail area may include an approximately 130 room hotel located on 2.5 acres anywhere within the Commercial Retail boundaries. A hotel could provide a variety of accommodations and guest-oriented amenities which may include but are not limited to standard and suite style rooms, a full service restaurant, business center, conference room/banquet facility, covered drop-off zone, and/or pedestrian walkways. Recreation amenities could include a pool, whirlpool hot tub, and fitness room. Motel, motor hotels, and similar establishments are prohibited.

The Commercial-Retail area of this Specific Plan also allows medical uses.

***Industrial (I)***—Accommodates a mixture of light industrial, research and development, distribution, warehousing, light manufacturing, and light assembly uses. In addition, a portion of industrial tenant space may be used for ancillary/support office and retail uses as noted in Table 2-2. Professional office as a primary use could be permitted subject to a Conditional Use Permit.

## Development Criteria

***Business Park (BP)***—The Business Park land use area accommodates a variety of uses which are similar in providing small-scale spaces for people to work in office and workshop settings. Office uses could include medical and real estate, research and development, and design studios, in one- to two-story buildings. Workshop setting could include light assembly, wholesaling, manufacturing, fabricating, processing, packaging, and incidental storage to support these uses. Some retail and service uses are also accommodated in this land use area.

To maintain the small-scale character, all buildings are limited to no more than 60,000 square feet.

Reflecting the office and workshop nature of this area, tenant spaces have a limited number of roll-up doors and loading docks, which are required to face away from or be screened from Bellegrave and Hamner Avenues.

Some limited retail and service uses are also accommodated, as described in Table 2-2. Pedestrian paths, open spaces, and clustered buildings will contribute to the desired development character. The Business Park uses adjacent the Commercial- Retail and Hospital Overlay area may be used for professional offices, research, light assembly, and service uses intended to support the commercial-retail uses and/or medical offices uses to support a hospital.

***Hospital Overlay (H)***—This overlay allows the development of a hospital (with approval of a Conditional Use Permit) on an approximate 42-acre portion of the project (designated as Planning Areas 4 and 5) which would otherwise be developed with Commercial Retail, Industrial, and Business Park uses as shown in Figure 2-1. The Hospital overlay is intended to encourage the development of a major, multi-story medical facility and associated uses.

### ***Buildout***

The buildout potential of the GCCE is related to the ability of the local roadway system to accommodate traffic generated by uses in the Specific Plan area and surrounding areas. Based on the environmental analysis prepared for this Specific Plan, the following maximum traffic generation thresholds were identified:

- Maximum permitted a.m. peak hour trip generation by Specific Plan land uses: 1,595 trips
- Maximum permitted p.m. peak hour trip generation by Specific Plan land uses: 2,090 trips
- Maximum total average daily trips (ADT) by Specific Plan land uses: 31,332 trips

To determine allowable buildout, the trip generation figures in Table 2-1 will be used. The City of Eastvale will maintain a record of approved development and the total number of a.m. peak hour, p.m. peak hour, and average daily trips which will be generated by uses in the Specific Plan area, based on the figures below (or as adjusted as discussed below).

**Table 2-1  
Trip Generation Rates**

Land Use	A.M. Peak Hour Trip Generation	P.M. Peak Hour Trip Generation	Average Daily Trip Generation
Commercial Retail (CR) <sup>1</sup>	0.802 per 1,000 SF	2.486 per 1,000 SF	37.657 per 1,000 SF
Warehouse/Distribution (I)	0.132 per 1,000 SF	0.1258 per 1,000 SF	2.7855 per 1,000 SF
Business Park (BP)	1.42 per 1,000 SF	1.461 per 1,000 SF	15.829 per 1,000 SF
Hospital (H)	1.14 per Bed	1.31 per Bed	11.81 per Bed
Medical-Dental Office Building	2.30 per 1,000 SF	3.47 per 1,000 SF	36.13 per 1,000 SF

Notes:

1. Hotel is included in the Commercial Retail category

SF – Square feet of rentable building area, as determined using Building Owners and Managers Association (BOMA) methodology

Trip generation rates for uses not listed will be determined based on the closest applicable use in the latest version of the Institute of Transportation Engineers “Trip Generation Manual” or an equivalent source acceptable to the City.

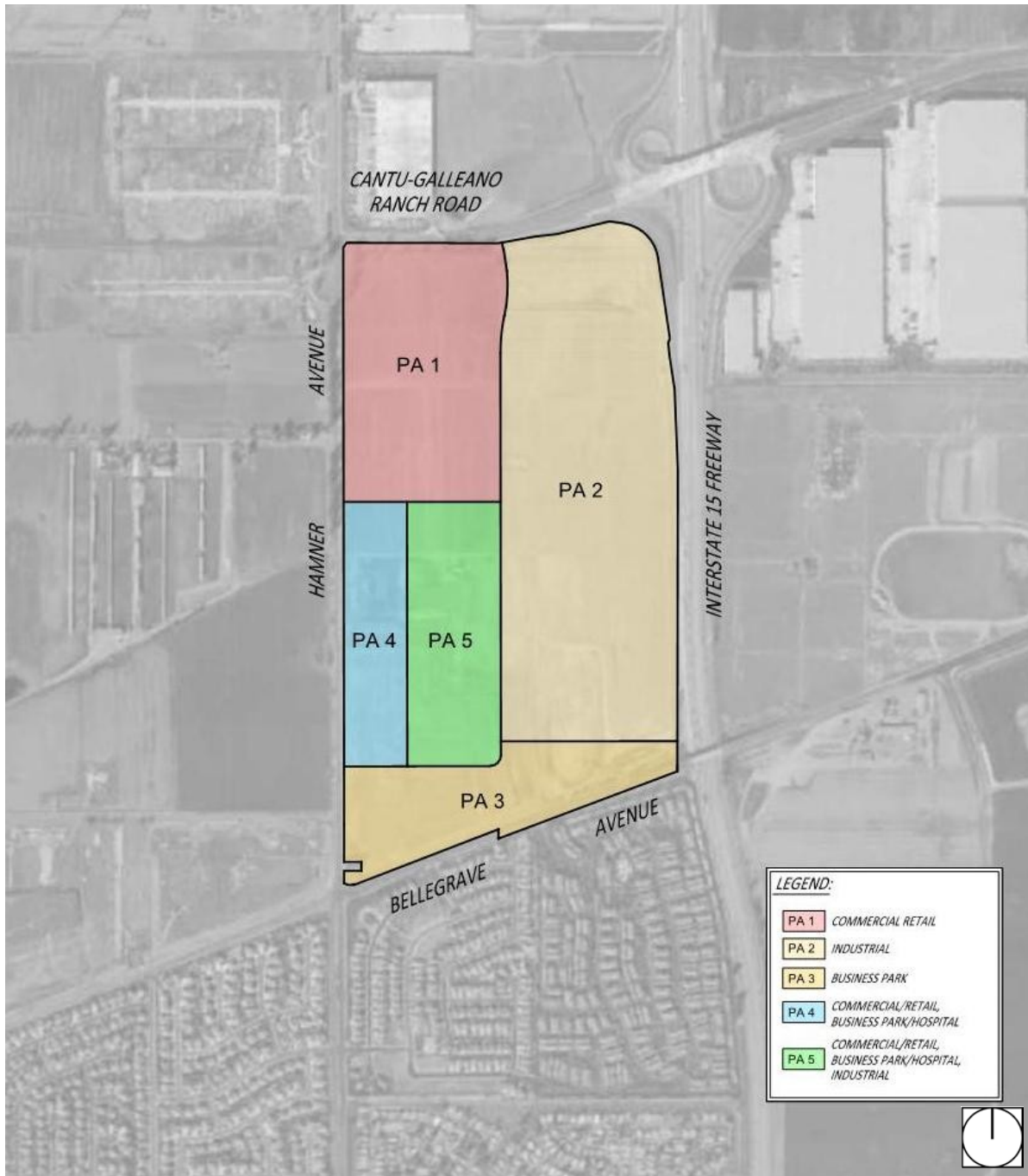
The total number of peak hour and/or average daily trips can be adjusted at the City’s discretion based on the following:

- Updated information from the Institute of Transportation Engineers or equivalent.
- Specific operational requirements, imposed through conditions of approval and/or agreements enforceable by the City, which would reduce peak hour or daily trips.
- Studies provided by the applicant/developer demonstrating that a particular use will generate trips at a lower rate than those estimated by the Institute of Transportation Engineers.

# Development Criteria

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Figure 2-1 Land Use Plan



Not to Scale

Source: Albert A. Webb Associates

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# Development Criteria

## Permitted Uses

Table 2-2, *Permitted Uses*, establishes the regulations for uses allowed in each land use area. Uses are either: permitted-by-right (P), conditionally permitted (C), or prohibited (X). Conditionally permitted uses require the approval of a Conditional Use Permit per the Eastvale Zoning Code.

Those uses not specifically listed in Tables 2-2 and 2-3 are subject to a determination by the Planning Director per Section 3.1.C of the Eastvale Zoning Code.

<b>Table 2-2 - Permitted Uses</b>	<b>CR<sup>1</sup></b>	<b>I<sup>2</sup></b>	<b>BP</b>	<b>H(O)<sup>3</sup></b>
<b>Office Uses</b>				
Administrative and professional offices or services (e.g., medical, doctors, physical therapy, chiropractic, financial planners, banks, insurance, real estate, architects)	P	C	P	
Laboratories	P	P	P	
<b>Vehicle Related Uses</b>				
Alternative fuel fueling station in the Industrial land use area (the sale of ancillary goods such as food, alcohol, drinks, and merchandise is not permitted)	X	C	X	
Automobile or boat parts and supplies stores (new and used)	P	X	X	
Automobile service and repair, major (e.g., bodywork, engine and drive train, painting)	X	C	C	
Automobile service and repair, minor (e.g., oil change, tires, tune-ups, stereo installation)	C	X	C	
Car, RV, truck, boat sales (new and used), (auctions in I only)	C	C	C	
Car washes	P	X	C	
Gasoline service stations, without sale of beer and wine	P	C	C	
Gasoline service stations, with sale of beer and wine	C	C	C	
Off-site parking	C <sup>4</sup>	C <sup>4</sup>	C <sup>4</sup>	
Vehicle/boat/leasing/rental	C	C	X	
Vehicle rental	C	C	C	
<b>Industrial Uses</b>				
Manufacturing, Light	X	P	P	
Manufacturing, Heavy	X	P	C	
Mini-storage	X	P	C	
Warehousing/distribution	X	P	X	
Construction equipment sales, repair and incidental retail sale of spare parts (operations shall occur within an enclosed building)	X	P	P	
Wholesaling (these activities shall occur within an enclosed building and typically do not result in large amounts of noise, dust or smoke that can occur with some industrial uses)	X	P	P	
<b>Eating, Drinking Establishments</b>				
Bars/cocktail lounges/night clubs	C	X	C	
Catering establishment, commercial kitchen	P	X	P	
Restaurants and other eating establishments, no drive-thru	P	X	P	
Restaurants and other eating establishments, with drive-thru	C	X	C	

# Development Criteria

<b>Table 2-2 - Permitted Uses</b>	<b>CR<sup>1</sup></b>	<b>I<sup>2</sup></b>	<b>BP</b>	<b>H(O)<sup>3</sup></b>
<b>Entertainment</b>				
Auditoriums, convention halls, concert halls, movie and concert theaters, performing art venues	P	X	C	
Indoor Fitness and Sport Facility <8,500 sqft: Predominantly participant sports and health activities conducted entirely within an enclosed building. Typical uses include billiard parlors, athletic clubs, and health clubs.	P	P	P	P
Indoor Fitness and Sport Facility >8,501 sqft: Predominantly participant sports and health activities conducted entirely within an enclosed building. Typical uses include bowling alleys, billiard parlors, indoor racquetball courts, indoor climbing facilities, athletic clubs, and health clubs.	C	C	C	C
Indoor Amusement/Entertainment Facility: Establishments providing indoor amusement and entertainment services as primary uses for a fee or admission charge, including dance halls and ballrooms and electronic game arcades.	P	C	C	
<b>Medical</b>				
Hospital	X	X	X	C
Medical offices (doctors, dentists, chiropractic, physical therapy, outpatient surgery, health clinics (walk-in, urgent care), acupuncture/acupressure)	P	C	P	P
<b>Personal Services</b>				
Banking and financial institutions	P	X	P	
Miscellaneous services, such as barbers, nail shops, dry cleaners, locksmiths, tailors, shoe repair, massage, etc., which are typically used by the average person	P	X	P	
Professional Office	P	X	P	
Laundromats (self-serve)	P	X	P	
Contractors (e.g., construction, plumbing, janitorial, drywall, communications, HVAC, electrical and engineering), with storage outside of a building	C	P	C	
Contractors (e.g., construction, plumbing, janitorial, drywall, communications, HVAC, electrical and engineering), with storage enclosed within a building	P	P	P	
Cigar, Hookah, Cigarette, Tobacco, and Electronic Cigarette Sales or Lounges	C	X	C	
Tattoo parlor	C	X	C	
Schools, Business and Professional, including Art, Barber, Beauty, Dance, Drama, Music and Swimming	C	X	C	
Photography or portrait studio, by appointment only	P	X	P	
Spas, gazebos, and aboveground pools, sale of enclosed within a building	P	X	P	
<b>Retail Uses</b>				
Alcohol retail sales, on- or off-site	C	C	C	
Clay products	P	P	P	
Commercial day care centers	P	X	P	
Copy centers/postal service centers/blueprinting	P	X	P	
Equipment rental/sales/service yard	P	P	P	



<b>Table 2-2 - Permitted Uses</b>	<b>CR<sup>1</sup></b>	<b>I<sup>2</sup></b>	<b>BP</b>	<b>H(O)<sup>3</sup></b>
General retail sales (e.g., clothing, department stores, electronics, art, books, discount stores, flower shops, drug stores, convenience stores, and supermarkets) in stores of less than 80,000 square feet	P	X	P	
Retail stores (larger than 80,000 square feet)	P	C	X	
Hotels	P	X	P	
Live entertainment and dancing	C	X	X	
Nurseries/garden supplies	P	X	X	
Office equipment/supplies	P	X	P	
Veterinary services, pet grooming (no boarding)	P	X	P	
Farmers markets	C	X	C	
Bottling and bottle washing, enclosed within a building	X	P	P	
<b>Public/Quasi-Public Uses</b>				
Civic/city related uses (e.g. City Hall)	P	P	P	
Police and fire stations	P	P	P	
Religious Institutions	P	X	P	
Libraries	C	X	C	
Wireless telecommunication facilities (subject to Development Plan Review per Eastvale Zoning Code)	P	P	P	
Clubs or lodges	P	X	P	
<p>Legend:  P = Permitted-by-right      C = Conditionally permitted      X = Prohibited CR = Commercial Retail  BP = Business Park I = Industrial</p> <p>Notes:  <sup>1</sup> CR may include an approximately 130 room hotel on 2.5 acres anywhere within the planning area.  <sup>2</sup> Ancillary uses to the main use, such as offices, storage, and meeting rooms in the Industrial area or small retail spaces in the Business Park area, are permitted provided they are supportive of the main business and do not exceed 1/3 of the total floor area of the tenant space.  <sup>3</sup> In the Hospital overlay area, all uses in the underlying designations (Commercial Retail, Industrial, and Business Park) are permitted as shown in this table.  <sup>4</sup> Planning Area 5 only</p>				

### ***Prohibited Uses***

The following uses have been determined to be inappropriate in this Specific Plan and are prohibited in all land use planning areas.

- Abattoir (slaughterhouse)
- Auto wrecking
- Check-cashing and payday advance
- Junk or salvage yard
- Hazardous materials processing, treatment, or storage
- Kindergarten through 12<sup>th</sup> grade schools
- Motels (temporary lodging with exterior room doors and halls)
- Outdoor manufacturing, processing or similar outdoor activities
- Recycling facilities
- Residential uses including caretaker units
- Single-room occupancy units
- Medical Marijuana Dispensary

## Development Standards

The following development standards are City regulations for each land use area established in this Specific Plan.

Standard	Commercial Retail	Industrial	Business Park <sup>1</sup>	Hospital Overlay
<b>Building Site Specifications</b>				
Min. lot size	None	40,000 s.f.	10,000 s.f.	Least restrictive standard applies
Min. lot width	75 ft.	200 ft.	75 ft.	
Min. landscape cover <sup>2</sup>	15%	10%	15%	15% for Hospital development
<b>Landscaped Setback <sup>3,4</sup></b>				
From Cantu-Galleano	15 ft. to parking, 15 ft. to buildings			NA
From Hamner	15 ft. to parking, 15 ft. to buildings			
From Bellegrave	30 ft. to parking, 30 ft. to buildings			NA
From Internal Streets A and B	20 ft. to parking, 30 ft. to buildings			
From Caltrans I-15 ROW	30 ft. to parking, 40 ft. to buildings			NA
<b>Height</b>				
Max. height <sup>5,6</sup>	50 ft. (75 ft. <sup>7</sup> )	55 ft. <sup>8</sup>	50 ft. <sup>8</sup>	125 ft.
<b>Building Separation <sup>9</sup></b>				
Min. side	25 ft.	25 ft.	25 ft.	25 ft.
Min. front entries	25 ft.	25 ft.	25 ft.	25 ft.
Min. rear	25 ft.	25 ft.	25 ft.	25 ft.

Notes:

NA – Not applicable

<sup>1</sup> There is a maximum area of 40,000 square feet for a single-tenant building or 40,000 square feet for each tenant in a multi-tenant building.

<sup>2</sup> See the landscape provisions in this Chapter and in Appendix A, *Plant Palette*, for greater detail.

<sup>3</sup> All building and landscaping setbacks shall be measured from the right-of-way line, as defined by the Zoning Code that is in effect at the time a project is submitted.

<sup>4</sup> Landscaped setbacks accommodate landscaping, fences, walls, signs, entry monuments, benches, and other similar elements. Conceptual landscaped setbacks are depicted on Figures 2-3 to 2-9.

<sup>5</sup> Maximum building height is defined as the height from finished grade to the top of the roof pitch or top of parapet, whichever is greater. There is no limit on the number of stories within the maximum building height.

<sup>6</sup> Uninhabitable architectural features, such as towers, may exceed the maximum height limit of the Commercial Retail and Business Park area by 20 percent, and mechanical penthouses may exceed the maximum height limit by 10 percent.

<sup>7</sup> The maximum building height for hotels in the Commercial Retail land use area is 75 feet.

<sup>8</sup> The maximum height at the setback line is 55 feet. For each foot of additional setback provided, an additional foot of height is permitted up to a maximum of 60 feet to the roof peak or top of parapet wall. A height between 61 and 150 feet may be permitted as detailed in the City of Eastvale Zoning Code that is in effect at the time a project is submitted.

<sup>9</sup> Building separation is measured between the nearest exterior walls of two adjacent, non-attached structures. Non-habitable projections, such as eaves, bay windows, and architectural detailing, may extend two feet into the separation area.

# Standards Applicable to All Uses/Development

The following standards apply as shown below.

## *Antennas*

- A satellite antenna may be installed on a lot in any zoning district provided that: (1) it is not located in a required setback from a street; (2) the antenna or satellite antenna is located on the rear one-half of the lot (if roof mounted), and; (3) the antenna does not exceed 10 feet if installed on the ground or, if roof mounted and screened, as defined by the Zoning Code that is in effect at the time a project is submitted, the maximum building height for the district in which the satellite antenna is located.
- Antennas and Direct Broadcast Satellite (DBS) are permitted to be installed in locations that are not readily seen from neighboring properties or from public streets.
- Wireless communication facilities shall comply with the standards as defined by the Zoning Code that is in effect at the time a project is submitted.

## *Lighting -Exterior*

The exterior lighting standards listed below are intended to provide illumination, highlight unique features, and provide security in a manner that does not impact light-sensitive uses, such as residences.

- Parking areas shall have lighting that provides adequate illumination for safety and security as approved by the City of Eastvale Building Department. At a minimum, parking lot lighting fixtures shall maintain 1 foot-candle of illumination at ground level at any location within the parking facility, excepting at convenience markets, where the standard is a minimum of 1.5 foot-candles.
- The maximum level of exterior light at any property line is 1 foot-candle and 0.5 foot-candle at any residential property line.
- Exterior lighting fixtures shall utilize energy-efficient fixtures.
- Exterior light fixtures, including those in parking and loading areas, shall not exceed 25 feet in height above finish grade and shall be consistent with the architectural theme of the facility served.
- All exterior lighting, including security lighting, shall be directed away from adjoining properties and the public right-of-way.
- All lighting fixtures, other than pedestrian walkway lighting of approximately 3 feet in height, shall be shielded (equipped with glare reflector shields designed to redirect spill lighting down and away from surrounding areas) such that no light is emitted above the horizontal plane of the bottom of the light fixture.

## Development Criteria

- Office, hotel, and commercial structures shall incorporate shielded exterior lighting to illuminate significant exterior architectural features, signage, and unique landscape features.
- Where security may be an issue, motion-sensitive lights or other alternatives acceptable to the City shall be used to provide security lighting for loading docks, outdoor storage areas, and other areas used intermittently at night.

### *Parking, Loading, and Access*

- Disabled parking shall be provided per the requirements of the California Building Code.
- All commercial sites shall be evaluated for parking on a project-by-project basis per requirements in Table 2-4. Prior to the establishment of any use, City staff shall review the proposal in relation to the approved site plan to ensure there is adequate parking. In the event that there is not enough parking to satisfy the proposed use, the applicant may propose any combination of:
  - Parking lot restriping (staff-level approval)
  - Parking management strategies, such as employee parking, reserved parking, valet parking, or other acceptable measures (CUP required)
  - Shared parking analysis, prepared by a traffic engineer, to be used as the basis for calculating parking requirements for the center (CUP required)
- All large commercial uses of 15,000 square feet or greater, except medical, require one loading space unless otherwise noted.
- Standard parking stalls shall be designed in accordance with the standards as defined by the Zoning Code that is in effect at the time a project is submitted.
- Up to 20 percent of all parking spaces may be compact spaces with minimum stall dimensions of 8 feet wide and 16 feet long.
- Each parking space or facility shall have adequate drive aisles and usable turning and maneuvering areas as defined by the Zoning Code that is in effect at the time a project is submitted.
- All parking areas, loading facilities, and drive aisles shall be surfaced and maintained with asphaltic concrete, cement, or other permanent impervious or pervious surfacing material that is acceptable to the City Engineer.
- All drive-through banks, pharmacies, and eating facilities shall have a minimum 150-foot driveway to an ATM or menu board. The drive-through driveway must be designed to provide clearly marked and safe pedestrian crossing to the building entrance(s) and not be located where cars staking may result in blocking ingress/egress to the site.
- Where practical, new developments on separate parcels are encouraged to provide common access and parking areas. Reciprocal parking and driveway easements are encouraged.
- Parking spaces for low-emitting, fuel-efficient, and carpool/van pool vehicles will be provided per the California Green Building Standards Code.
- Parking lots including off-site parking shall comply with the Eastvale Zoning Code that is in effect at the time a project is submitted except for some of the required parking spaces (up to 15% of required spaces) that are located within the truck parking areas.
- On-street parking is prohibited.

The parking standards for the minimum number of parking spaces required for each use or equivalent use in the GCCE shall be as follows. All uses not specifically listed or substantially equivalent to a listed use are subject to the number of parking spaces required as defined by the Zoning Code that is in effect at the time a project is submitted.

**Table 2-4  
Parking Standards<sup>1</sup>**

Use	Standard
Community shopping center, including those with restaurants	5.5 spaces per 1,000 square feet of net leasable floor area. <sup>2</sup>
Hotel	1 space per hotel room plus two additional spaces for managers
Restaurants and other eating establishments including drive-thru	1 space per 45 square feet of public serving and seating area
Professional office (e.g. financial, real estate, medical office, etc.)	1 space per 200 square feet of professional office area. <sup>2</sup>
Light assembly/light manufacturing/light industrial	1 space per 250 square feet of office area, plus 1 space per 500 square feet of fabrication area, plus 1 space per 1,000 square feet of storage area.
Hospitals and Clinics	1 space per 2 patient's beds, and one space per vehicle owned and operated by the hospital or clinic plus one space per staff member of largest shift
Medical and Dental Offices	1 space per 200 square feet of net leasable floor area
Warehousing/distribution <sup>3</sup>	1 space per 250 square feet of office area, plus 1 space per 1,000 square feet for to the first 40,000 square feet of building space and 1 space per 4,000 square feet beyond the initial 40,000 square feet.

Notes:

<sup>1</sup> Additional parking that may be required based upon the specific tenant - beyond those that are provided at construction - must be designed to comply with the parking ratios listed in the City of Eastvale Zoning Code.

<sup>2</sup> Where multiple tenants and/or uses occupy the same building, the parking shall be calculated based upon the floor area of each tenant. In the event that all or some of the tenants are not known, City staff, in concert with the developer/property owner, shall make assumptions as to the mixture of likely tenants to establish a base level of parking.

<sup>3</sup> A maximum of 15% of the required parking spaces may be located within truck parking areas without meeting the landscape and shade requirements as defined by the Zoning Code that is in effect at the time a project is submitted. This in no way limits the amount of passenger vehicles that may park in truck parking areas if the parking requirements of the City of Eastvale Zoning Code are met.

# Development Criteria

## Parking - Shared

- The implementation of a shared parking agreement is intended to serve tenants with distinctly different peak hour parking demands.
- Sufficient evidence shall be presented to the Planning Director to demonstrate that no substantial conflict in the principal hours or periods of peak demand will exist between the uses or structures which propose to share parking.
- The uses or buildings for which an application for shared parking is being made shall be located within 150 feet of the parking area to be shared.
- No more than 50 percent of the parking space requirement shall be met through shared parking.
- Parties sharing off-street parking facilities shall provide evidence of a reciprocal parking agreement for the joint use by a legal instrument approved by the Planning Director.

## Parking – Off-Site

- Off-site parking shall be constructed and landscaped to the same standards that apply to on-site parking.
- Off-site parking shall be provided for a particular user or parcel with access controlled via signage entry controls or other means specified through the conditional use permit process.
- The design and layout of off-site parking shall be subject to approval of a Major Development Review per the Eastvale Zoning Code.

## Loading

- In the Business Park Land Use Planning Areas, each tenant is permitted a maximum of one dock high loading door per 8,000 square feet (maximum 5 dock-high doors per 40,000 square feet) and up to 2 roll-up doors.
- Loading docks shall not be located directly in front of a driveway unless there is a minimum of 150 feet of separation between the dock and the driveway.
- A minimum of 120 feet unobstructed clearance, measured perpendicularly from the face of the truck loading door, shall be required for loading areas.
- Dock high doors and roll-up tenant doors will be screened with landscape treatment to prevent visibility from the public-right-of-way.

## *Performance Standards*

### *Sustainability*

- The GCCE shall be developed to meet the California Green Code building standards adopted by the City. It should be noted that this plan already incorporates several sustainable features including:
  - Green infrastructure to collect stormwater on-site through the use of stormwater management practices such as the incorporation of infiltration basins and bioswales.
  - Sustainable landscaping and efficient irrigation practices to promote water conservation and reduce water demand.
  - Building-level sustainability practice related to indoor/outdoor air quality, lighting, and building envelope.
  - Resource conservation practices addressing water, energy heating, ventilation and air conditioning (HVAC), mobility, and solid waste.

### *Noise and Vibration*

- Noise and vibration control shall comply with the United States Department of Labor Occupational Safety & Health Administration, the City of Eastvale Zoning Code that is in effect at the time a project is submitted, and mitigation measures from the certified environmental impact report prepared for this Specific Plan.
- Due to the proximity to residences, drive-through and delivery operations shall be limited to the hours of 7:00 am to 10:00 pm, Monday through Friday, and 9:00 am to 10:00 pm on weekends and holidays in the Business Park land use areas, unless noise mitigation measures are provided to the City's satisfaction to address potential noise impacts on adjacent noise-sensitive uses. There are no restrictions on the hours of operations in the Commercial Retail or Industrial land use areas unless specifically enacted as a condition of approval for the establishment of a particular use.

### *Odor*

- The creation of noxious odor from construction, operation, or maintenance of the project shall be regulated as defined by the Zoning Code that is in effect at the time a project is submitted and any applicable standards of the United States Department of Labor Occupational Safety & Health Administration.

### *Particulate Matter*

- The management of particulate matter, also known as airborne dust, from construction, operation, or maintenance of the project shall comply with the United States Department of Labor Occupational Safety & Health Administration standards, the City of Eastvale Zoning Code that is in effect at the time a project is submitted, and mitigation measures from the certified environmental impact report prepared for this Specific Plan.

### *Property Maintenance*

Conditions, Covenants and Restrictions (CC&Rs) shall be adopted to provide strict control over the development, construction, and maintenance of all properties within the project. This is essential to achieving and maintaining the high level of development quality envisioned for the GCCE over time. All properties shall be maintained in an acceptable condition, which necessitates the following activities.

- Removal of trash, discarded materials, and equipment.
- Removal of trailers or other vehicles either unrelated to the on-site business or in a deteriorated or incomplete condition.
- Removal of containers or shipping materials after their function is accomplished.
- Irrigation, seeding, pruning, and necessary replanting of landscaping areas.
- Painting or appropriate preservation of building façades and walls.

## *Walls, Screening, and Refuse Receptacles*

- Walls and screening (including landscaping) shall not impede the visibility of driveways and intersections, as defined by the Zoning Code that is in effect at the time a project is submitted.
- The Police Department shall be consulted regarding any safety concerns that may result from proposed walls or screening. The Planning Director shall balance the applicant's security needs with aesthetic and police concerns in any recommendations for modifications to proposed walls and screening.

## *Walls and Fences*

- Walls and fences shall be allowed provided they meet the following requirements:
  - The height of walls and fences shall be measured from the top of the highest adjacent grade. Unless otherwise noted or if adjacent to an exterior public street, the measurement shall be taken from the side of the exterior public street.
  - Landscaping shall be used to screen walls or fences that are visible from an exterior public street and that exceed 50 feet in uninterrupted length.
  - Unless otherwise noted, solid masonry walls shall be a minimum of 6 feet in height and a maximum of 9 feet in height as seen from public view.
    - When a retaining wall is necessary, combined retaining walls and walls shall be permitted as long as they do not exceed a combined total height of 15 feet as measured from the lowest adjoining grade if the walls are not visible from a public street.
    - If the walls are visible from a public street the maximum combined total height is 9 feet.
  - All fences and walls shall be designed to be compatible with the overall architectural style, of a durable quality, and of a color and material complementary to the overall physical design.
  - The following types of materials are acceptable:
    - Concrete masonry walls (CMU)
    - Bricks
    - Tile
    - Tilt-up concrete
    - Tubular steel
  - The following types of fence materials are prohibited:
    - Barbed wire
    - Wood
    - Wire
    - Corrugated metal
    - Electrically charged fences
    - Plain, exposed plastic concrete/PCC
    - Chain-link with or without grape stake fencing or similar materials (may be used on a temporary basis during construction)



### *Utilities and Equipment*

- All utility connections shall be coordinated with the development of the site and will not be exposed, except where deemed appropriate or necessary by the City or the local utility provider.
- All electrical distribution less than 66 kv, telephone, cable TV, and similar service wires and cables shall be installed underground or within buildings.
- Utility equipment, such as surface-mounted transformers, pedestal-mounted terminal boxes and meter cabinets, and sprinkler manifolds, may be placed aboveground, provided they are screened from view as required by the local utility provider.
- All roof-mounted equipment, including but not limited to, mechanical equipment, tanks, and ducts, shall be screened on all sides from street-level public view and neighboring structures by a parapet wall, decorative enclosure, or other architectural element. Equipment screening shall be designed and painted to match the building and shall be equal to the maximum height of the equipment. All vent pipes and similar devices that are attached to the building shall be painted to match the building. All roof- access ladders shall be screened from view or painted to match the building.
- All walls, fencing, or screening materials shall be maintained in a physical state similar to that at the time of installation. Repair and/or replacement of damaged, defective, or severely weathered materials shall be completed immediately upon occurrence or within a minimum of 20 days of notification by the City.
- Ground-mounted equipment, including heating and air conditioning units and trash receptacles, shall be completely screened from view from surrounding properties through the use of screen walls, landscaping, or other methods.
- All serving utilities shall be installed underground.
- Multitenant spaces are permitted to be metered individually, in clusters, or submetered.

### *Loading and Storage*

- All storage, including cartons, containers, materials, or trash shall be shielded from view within a building or an area enclosed by a solid fence, wall, or other screening mechanism approved by the Planning Department with input from the Police Department.
- Loading docks and outdoor storage areas that directly face exterior public streets (Cantu-Galleano Ranch Road, Bellegrave Avenue, and Hamner Avenue) shall be screened from pedestrian-level view by any combination of landscaping, berms, decorative walls, or fencing.
- Loading docks and outdoor storage areas that directly face I-15 shall be screened by any combination of landscaping, berms, fencing, or walls.

## Development Criteria

- Loading docks, outdoor storage areas, and on-grade loading areas not related to large trucks (4 axles) that face directly onto interior streets are not required to be screened; however, physical separation and landscaped elements are necessary to soften and interrupt direct views of the loading areas.
- At a minimum, a 20-foot-wide landscaped planting area shall be provided along the sidewalk edge when loading docks face directly onto interior Streets A and B and shall include any combination of landscaping, berms, fencing, or solid walls.
- Enclosed service areas or private drives serving multiple tenants need only provide screening at access points.

### *Refuse and Recycling Receptacles*

- Trash enclosure designs and installations will be reviewed by the City during development review for individual parcels, per Chapter 5, *Implementation and Administration*.
- Refuse and recycling receptacles shall be completely screened from public rights-of-way at the pedestrian level through site orientation, enclosures, and/or landscaping.
- All development shall be provided with the number and size of trash and recycling receptacles required as defined by the Zoning Code that is in effect at the time a project is submitted.
- Stormwater pollution from refuse storage areas shall comply with requirements as defined by the Zoning Code that is in effect at the time a project is submitted.

### *Water Quality Facilities*

- Water quality facilities shall be permitted in all land use areas and will be reviewed on a case-by-case basis by the City Engineer.
- Water quality control features may include drainage swales, detention basins, and other facilities and may be included in required landscape coverage calculations with the approval of the Planning Department.
- All water quality facilities will be: 1) screened with plants or fencing, 2) landscaped in a manner consistent with the approved landscaped plans for the surrounding properties, or 3) designed to serve as functional open space, such as a park.
- Grading and building layout will determine the final location of onsite water quality facilities.

### *Temporary Outdoor Activities*

Temporary outdoor activities are events (with or without charge) that are held outside on public or private property on a short-term basis. Temporary outdoor activities shall comply with the standards as defined by the Zoning Code that is in effect at the time a project is submitted.

# Mobility Plan

The envisioned internal vehicular circulation system is designed to work with the existing framework of roads in the City. The streets hierarchy and signalized intersection locations are identified in Figure 5-1, Vehicular Circulation Plan, in Chapter 5, *Implementation and Administration*.

## *Development Criteria*

- Street sections are provided in Figures 2-3 to 2-9. Note that street widths, lanes, and amenities are subject to change with City approval as a minor revision per Chapter 5, *Implementation and Administration*, and as consistent with the traffic study prepared for the project.
- Truck traffic is not permitted to travel to Bellegrave Avenue from the Industrial land use area. To prevent this and restrict truck traffic to Cantu-Galleano Ranch Road and Hamner Avenue, there shall not be direct vehicular access on internal streets between the southern Business Park area and the Industrial land use areas.
- The signalized intersection off of Hamner Road shall either be aligned or appropriately off-set with those in the New Model Colony in the City of Ontario to the west.
- High-profile cargo trucks are permitted to enter and exit the project via Cantu-Galleano Ranch Road and Hamner Avenue; both are modified urban arterial highways.

## *Pedestrian and Bicycle Mobility*

Pedestrian and bicycle mobility are mainly provided along roads and sidewalks, as shown on Figure 5-2, Non-Motorized Circulation Plan in Chapter 5, *Implementation and Administration*. In addition, pedestrian and bicycle mobility will be provided internally within each development to allow connectivity from the streets to the businesses themselves. The following policies shall direct the development of the pedestrian and bicycle system in the GCCE:

- Commercial and office developments shall provide pedestrian connections from the streets to the interior of the project that minimize conflicts with vehicular traffic. This may mean sidewalks at main access points or other clearly marked, safe alternatives.
- Pedestrian access to and from the site will be provided by sidewalks and crosswalks along the perimeter of the project site.
- Sidewalks shall be as shown on Figures 2-3 to 2-9.
- A connection for pedestrians and bicycles shall be provided between the southern Business Park area and the Industrial land use areas. If not located on a street, the connection shall consist of a minimum 10-foot- wide concrete path with landscaping on each side.
- A connection for pedestrians and bicycles shall be provided between the Business Park on Hamner Avenue and the adjacent Commercial/ Retail use.
- Bicycle parking shall be provided per the California Green Building Standards Code or the Eastvale Zoning Code that is in effect at the time a project is submitted, whichever is higher.

### *Exterior and Interior Streets*

Exterior public streets are Cantu- Galleano Ranch Road, Bellegrave Avenue, and Hamner Avenue.

Interior streets A and B are designed to provide vehicular access to the commercial and industrial areas and non-vehicular connectivity between the land use areas. If provided in the future, streets A and B are also wide enough to allow bus stops.

Other interior streets are



## Landscape Plan

- All planting and irrigation will comply with Ordinance No. 859 and with the “County of Riverside Guide to California Friendly Landscaping.”
- All plant materials shall comply with Appendix A, *Plant Palette*.
- Non-potable water shall be utilized for landscape irrigation if facilities are made available in the project vicinity by the water purveyor.
- Permanent, 100 percent automatic irrigation facilities shall be provided in all landscaped areas.

### *Common/Perimeter Landscaping*

- Landscaping in the public right of way shall be as shown Figures 2-3 to 2-9. Note that landscaping widths and materials depicted on the Figures are subject to change with City approval as a minor revision per Chapter 5, *Implementation and Administration*.

### *Private Landscaping*

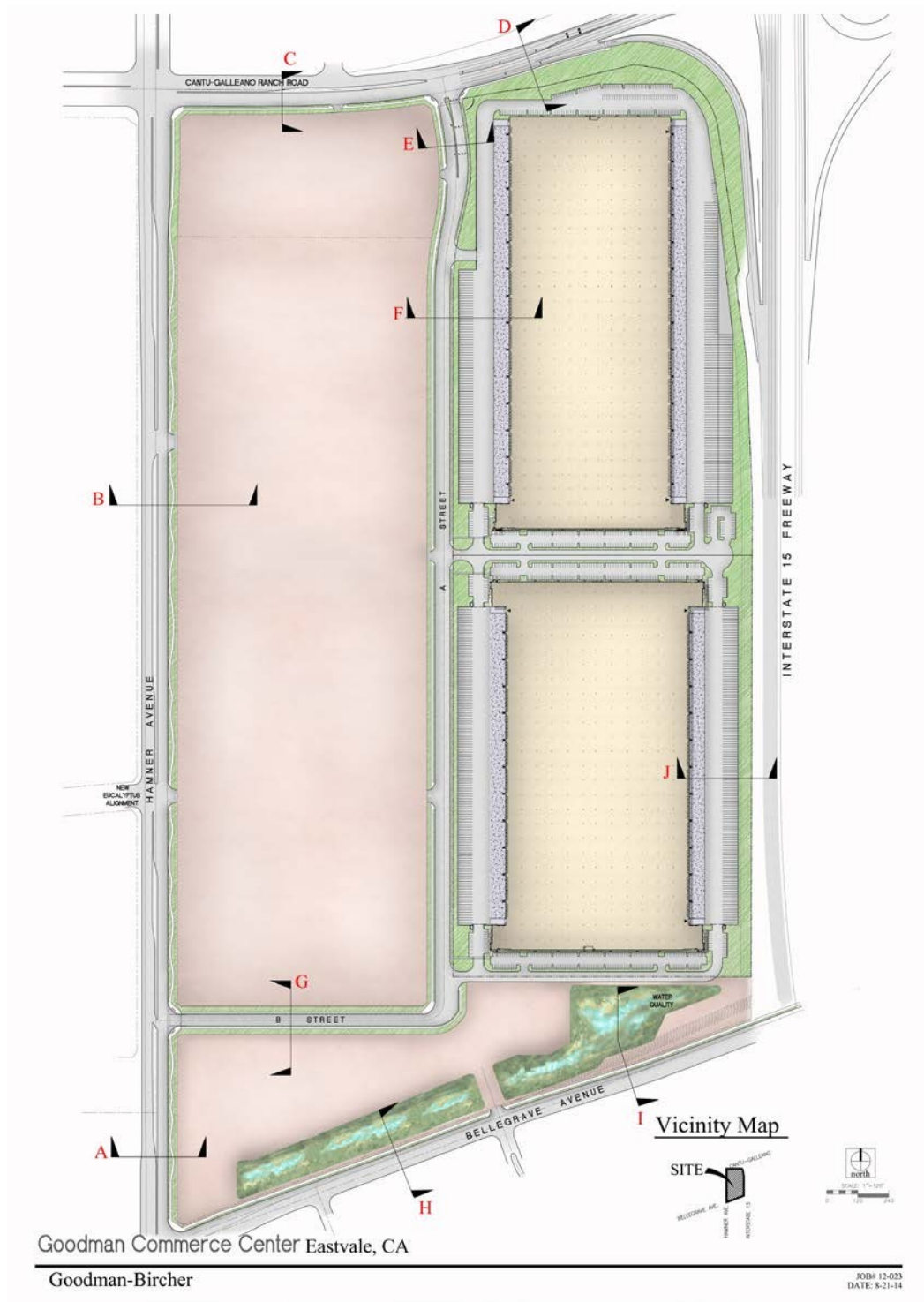
- All landscaping for individual parcels and water quality facilities must be consistent with the master landscape plan as addressed in Chapter 5, *Implementation and Administration*.
- A minimum percentage landscaping in each land use area is provided in Table 2-3.
- Landscape coverage shall be calculated from the property lines of individual buildings and perimeter property lines of multi-tenant developments. Items that may be counted toward the landscape coverage provisions include: ground-floor patios or courtyards, landscaped parkways, parking lot planters, water features, pedestrian pathways, planter areas, water quality facilities, landscape easements, and turf areas. Landscape coverage shall not include streets, driveways, or parking spaces.
- All privately controlled setback areas fronting a public street shall be landscaped and permanently maintained so that plants are healthy and planting areas are routinely manicured.
- Landscaping, planted berms, or walls up to 3 feet in height may be provided in parking areas facing public streets to provide screening from headlights. Landscaping or planter berms shall not interfere with vehicular sightlines at driveways and intersections.
- Shading requirements in passenger vehicle parking areas are subject to the Eastvale Zoning Code that is in effect at the time a project is submitted.
- A minimum 20-foot-wide landscaped planting area shall be provided along the sidewalk edge when loading docks face directly onto an interior street and shall include any combination of landscaping, berms, fencing, or solid walls.



*Landscaping helps to screen parking and add visual appeal.*

Planters or end islands shall be provided to physically and visually separate the ends of parking bays from drive aisles. Planters shall be a minimum of 5 feet plantable area in width and contain landscaping to screen parking spaces and trees to provide shade.

**Figure 2-2 Street Section Locations**

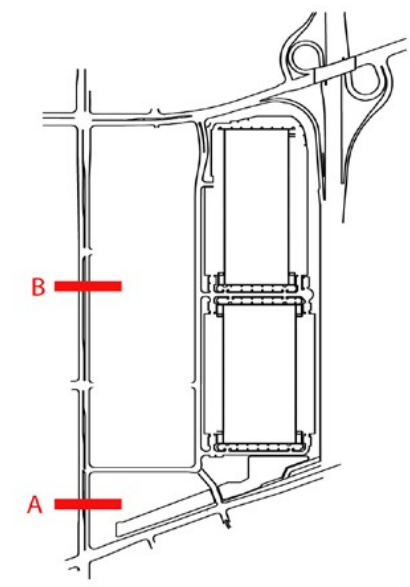
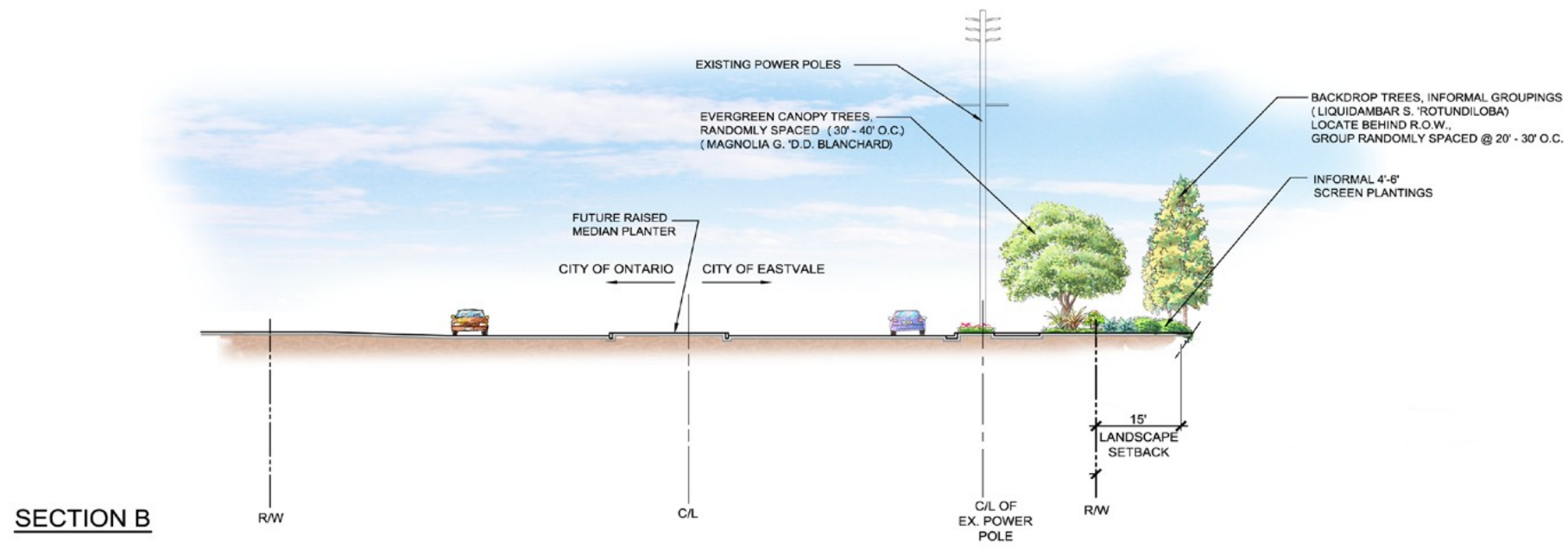
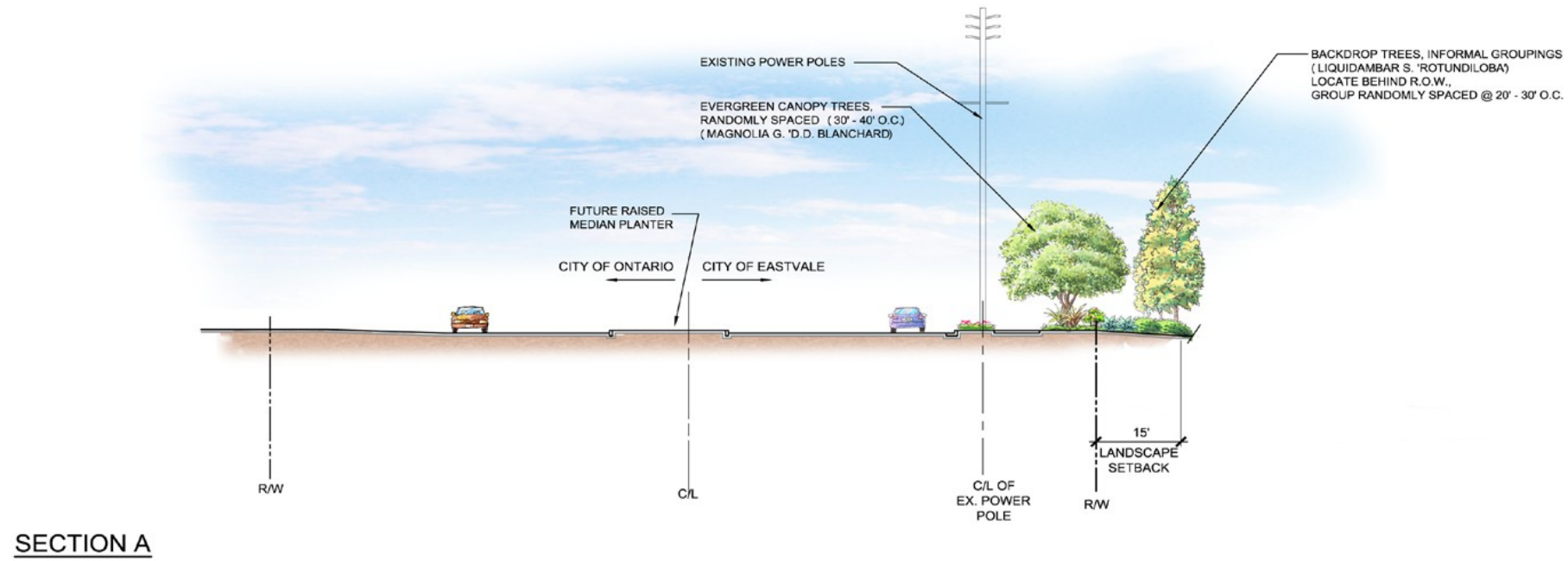


Not to Scale  
 Source: SiteScapes

# Development Criteria

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Figure 2-3 Hamner Avenue Sections A and B (Modified Urban Arterial)



Section Key Map  
Not to Scale

Eastvale Commerce Center - Eastvale, CA

HAMNER STREETSCAPE (SECTIONS)

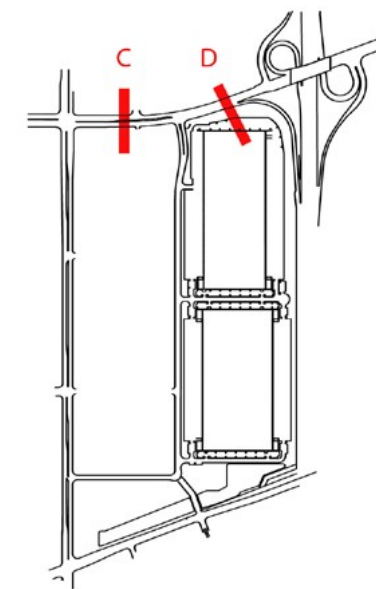
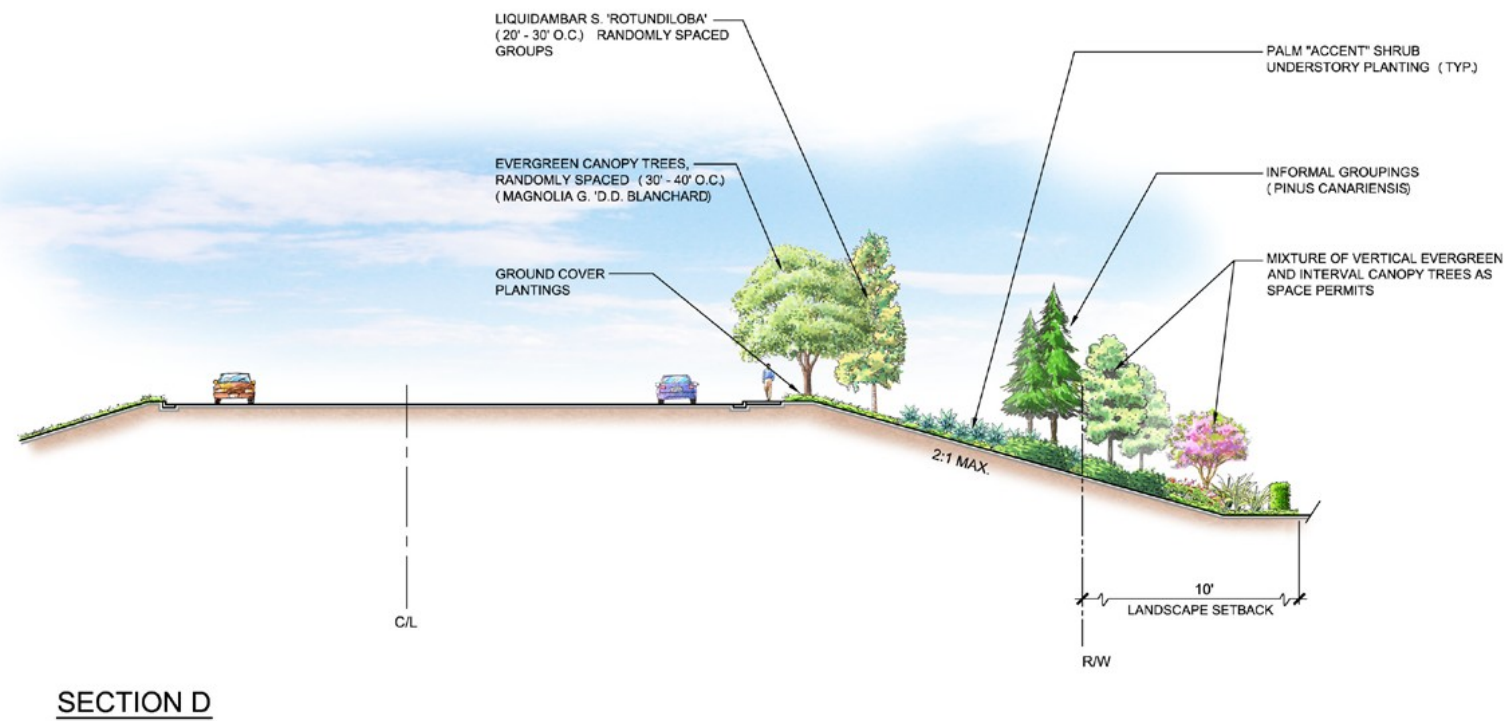
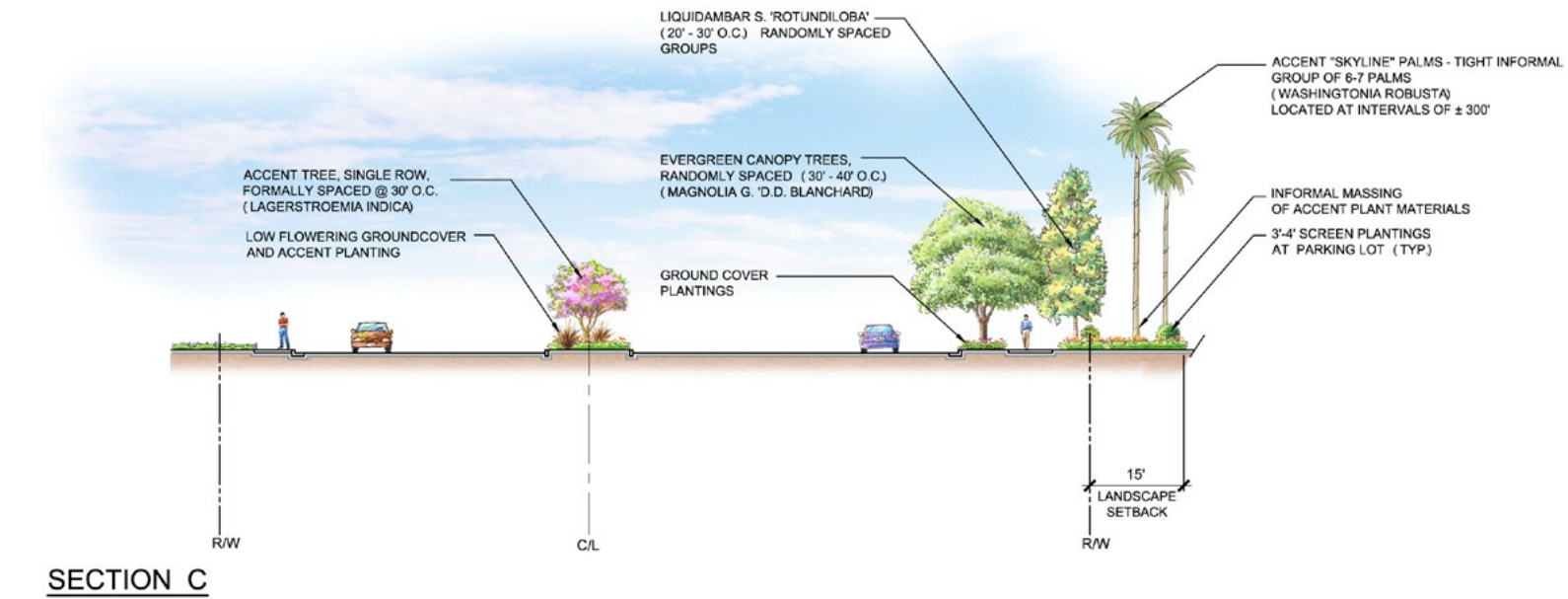


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Figure 2-4 Cantu-Galleano Ranch Road Sections C and D (Modified Urban Area)



**Section Key Map**  
Not to Scale

Eastvale Commerce Center - Eastvale, CA

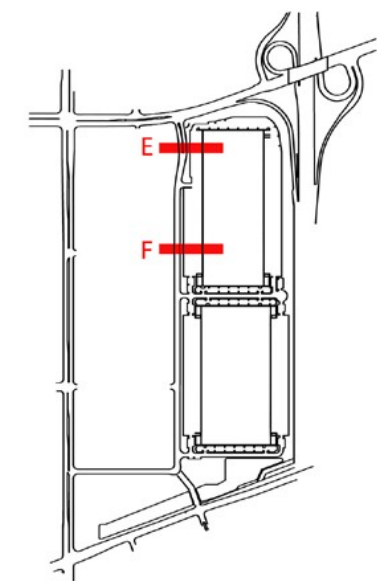
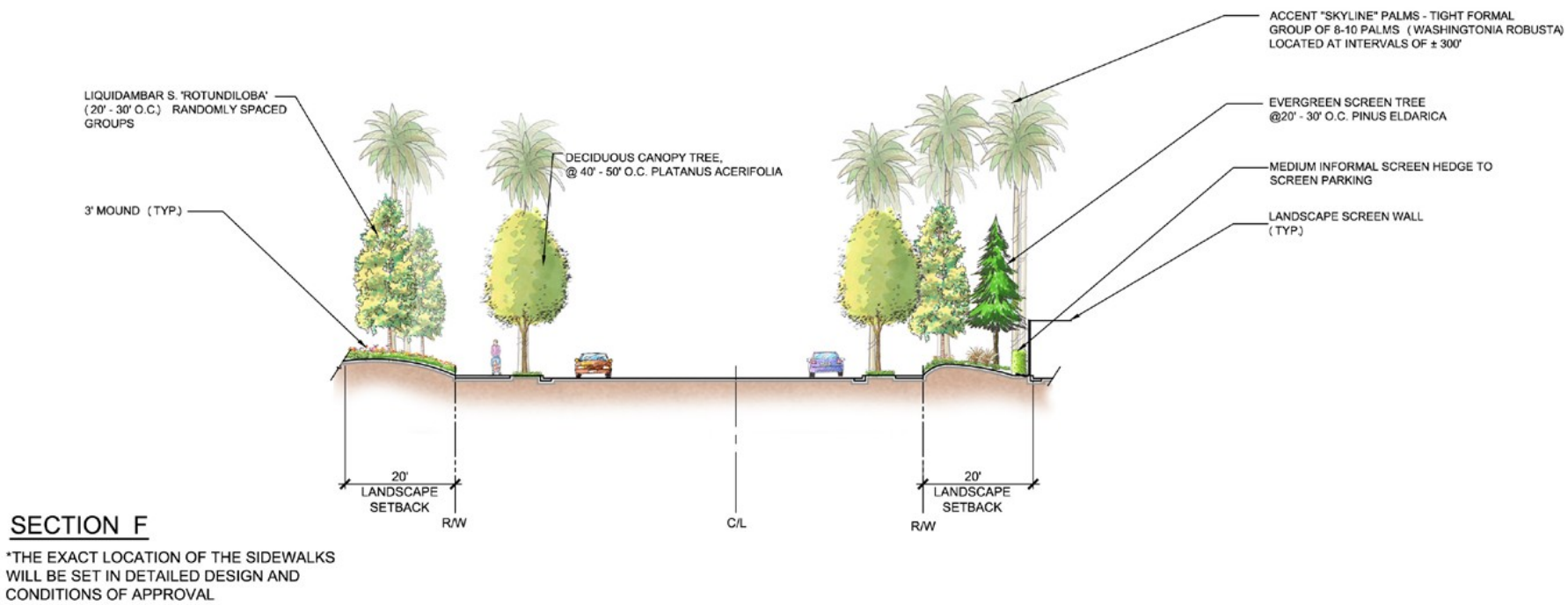
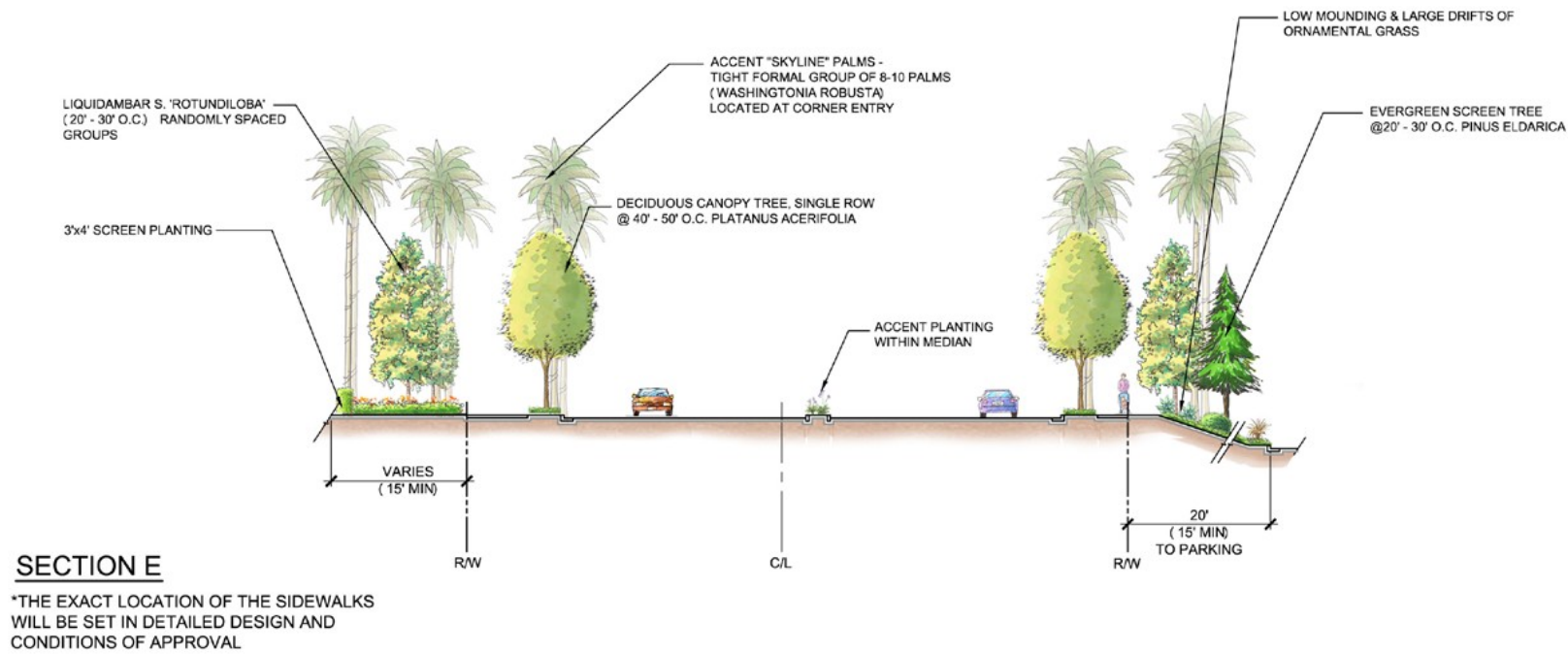
CANTU-GALLEANO RANCH ROAD STREETSCAPE (SECTIONS)



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Figure 2-5 'A' Street Sections E and F (Modified Industrial Collector)



**Section Key Map**  
 Not to Scale

**Eastvale Commerce Center - Eastvale, CA**

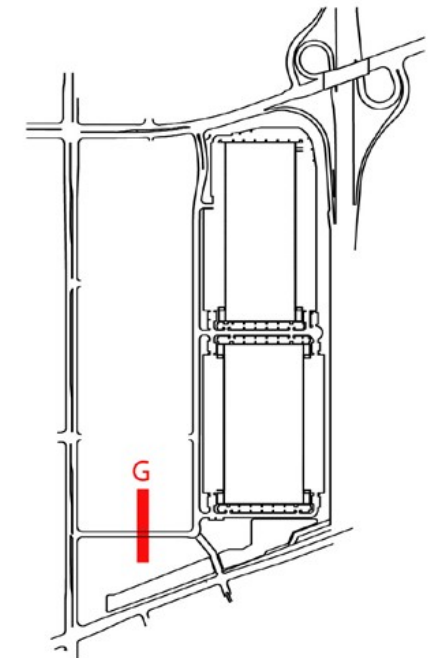
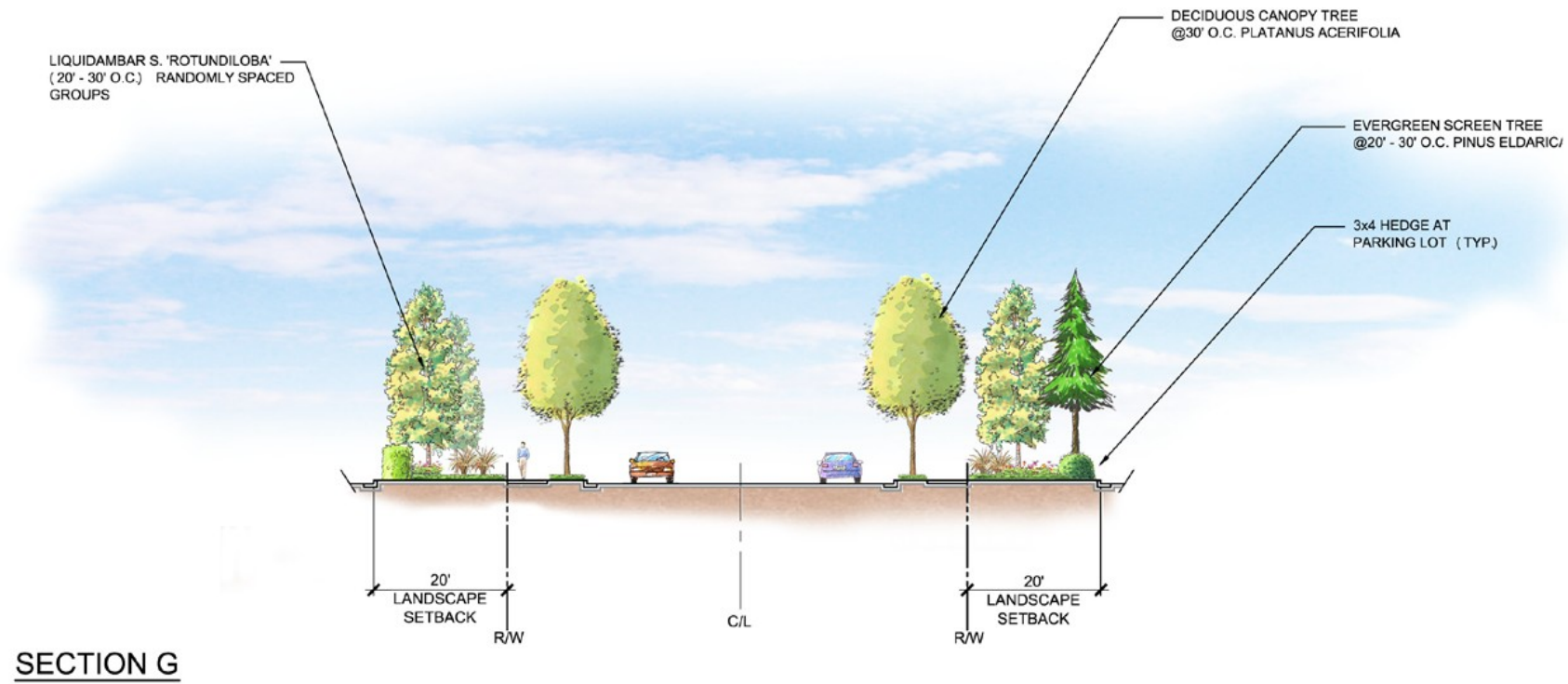
**'A' STREET STREETScape (SECTIONS)**



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Figure 2-6 'B' Street Section G (Modified Industrial Collector)



Section Key Map  
Not to Scale

Eastvale Commerce Center - Eastvale, CA

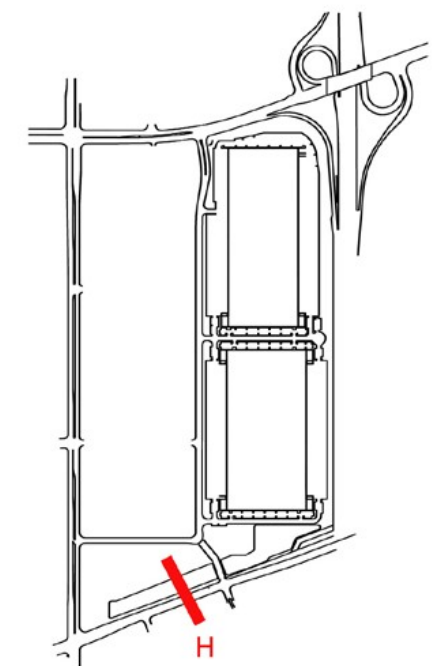
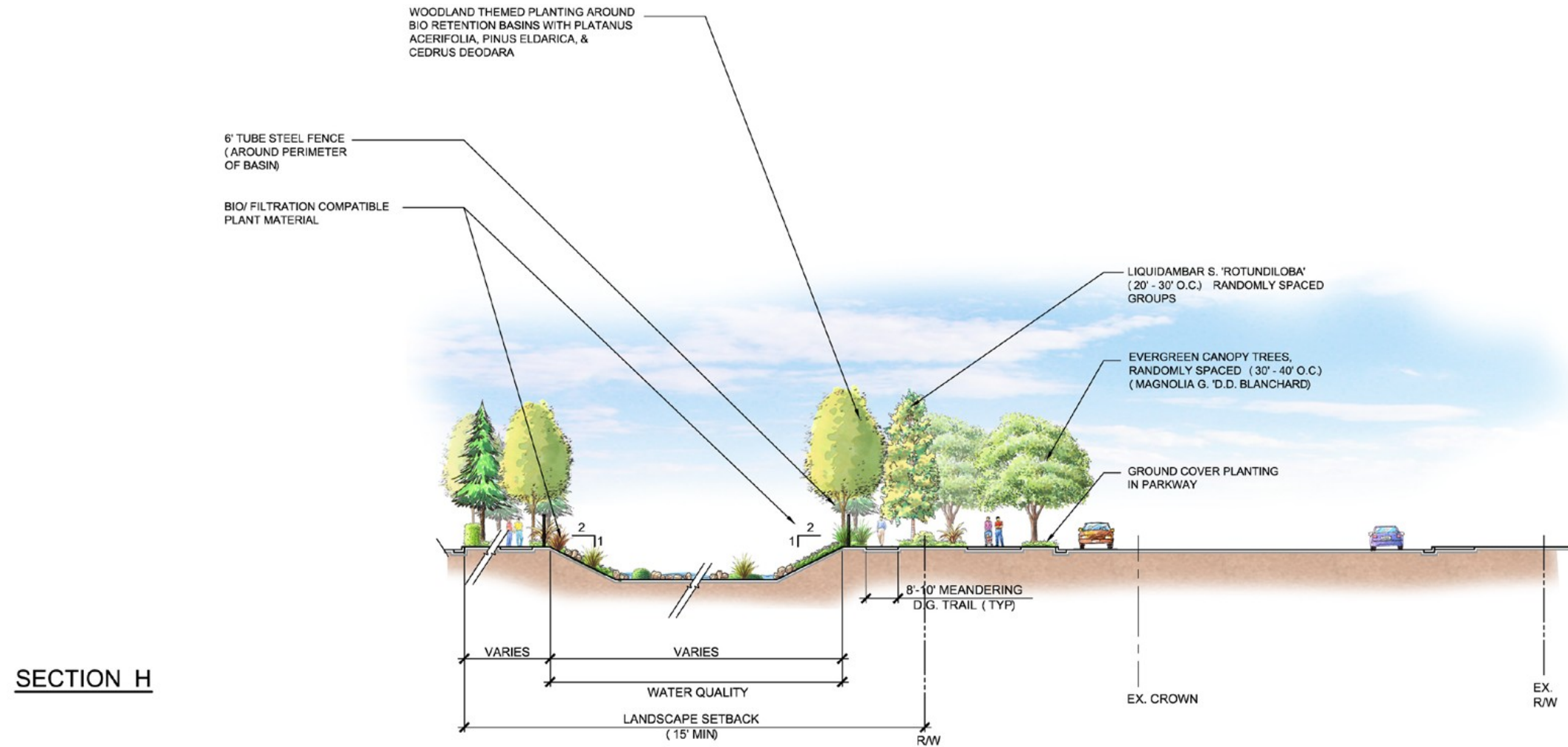
'B' STREET STREETSCAPE (SECTION)



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Figure 2-7 Bellegrave Ave Street Section H (Modified Major Highway)



Section Key Map  
Not to Scale

Eastvale Commerce Center - Eastvale, CA

BELLEGRAVE AVE. STREETScape (SECTION)

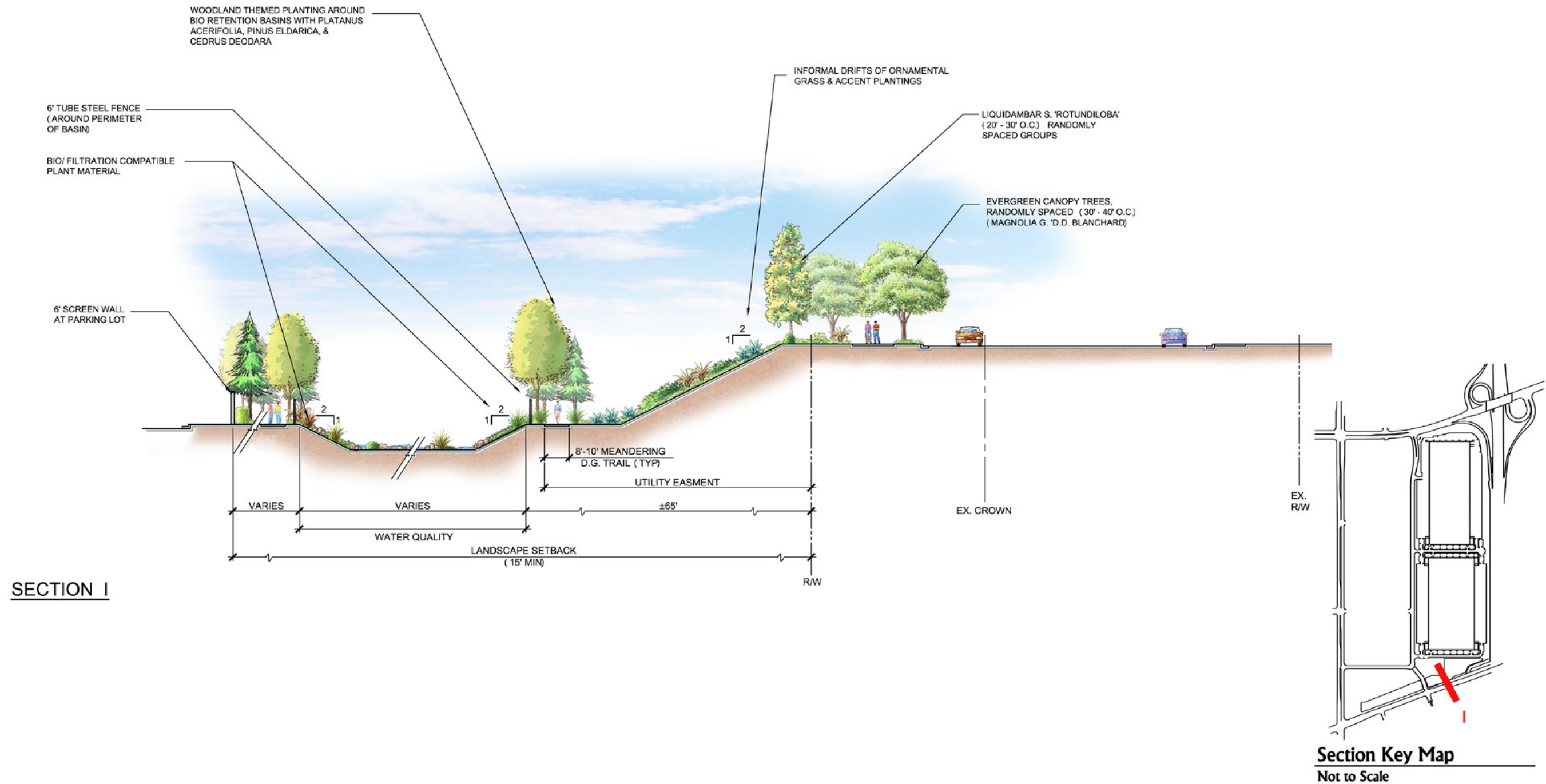


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Figure 2-8 Bellegrave Ave Street Section I (Modified Major Highway)



Eastvale Commerce Center - Eastvale, CA

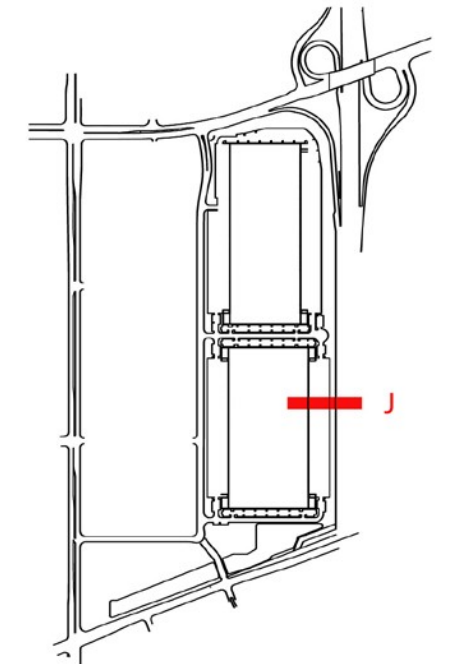
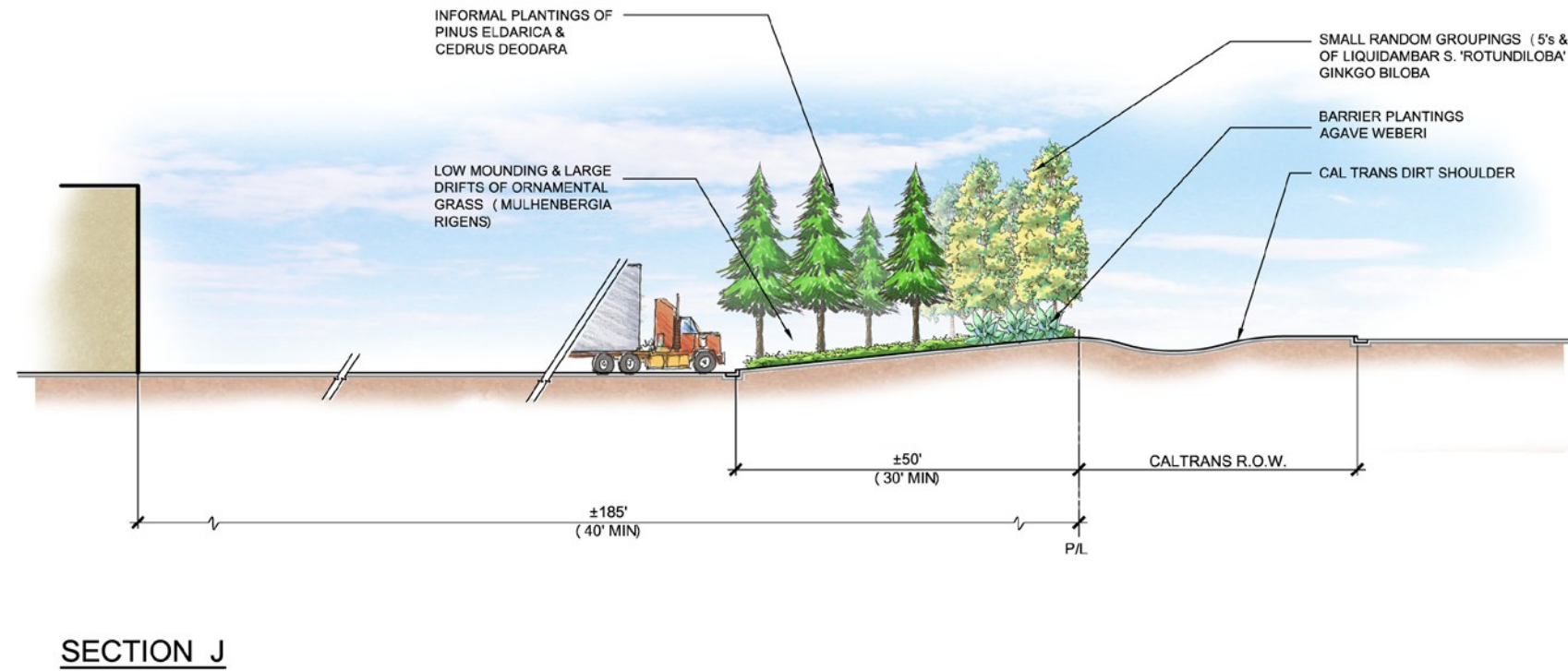
BELLEGRAVE AVE. STREETSCAPE (SECTION)



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Figure 2-9 Industrial Area and Caltrans Right of Way Section J



**Section Key Map**  
Not to Scale

**Eastvale Commerce Center - Eastvale, CA**

STREETSCAPE (SECTION)



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# Grading and Infrastructure Plans

## *Phasing and Approvals*

Grading and infrastructure will be built as described below and illustrated in Chapter 5, *Implementation and Administration*. Prior to any grading or development in the Specific Plan area, master grading and infrastructure plans will be submitted as described in Chapter 5, *Implementation and Administration*.

The phasing of infrastructure is described in Chapter 5.

## *Drainage Plan*

This Specific Plan is within the Riverside County Flood Control and Water Conservation District. An existing 60-inch storm drain and the County Line Channel are on the southwestern end of the Specific Plan site, along Bellegrave Avenue. Additional drainage facilities are proposed to serve the project, including the 72-inch north-south and 36-inch east-west storm drains. The Drainage Plan is shown in Chapter 5, *Implementation and Administration*.

## *Drainage Planning Regulation*

- The final design and location of drainage facilities will be determined through parcel map and grading permit procedures. The final drainage plan will be reviewed by the City during development review, per Chapter 5, *Implementation and Administration*.

## *Grading*

The current condition of the site is generally level, but grading will be necessary to accommodate this Specific Plan. This Specific Plan does not require that the site be graded in a particular way, but does require that the regulations below be followed in the design of all grading plans.

## *Grading Planning Regulations*

- The project area will be graded to balance onsite. All sloping of grades shall be behind pedestrian or bicycle paths.
- The grading plan shall show the drainage of all planting areas and the height of mounds. Mounds shall not exceed three-to-one slope, and no mound over thirty inches high shall be placed within ten feet of any street and/or alley intersection.
- Retaining walls shall have a maximum exposed height of 8 ft. measured from the lowest ground elevation.
- Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved by the City Engineer.
- Any grading which includes 50 or more cubic yards of grading requires a grading permit from the Public Works/Engineering Department.

## Development Criteria

- All grading shall conform to the California Building Code and to all other relevant laws, rules and regulations governing grading in the City of Eastvale.
- Grading plans will be reviewed by the City during development review, per Chapter 5, *Implementation and Administration*.

### *Water Plan*

The Jurupa Community Service District provides water and wastewater services to Eastvale. There are existing water lines west of the Eastvale Commerce Center site along Hamner Avenue. The Water Plan is shown in Chapter 5, *Implementation and Administration*.

### *Water Planning Regulation*

- The water plan will be refined during the parcel map process. The final water plan will be reviewed by the City and the Jurupa Community Services District during development review, per Chapter 5, *Implementation and Administration*.

### *Wastewater Plan*

A Jurupa Community Services District wastewater line is located along Hamner Avenue, but was designed to receive primarily industrial waste. Additional wastewater lines may be necessary to transport non-industrial waste to the Western Riverside County Regional Wastewater Authority Regional Wastewater Reclamation Plant.

The Sewer Plan is shown in Chapter 5, *Implementation and Administration*.

### *Wastewater Planning Regulations*

- The location of wastewater infrastructure needed to serve the project will be refined during the parcel map process. The final wastewater plan will be reviewed by the City during development review, per Chapter 5, *Implementation and Administration*.

## 3: DESIGN GUIDELINES

### Introduction

#### *Overall Design Treatment*

The Goodman Commerce Center at Eastvale (GCCE) accommodates three distinct business types, each with its own design requirements: commercial with greater levels of pedestrian and public use; business park with greater levels of employee use; and industrial/warehousing with the need to accommodate larger buildings and truck loading areas. The proposed Hospital use may incorporate elements of several of these styles, depending on the size and use of any particular building in the hospital complex.

The main aesthetic distinction between these three business types will be in the level of design detail – areas with greater public visitation will receive greater levels of design treatments. While each of the three business types may have different design requirements, the perimeter or common areas (streets, landscaped edges, streetscape, and signage) will tie the entire development together.

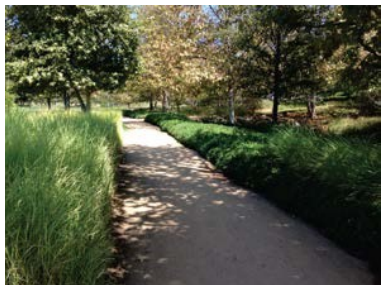
There is no single architectural design theme for the buildings in the three areas. The only requirement is that the buildings within the same land use area be designed with complementary architectural treatments. This allows for creativity and some level of distinction in each building.

#### *Use of these Design Guidelines*

These design guidelines are intended to result in development that is attractive, cohesive, integrated, and energy efficient. These guidelines are not strict standards, which are contained in Chapter 2, *Development Criteria*. Instead, flexibility and subjectivity is purposefully built in to encourage creativity, respond to tenant needs, and allow distinctions that create visual interest. The application of these guidelines will vary based upon the use (e.g. commercial retail, business park, and industrial), level of pedestrian and public exposure, and prominence of features. For example, the level of building articulation and detailing appropriate for the entry or public plaza in a retail area will differ from that expected in the loading area of an industrial building. Proposals that meet the spirit and intent of these guidelines may be considered consistent with the Specific Plan.

The reviewing body will determine if the proposal meets the spirit and intent of these guidelines as is or if modifications are necessary.

These guidelines are arranged to address the differing scales of the development process: the framework of the perimeter/common areas and the design treatments for the commercial retail, industrial, and business park land use areas.



Examples of appropriate pedestrian connections along the perimeter (top), between perimeter and building (middle), and within a development (bottom)

## Framework Design Guidelines

Framework design guidelines address overall project identity through the treatment of perimeter or common areas (e.g. streets, landscaped edges, and streetscape). Perimeter entry signage is addressed in Chapter 4, *Signage*.

### *Pedestrian Connectivity*

- The location and design of pedestrian accessways will be determined in detailed site plans during development review, as described in Chapter 5, *Implementation and Administration*.
- Pedestrian routes shall be attractive and safe, and, where appropriate, incorporate pedestrian amenities such as benches, shaded areas, and lighting.
- Pedestrian-scale lighting (e.g. fixtures less than twelve feet tall), should be strategically located to illuminate entries, courtyards, and pathways and, if necessary, to augment the light provided by nearby streetlights and parking lot lights such that safe passage is provided along key paths, crossings, and ramps.
- Pedestrian connections shall link shopping, industrial, and office uses where safe and appropriate.
- As required by the building code, bike racks shall be located at strategic points throughout the project, especially in retail areas, to encourage non-vehicular circulation.
- The pedestrian connection between the industrial and the southern business park land use area along Belgrave Avenue (exact location and design) will be determined in detailed site plans during development review.
- The connection between the business park located on Hamner Avenue and the adjacent commercial/retail planning areas (exact location and design) will also be determined in detailed site plans during development review.

### *Perimeter Landscaping and Streetscape*

- Perimeter landscaping and streetscape is shown on the street sections, Figures 2-5 through 2-9 and will be reviewed during the development review of the first phase of the project, as described in Chapter 5, *Implementation and Administration*.
- Landscaping within setbacks and along pedestrian paths should consist of informal groupings of shade trees, shrubs, and plantings. Native and other low-water using species should compose the majority of landscaping; however, turf areas may be provided as accents and in areas intended for active use (for example, a picnic area for employees).
- Landscaping along the street edges should be selected and located to allow building entries and signs to remain, for the most part, visible from the street. Trees species with large canopies should be selected to maintain views of the signs and entries from beneath the canopies at mature heights.



- Water usage should be minimized through the planting of native and low-water species and the utilization of water-efficient and drip irrigation systems, as dictated in Chapter 2, *Development Criteria*.
- As practical, utilize medians, areas between buildings, landscape buffers, and parkways for water treatment and to reduce runoff.
- Landscaping will be used to buffer adjacent land uses that are different in scale, use, or design.
- Streetscape elements, such as landscaping, lighting, street furniture, and signage shall complement the surrounding architectural styles and create an attractive, consistent, and cohesive image.
- Landscaping shall be located so it does not impede the clear area of driveways and intersections, as defined by the Zoning Code that is in effect at the time a project is submitted.
- Particulate absorbing vegetation shall be used in the landscape setback along Interstate 15 and around the detention basins between the Industrial Planning Area and Bellgrave Avenue.

### *Perimeter Walls, Fences, and Screening*

- Perimeter walls, fences, and screening will be finalized during development review.
- The appearance of walls longer than 50 feet and directly facing primary perimeter streets shall be reduced through incorporation of any of the following features:
  - The use of bold material changes, wall decorations, plants, breaks, recesses, pilasters, and offsets, especially at entries and important intersections.
  - Modulate the setback of the wall to break up the massing.
  - The use of landscaping, including planted beds, trellised climbing vines, shrubs, trees, and potted plants.
- Wall faces that are adjacent to and directly visible from the public right-of-way (such as along Hamner Avenue) shall be screened with landscaping and/or constructed of attractive materials, such as split-face block, stone, or materials with similar visual qualities, and view fences, when utilized, shall incorporate visually attractive materials such as tubular steel. Walls and/or wall surfaces not visible to the public do not need the same level of detail. For example, split-face block would be appropriate along a perimeter street and precision block would be appropriate for the interior wall between industrial properties.
- Pilasters should be incorporated in walls at entries and important project intersections.
- Walls and fences shall be made of durable yet attractive materials that complement the adjacent architecture and, to the extent practical, are resistant to graffiti or are coated with anti-graffiti solution.
- Walls, fences, and screening shall be located and designed such that they do not impede the clear area of driveways and intersections, as defined by the Zoning Code that is in effect at the time a project is submitted.

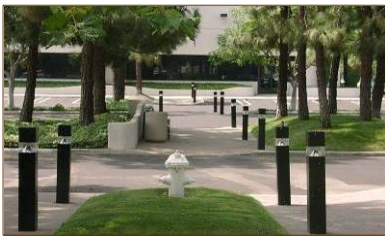


*Examples of appropriate perimeter landscape treatments that unify a development, create a distinct street scene, and help buffer or frame views as appropriate to the development type.*



*Examples of appropriate methods that can be used to screen parking lots in the industrial and business park areas.*

## *Perimeter and Common Area Lighting*



- Attractive and consistent lighting elements shall be provided along roadways within the site. The height and brightness of lights shall be as described in Chapter 2, *Development Criteria*.
- Pedestrian-scale lighting (fixtures of approximately twelve feet in height) should be provided in pedestrian areas, pathways, and common areas between buildings to illuminate and, if necessary, to augment the light provided by nearby streetlights and parking lot lights.
- The use of light bollards and other lighting methods of approximately three feet in height or less are encouraged in pedestrian areas.
- Lighting shall be designed to enhance safety and security and shielded or down-facing to minimize glare, spillover, and light pollution onto adjacent properties.

*Examples of coordinated parking lot and pedestrian lighting that would be appropriate in the industrial and business park areas (top and middle) and commercial area (bottom).*

# Commercial Retail Guidelines

## Site Design

- Commercial buildings shall front onto a street, parking lot, or connecting walkway.
- Orient buildings entries toward plazas, outdoor eating areas, sidewalks, and other public gathering places.
- Establish connections among buildings and plazas through structural and landscape elements.
- Provide an array of pedestrian amenities that are integrated into the overall design and character of development, such as seating areas, drinking fountains, landscape planters, water fountains, shade canopies, and trash receptacles.
- Pedestrian amenities such as colonnades, arcades, loggias, arches, and overhangs are encouraged to shade the pedestrian space on either floor of the retail building and at entrances.

## Parking Areas

- Parking should be located in shared facilities to the greatest extent possible.
- Large expanses of parking lots shall be broken-up with screen walls, buildings, plazas, or landscaping.
- Parking areas shall be reviewed to ensure that the clear areas for driveways and intersections, as defined by the Zoning Code that is in effect at the time a project is submitted.
- Parking areas shall be designed to minimize the conflict between pedestrian and vehicular traffic.

## Service and Storage Areas

- Where reasonably possible, commercial loading docks and storage areas should be located either behind or to the side of the building served. Screening should be used in instances where loading and storage faces the public right-of-way as dictated in Chapter 2, *Development Criteria*.
- Service-only entrances should be sited so that they do not interfere with customer access.
- Appropriate onsite service-vehicle parking and turnouts should be provided in efficient, non-obtrusive locations.

## Exterior Design

### Primary versus Secondary Exposures

- The primary exposure(s) of buildings are those side(s) of buildings that contain the main entry and face the street.
- Primary exposures should receive greater attention to design detail than those that are screened from pedestrian-level, street view by walls, landscaping, or buildings. This can be achieved through variation in form, mass, scale, modulation, colors, materials, and architectural detail.



*Examples of commercial buildings oriented to create pedestrian areas and so that entries and windows face pedestrian areas; and the appropriate attention to detail in the pedestrian areas with elements such as benches, pots, trellises, and awnings.*



*Example of a parking lot that is broken up by landscaping and pavement variations.*

# Design Guidelines



Examples of commercial buildings with appropriate levels of building form and articulation through variations in roof heights, changes in texture, materials, and color, corner emphasis, and building off-sets.

- Secondary exposures are those side(s) of buildings that face interior roadways and do not contain the main building entry.
- Secondary exposures shall be architecturally compatible with but need not be as detailed as primary exposures.
- Secondary exposures of commercial buildings greater than one story shall be articulated through the use of element such as wall-plane offsets, breaking of parapet lines, and details such as windows and shutters, material inlays, and color or texture changes.

## *Building Form, Mass, and Scale*

- Towers and other vertical/prominent building features should be used to accentuate key elements such as building entries, and pedestrian plazas or courtyards.
- Reduce the visual impact of long building facades through the use of various paint colors, building materials, recesses, offsets, reveals, decorative fixtures, landscaping, screen walls, and other methods.
- Small-scale articulation of building facades, roofs, materials, colors, and textures are appropriate at locations where pedestrians will experience them.

## *Building Articulation*

- No commercial building façade visible to the public shall have an uninterrupted length of wall measuring greater than 65 feet without including at least one of the following:
  - Change in texture
  - Change in color
  - Change in material
  - Change in plane
  - Lattice work and trellis elements (where vines can be planted)
  - Pilasters
  - Decorative light fixtures
  - Material inlays
  - Variation of architectural styles
  - Murals, graphics, or other visual variations
- Building offsets or recesses may be used to accentuate building entries and form courtyards.
- Fronting along perimeter streets (Hamner Avenue and Cantu-Galleano Ranch Road), buildings shall be articulated to create visual interest. This can be accomplished through the application of windows, arcades, trellises, awnings, and other architectural features, as well as color blocking, the appropriate application of detail elements, and breaking up the massing of the building. These elements are expected to be used for commercial and industrial development facing the freeway, but at a scale appropriate for fast moving vehicles and not for pedestrians.

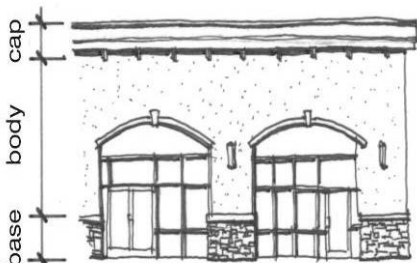


Illustration of base, body, and cap.

## Building Base

- Buildings should rest on a noticeable foundation base or pedestal to visually anchor the structure to the ground unless an acceptable alternative is approved by Planning Director.
- When used, the types of materials appropriate for the building base should project an image of durability, quality, and permanence and may include:
  - Plaster
  - Ceramic tile
  - Granite
  - Stone
  - Marble
  - Split-face concrete block

## Building Body

- Create visual rhythms in the building's middle through repetitive façade elements such as rows of windows and columns.
- Segment the building faces into a series of defined areas through the use of columns, piers, windows, awnings, and other combinations that define the vertical space.

## Building Cap

- Buildings should be crowned with a discernible roof cap or edge feature that defines the top of the building unless an acceptable alternative is approved by Planning Director.
- Appropriate elements for the cap include:
  - Protruding crown molding
  - Roof corbels supporting roof overhangs
  - Roof brackets supporting eave overhangs.
  - Shaped, foam-based, plaster-covered cornice
  - Stepped parapets
  - Textured materials, such as brick masonry
- The types of materials appropriate for the building cap may include:
  - Plaster
  - Ceramic tile
  - Granite
  - Stone
  - Marble
  - Split-face concrete block

## Corners and Towers

- When used, tower elements should be located at a focal point such as the terminus of the main entrance or at a major intersection.
- Tower elements or other prominent building features may be used to accentuate key elements such as building entries, converging walls, and pedestrian plazas or courtyards.
- Where appropriate, design building corners at highly visible locations with unique architectural features to emphasize the building entrance.



*Examples of appropriate treatments for the building base, body, and cap (top 3 photos) and an appropriate design for a commercial building without a cap and base (bottom).*

# Design Guidelines



Examples of appropriate changes in roof heights and use of tower and corner elements to distinguish entries, pedestrian areas, and break-up a building's façade.



Examples of roof forms that match the architectural style and appropriate variations in roof heights and treatments to define entries and break-up a building's façade.

## Colonnades

- If appropriate, project out or set-back upper floors to create colonnades or other pedestrian passages with access to fresh air and natural lighting.
- If used, design colonnades for pedestrian connectivity, protection from the elements, and for aesthetic appeal.
- Consistent column placement should define the arcade and frame the building façade.
- Align the openings in the colonnade with doors and windows.

## Building Entry Treatment

- Entries shall be visually appealing and identifiable through the use of elements such as changes in building massing, colors, materials, roof heights, enriched materials, architectural detailing, and the use of tower elements or recesses.
- Primary entries should be designed so they are easily recognized, are the most prominent entry for that tenant, and are readily accessible to pedestrians and in proximity to parking.
- Secondary entries should also be easily recognizable, but designed at a lesser scale than the primary entry.

## Roofs

- Roof styles and materials shall be architecturally and aesthetically compatible.
- Although the majority of roof areas may be flat, the massing of visible elevations should be broken-up with elements such as sloping roofs, including hips or gable forms (as appropriate to the primary architectural style), variation in roof heights, or parapet treatments with architectural details.
- Roof pitch shall be in proportion to the design of the building and in conformance with code regulations for the roof material.

## Screening of Refuse/Recycling Containers, Utility Equipment, and Mechanical Equipment

- Electrical and gas meters should be located on the rear or side elevation and should be clustered, screened by landscaping or walls, and/or located behind doors. Screening utility meters behind doors is not required where meters are located in screened service areas and service courts or in "back of house" areas not intended for public access.
- Screening walls and utility enclosures should be designed as integral architectural features of the building.
- Whenever possible, refuse and recycling collection or storage areas should be located behind or to the side of the building served

- Solid walls, landscaping, or trellis work shall screen any refuse containers, utility equipment, and mechanical equipment from unobstructed pedestrian-level, street view streets. This screening shall be conceived as part of the building architecture and landscape design to best blend with the overall development.
- Roof-mounted equipment shall be screened so that it is not visible from unobstructed pedestrian-level views from public streets, walks, or parking lots. Screening of rooftop equipment may be achieved by the building parapet or some other screen wall component that is consistent with the structure's architecture. This applies to all types of equipment, including mechanical equipment, communication dishes, skylights, exhaust fans, ducts, or any other non-architectural elements.
- Unless part of a design acceptable to the City, flashing and sheet metal materials shall be articulated and painted to be consistent with the overall architectural expression. Exterior downspouts should be avoided.
- All wall- or ground-mounted equipment shall be screened so that it is not visible from unobstructed pedestrian-level views from public streets or walkways in accordance with utility requirements. Screening equipment may be achieved by the building itself, a screen wall component that is consistent with the structure's architecture, landscaping and other devices acceptable to the City.

### *Screening of Loading Areas*

- To the greatest extent possible, orient storage and service areas away from public views and provide ornamental screening for utility boxes, trash bins, outdoor storage, utility boxes, and other mechanical equipment.
- Truck loading docks shall be screened from pedestrian-level, public view from the streets as detailed in Chapter 2, *Development Criteria*. Screening may be aesthetically compatible landscaping or comparable materials that blend with the architectural and landscape treatments of the site and perimeter landscaping.

### *General Architectural Features and Accents*

- One architectural style shall apply to all buildings within the commercial retail land use planning area, although variation from the chosen theme is allowed for major national retail chains that have to maintain certain characteristics for identification.
- Variation on the architectural theme is encouraged through simple changes such as color palette and entry treatments.

### *Materials and Colors*

- Color and material should be used in a way that is consistent with the overall architectural expression. Masses denoting entry points should be differentiated by material or color changes. Articulation in large wall surfaces should be reinforced with variations in color. Entry areas should have finer-textured materials and more intense colors.



*When buildings cannot be oriented so that refuse areas and utility equipment are located out of the public's view, they should be screened with architectural treatments, materials, and colors.*



*Examples of colors and materials that match the architectural style, create variety, and differentiate the base, body, and cap of a building (top 2 photos). At bottom is an example of the appropriate use of a limited color and material palette that matches the architectural style yet the building mass is broken-up by offsets, recesses, and changes in roof heights.*

# Design Guidelines

- Acceptable exterior finish materials include concrete with textured, sand-blasted, or painted finishes; stone or brick; stucco; or masonry with textured or sandblasted finishes. Glass, glazing systems, glass block, ceramic or natural stone tile, decorative metal, and metal panel systems are appropriate when used as accents. Buildings of prefabricated metal or exposed precision concrete masonry are not allowed.
- A dominant building material and color shall be clearly established in each building. Accents and variations may then occur within the background established by that dominant base. The dominant colors for buildings should be more neutral in nature, with the more intense colors used in the accents.
- Materials and colors shall match and enhance the architectural style of the building.
- Unless an acceptable alternative is approved by the City, all materials shall wrap architectural elements in their entirety on primary elevations and where exposed to primary public spaces.
- Unless an acceptable alternative is approved by the City, material changes shall occur at inside corners, edges of building planes, changes in architectural features, building-score lines, or other similar changes in a facade.



*Examples of appropriate window treatments, changes in material and colors to identify entries and storefronts, and use of awnings to frame a window bay or entrance.*

## Windows and Doors

- Windows, material changes, colors, and façade decorations should be used to create visual interest and break up flat surfaces, especially at the pedestrian level.
- Window treatments, where feasible, are encouraged. Exterior window treatments include, but are not limited to:
  - Recessing and surrounds of not less than four inches
  - Trim elements
  - Headers and sills
  - Awnings (cloth awnings should be carefully designed due to high winds)
  - Shutters (proportional to window and consistent with architectural style)
  - Mullion patterns as appropriate to the architectural style
- Awnings, when provided, shall be designed to be consistent with the architectural style and color palette of the main structure.
- Unacceptable awning treatments include: metal louvers (except Bermuda-style shutters) or untreated fabric.
- Avoid continuous awnings. Awnings should frame a segmented portion of the storefront, such as a window bay or entrance.
- Emergency exit or egress-only doors should be treated to blend in with the adjacent walls or surfaces to discourage their perception as entries.



# Industrial Guidelines

## *Site Design*

- Buildings should be oriented to facilitate the ease of truck parking and loading.
- Buildings should be designed with the vehicle in mind, requiring less pedestrian-scale articulation than buildings in the other land use planning areas.
- Create diversity by orienting buildings near courtyards and open areas where possible.

## *Exterior Design*

### *Primary versus Secondary Exposures*

- The primary exposure(s) of buildings are those side(s) of buildings that contain the main entry and face the street.
- Primary exposures should receive greater attention to design detail than those that are screened from pedestrian-level, street view by walls, landscaping, or buildings. This can be achieved through variation in form, mass, scale, modulation, and architectural detail.
- Secondary exposures are those side(s) of buildings that face interior roadways and do not contain the main building entry.
- Secondary exposures shall be architecturally compatible with but need not be as detailed as primary exposures.

### *Building Form, Mass, and Scale*

- Reduce the visual impact of long building facades through the use of various paint colors, building materials, recesses, reveals, offsets, decorative fixtures, landscaping, screen walls, and other methods.
- Small-scale articulation of building facades, roofs, materials, colors, and textures are appropriate at locations where pedestrians will experience them.

### *Building Articulation*

- No building façade visible to an exterior public street shall have an uninterrupted length of wall measuring greater than 130 feet in the industrial area without including at least one of the following:
  - Change in texture
  - Change in color
  - Change in material
  - Change in plane
  - Lattice work and trellis elements
  - Pilasters
  - Decorative light fixtures
  - Material inlays
  - Variation of architectural styles
  - Signage or other visual variations
  - A tree or equivalent landscape element



*Vertical elements create interest and bold color change denotes entry at a large scale.*



*Example of building treatments that help control the mass of industrial buildings, including use of vertical elements, building off-sets, tower elements, and varied roof-lines.*

# Design Guidelines

- Building offsets or recesses may be used to accentuate building entries and form courtyards.
- Along perimeter streets, buildings shall be articulated to create a visual interest. This can be accomplished through the application of windows, arcades, trellises, awnings, and other architectural features, as well as color blocking, the appropriate application of detail elements, and breaking up the massing of the building. This is not required on the freeway side of an industrial development, though encouraged for architectural interest.

## Building Body

- Create visual rhythms in the building's middle through repetitive façade elements such as rows of windows and columns.
- Segment the building faces into a series of defined areas through the use of columns, scoring, piers, and other combinations that define the vertical space.

## Corners and Towers

- When used, towers and other vertical/prominent building features should be used to accentuate key elements such as building entries, pedestrian plazas or courtyards, terminus of the main entrance, converging walls, or at a major intersections.
- Design building corners at highly visible locations with a unique architectural feature to emphasize the building entrance.

## Building Entry Treatment

- Entries shall be visually appealing and identifiable through the use of elements such as changes in building massing, colors, materials, roof heights, enriched materials, architectural detailing, and the use of tower elements or recesses.
- Primary entries should be designed so they are easily recognized, are the most prominent entry for that tenant, and are readily accessible to pedestrians and in proximity to parking.
- Secondary entries should also be easily recognizable, but designed at a lesser scale than the primary entry.
- When building entries are designed with a noticeable foundation base, appropriate materials include:
  - Plaster
  - Ceramic tile
  - Granite
  - Stone
  - Marble
  - Split-face concrete block



*Examples of an appropriate corner treatments as well as features such as changes in colors and scoring that articulate the body of the building.*

- When building entries are designed with a discernible roof cap or edge, appropriate elements include:
  - Protruding crown molding
  - Roof corbels supporting roof overhangs
  - Roof brackets supporting eave overhangs.
  - Shaped, foam-based, plaster-covered cornice
  - Stepped parapets
  - Textured materials, such as brick masonry
- The types of materials appropriate for the building cap may include:
  - Plaster
  - Ceramic tile
  - Granite
  - Stone
  - Marble
  - Split-face concrete block



### Roofs

- Roof styles and materials shall be architecturally and aesthetically compatible.
- Although the majority of roof areas may be flat, the massing of visible elevations should be broken-up with elements such as variation in roof heights or parapet treatments with architectural details.

*Examples of appropriate methods to distinguish building entries include the use of vertical and tower elements, windows, changes in color. These photos are also examples of buildings that are designed without the use of a discernible cap or base.*

### Screening of Refuse/Recycling Containers, Utility Equipment, and Mechanical Equipment

- Electrical and gas meters should be located on the rear or side elevation and should be clustered, screened by landscaping or walls, and/or located behind doors. Screening utility meters behind doors is not required where meters are located in screened service areas and service courts or in “back of house” areas not intended for public access.
- Screening walls and utility enclosures should be designed as integral architectural features of the building.
- Whenever possible, refuse and recycling collection or storage areas should be located behind or to the side of the building served.
- Solid walls, landscaping, or trellis work shall screen any refuse containers, utility equipment, and mechanical equipment from unobstructed pedestrian-level, street view streets. This screening shall be conceived as part of the building architecture and landscape design to best blend with the overall development.
- Roof-mounted equipment shall be screened so that it is not visible from unobstructed pedestrian-level views from public streets, walks, or parking lots. Screening of rooftop equipment may be achieved by the building parapet or some other screen wall component that is consistent with the structure’s architecture. This applies to all types of equipment, including mechanical equipment, communication dishes, skylights, exhaust fans, ducts, or any other non-architectural elements.



*Example of appropriate refuse screening (top) and rooftop screening (bottom).*

# Design Guidelines



Examples of appropriate types of screening walls for loading areas.



Use of varying colors, patterns, and landscaping to create visual interest.

- Unless part of a design acceptable to the City, flashing and sheet metal materials shall be articulated and painted to be consistent with the overall architectural expression. Exterior downspouts should be avoided along façades that are visible from streets or walkways.
- All wall- or ground-mounted equipment shall be screened so that it is not visible from unobstructed pedestrian-level views from public streets or walkways in accordance with utility requirements. Screening equipment may be achieved by the building itself, a screen wall component that is consistent with the structure’s architecture, landscaping and other devices acceptable to the City.

## Screening of Loading Areas

- Loading docks and doors facing the I-15 are not required to be fully blocked from view, but will include landscape treatments as conceptually shown in Figure 2-9.
- Truck loading docks shall be screened from pedestrian-level, public view from the streets as detailed in Chapter 2, Development Criteria. Screening may be aesthetically compatible landscaping or comparable materials that blend with the architectural and landscape treatments of the site and perimeter landscaping.

## General Architectural Features and Accents

- Architectural design should be clean, simple, and streamlined for a modern appearance.
- Variation on the architectural theme is encouraged through simple changes such as color palette and entry treatments.

## Materials and Colors

- All facilities shall be constructed of permanent finished materials such as concrete, masonry, and glass. Acceptable exterior finish materials include concrete with textured, sandblasted, or painted finishes; stone or brick; stucco; or masonry with textured or sandblasted finishes. Glass, glazing systems, glass block, ceramic or natural stone tile, decorative metal, and metal panel systems are appropriate when used as accents. Buildings of prefabricated metal or exposed precision concrete masonry are not allowed. Metal siding may be used as an architectural detail or only when it serves a practical purpose (e.g., refrigeration units) and is limited to 15 percent of an elevation.
- A dominant building material and color shall be clearly established in each building. Accents and variations may then occur within the background established by that dominant base. The dominant colors for buildings should be more neutral in nature, with the more intense colors used in the accents.

- Materials and colors shall match and enhance the architectural style of the building.
- Unless an acceptable alternative is approved by the City, material changes shall occur at corners, edges of building planes, changes in architectural features, building-score lines, or other similar changes in a facade.
- Materials applied to any elevations shall turn the corner of the building to a logical point in relation to architectural features or massing.



*Examples of industrial buildings with clean and simple architectural design. Variation is achieved through changes in color and materials as well as off-sets and building heights.*

### *Windows and Doors*

- Windows, doors, and other openings should unify the building façade by creating a clear pattern.
- Window treatments, where feasible, are encouraged. Exterior window treatments include, but are not limited to:
  - Recessing and surrounds of not less than four inches
  - Trim elements
  - Headers and sills
  - Awnings (cloth awnings should be carefully designed due to high winds)
  - Shutters (proportional to window and consistent with architectural style)
  - Mullion patterns as appropriate to the architectural style
- Awnings, when provided, shall be designed to be consistent with the architectural style and color palette of the main structure.
- Unacceptable awning treatments include: metal louvers (except Bermuda-style shutters) or untreated fabric.
- Windows, material changes, colors, and façade decorations should be used to create visual interest and break up flat surfaces, especially at the pedestrian level.
- Avoid continuous awnings. Awnings should frame a segmented portion of the storefront, such as a window bay or entrance.
- Emergency exit or egress-only doors should be treated to blend in with the adjacent walls or surfaces to discourage their perception as entries.



*Example of windows used to create visual interest at the building entry.*



*Example of fine-grained window articulation that is appropriate at building entries.*

## Business Park Guidelines



Examples of site design and building placement to create and integrated employee areas within business parks.

### *Site Design*

- Buildings should be sited to create opportunities for outdoor common areas such as patios, plazas, and courtyards for employees to use.
- Provide an array of pedestrian amenities that are integrated into the overall design and character of development, such as seating areas, drinking fountains, landscape planters, water fountains, shade canopies, and trash receptacles.
- Changes in levels may be articulated through material changes, colors, caps, columns, or other distinguishing features.
- Windows and entries should face the street or pedestrian walkways, avoiding facing dominant blank walls.
- Large blank, flat surfaces should be avoided through offsets, recesses, windows.
- Use a variety of walkway surfaces, patterns, and textured materials to guide pedestrians and create a sense of location and place.
- Orient loading bays to the rear to structures and screen with landscaped walls.

### *Parking Areas*

- Parking should be located in shared facilities to the greatest extent possible.
- Utilize landscaping treatments such as berms, vegetation, and decorative fencing to minimize the potential visual dominance of surface parking lots from perimeter streets and create distinction between the roadway and adjacent development.
- Parking lots should be screened and entry points distinguished by formal groupings of landscaping.
- Parking areas shall be reviewed to ensure that the clear areas for driveways and intersections, as defined by the Zoning Code that is in effect at the time a project is submitted.
- Parking areas shall be designed to minimize the conflict between pedestrian and vehicular traffic.

### *Service and Storage Areas*

- Where reasonably possible, loading docks, roll-up doors, and storage areas should be located either behind or to the side of the building served and should be oriented toward industrial land uses.
- Screening should be used in instances where loading and storage faces the public right-of-way as dictated in Chapter 2, *Development Criteria*.

## *Exterior Design*

### *Primary versus Secondary Exposures*

- The primary exposure(s) of buildings are those side(s) of buildings that contain the main entry and face the street.
- Primary exposures should receive greater attention to design detail than those that are screened from pedestrian-level, street view by walls, landscaping, or buildings. This can be achieved through variation in form, mass, scale, modulation, and architectural detail.
- Secondary exposures are those side(s) of buildings that face interior roadways and do not contain the main building entry.
- Secondary exposures shall be architecturally compatible with but need not be as detailed as primary exposures.
- Secondary exposure of buildings greater than one story shall be articulated through the use of element such as wall-plane offsets, breaking of parapet lines, and details such as windows and shutters, material inlays, and color or texture changes.

### *Building Form, Mass, and Scale*

- Reduce the visual impact of long building facades through the use of various paint colors, building materials, recesses, offsets, decorative fixtures, landscaping, screen walls, and other methods.
- Articulate building façades through the use of reveals and color and material changes.
- Small-scale articulation of building facades, roofs, materials, colors, and textures are appropriate at locations where pedestrians will experience them.

### *Building Articulation*

- No building façade visible to the public shall have an uninterrupted length of wall measuring greater than 65 feet in the business park areas without including at least one of the following:
  - Change in texture
  - Change in color
  - Change in material
  - Change in plane
  - Lattice work and trellis elements
  - Pilasters
  - Decorative light fixtures
  - Material inlays
  - Variation of architectural styles
  - Murals, graphics, or other visual variations
  - A tree or equivalent landscape element
- Building offsets or recesses may be used to accentuate building entries and form courtyards.



*Examples of buildings with acceptable designs on their primary exposures; building articulations consistent with the chosen architectural style; and variety in building facades through the use of color, materials, recesses, offsets, decorative fixtures, and landscaping*

# Design Guidelines

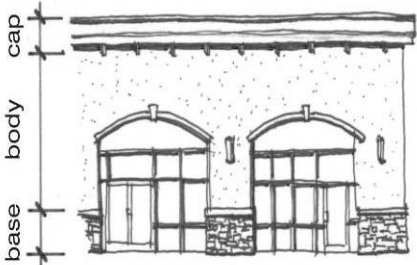


Illustration of base, body, and cap.

- Along perimeter streets (Hamner and Bellegrave Avenues), buildings shall be articulated to create a visual interest. This can be accomplished through the application of windows, arcades, trellises, awnings, and other architectural features, as well as color blocking, the appropriate application of detail elements, and breaking up the massing of the building.
- Design articulation for second floor retail can be less detailed than the first floor.

## Building Base

- Buildings should rest on a noticeable foundation base or pedestal to visually anchor the structure to the ground unless an acceptable alternative design is approved by the Planning Director.
- When used, the types of materials appropriate for the building base should project an image of durability, quality, and permanence and may include:
  - Plaster
  - Ceramic tile
  - Granite
  - Stone
  - Marble
  - Split-face concrete block

## Building Body

- Create visual rhythms in the building’s middle through repetitive façade elements such as rows of windows and columns.
- Segment the building faces into a series of defined areas through the use of columns, piers, windows, awnings, and other combinations that define the vertical space.

## Building Cap

- Buildings may be crowned with a discernible roof cap or edge feature that defines the top of the building unless an acceptable alternative design is approved by the Planning Director. Appropriate elements for the cap include:
  - Protruding crown molding
  - Roof corbels supporting roof overhangs
  - Roof brackets supporting ease overhangs.
  - Shaped, foam-based, plaster-covered cornice
  - Stepped parapets
  - Textured materials, such as brick masonry
- The types of materials appropriate for the building cap may include:
  - Plaster
  - Ceramic tile
  - Granite
  - Stone
  - Marble
  - Split-face concrete block



Examples of appropriately articulated buildings including the use of a building cap (top and middle), a building designed without a cap (bottom), and building bases achieved with changes in color and materials (top and middle).



## Corners and Towers

- Tower elements or other prominent building features may be used to accentuate key elements such as building entries, and pedestrian plazas or courtyards.
- When used, tower elements should be located at a focal point such as the terminus of the main entrance and used to accentuate converging walls.

## Building Entry Treatment

- Entries shall be visually appealing and identifiable through the use of elements such as changes in building massing, colors, materials, roof heights, enriched materials, architectural detailing, and the use of tower elements or recesses.
- Primary entries should be designed so they are easily recognized, are the most prominent entry for that tenant, and are readily accessible to pedestrians and in proximity to parking.
- Secondary entries should also be easily recognizable, but designed at a lesser scale than the primary entry

## Roofs

- Roof styles and materials shall be architecturally and aesthetically compatible.
- Although the majority of roof areas may be flat, the massing of visible elevations should be broken-up with elements such as sloping roofs, including hips or gable forms (as appropriate to the primary architectural style), variation in roof heights, or parapet treatments with architectural details.

## *Screening of Refuse/Recycling Containers, Utility Equipment, and Mechanical Equipment*

- Electrical and gas meters should be located on the rear or side elevation and should be clustered, screened by landscaping or walls, and/or located behind doors. Screening utility meters behind doors is not required where meters are located in screened service areas and service courts or in “back of house” areas not intended for public access.
- Screening walls and utility enclosures should be designed as integral architectural features of the building.
- Whenever possible, refuse and recycling collection or storage areas should be located behind or to the side of the building served.
- Solid walls, landscaping, or trellis work shall screen any refuse containers, utility equipment, and mechanical equipment from unobstructed pedestrian-level, street view streets. This screening shall be conceived as part of the building architecture and landscape design to best blend with the overall development.
- Roof-mounted equipment shall be screened so that it is not visible from unobstructed pedestrian-level views from public streets, walks, or parking lots. Screening of rooftop equipment may be achieved by the building parapet or some other screen wall component that is consistent with the structure’s architecture. This applies to all types of equipment, including mechanical equipment, communication dishes, skylights, exhaust fans, ducts, or any other non-architectural elements.



*Examples of appropriate methods to accentuate building entries and create variety in building facades and roof heights.*

# Design Guidelines

- Unless part of a design acceptable to the City, flashing and sheet metal materials shall be articulated and painted to be consistent with the overall architectural expression. Exterior downspouts should be avoided along façades that are visible from streets or walkways.
- All wall- or ground-mounted equipment shall be screened so that it is not visible from unobstructed pedestrian-level views from public streets or walkways in accordance with utility requirements. Screening equipment may be achieved by the building itself, a screen wall component that is consistent with the structure's architecture, landscaping and other devices acceptable to the City.

## *Screening of Loading Areas*

- Orient storage and service areas away from public views and provide ornamental screening for utility boxes, trash bins, outdoor storage, utility boxes, and other mechanical equipment.
- Truck loading docks shall be screened from pedestrian-level, public view from the streets as detailed in Chapter 2, Development Criteria. Screening may be aesthetically compatible landscaping or comparable materials that blend with the architectural and landscape treatments of the site and perimeter landscaping.



*Example of the complementary use of color and material changes to highlight a building's articulation and to blend with the overall architectural expression of the structure.*

## *General Architectural Features and Accents*

- Building design should employ simple, clean lines and shapes to produce a unity in design.
- Buildings within the southern business park land use planning area should have similar architectural treatments to create a sense of a cohesive campus. Variations on the selected theme are encouraged through color and material choices to allow each building to have a unique identity without conflicting with other structures in the land use planning area.
- Buildings within the northern business park land use planning area may have architectural treatments similar in theme and materials to the adjacent commercial area if the business park uses support the commercial area uses.

## *Materials and Colors*

- Color and material should be used in a way that is consistent with the overall architectural expression. Building masses denoting entry points should be differentiated by material or color changes. Articulation in large wall surfaces should be reinforced with variations in color. Entry areas should have finer-textured materials and more intense colors.

- Acceptable exterior finish materials include concrete with textured, sandblasted, or painted finishes; stone or brick; stucco; or masonry with textured or sandblasted finishes. Glass, glazing systems, glass block, ceramic or natural stone tile, decorative metal, and metal panel systems are appropriate when used as accents. Buildings of prefabricated metal or exposed precision concrete masonry are not allowed. Metal siding may be used as an architectural element or when serving a practical purpose (e.g. refrigeration unit) and is limited to 15% of an elevation.
- A dominant building material and color shall be clearly established in each building. Accents and variations may then occur within the background established by that dominant base. The dominant colors for buildings should be more neutral in nature, with the more intense colors used in the accents.
- Materials and colors shall match and enhance the architectural style of the building.
- Unless an acceptable alternative is approved by the City, all materials shall wrap architectural elements in their entirety on primary elevations and where exposed to primary public spaces.
- Unless an acceptable alternative is approved by the City, material changes shall occur at inside corners, edges of building planes, changes in architectural features, building-score lines, or other similar changes in a facade.



### *Windows and Doors*

- Windows, material changes, colors, and façade decorations should be used to create visual interest and break-up flat surfaces, especially at the pedestrian level.
- Window treatments, where feasible, are encouraged. Exterior window treatments include, but are not limited to:
  - Recessing and surrounds of not less than four inches
  - Trim elements
  - Headers and sills
  - Awnings (cloth awnings should be carefully designed due to high winds)
  - Shutters (proportional to window and consistent with architectural style)
  - Mullion patterns as appropriate to the architectural style
- Awnings, when provided, shall be designed to be consistent with the architectural style and color palette of the main structure.
- Unacceptable awning treatments include: metal louvers (except Bermuda-style shutters) or untreated fabric.
- Avoid continuous awnings. Awnings should frame a segmented portion of the storefront, such as a window bay or entrance.
- Emergency exit or egress-only doors should be treated to blend in with the adjacent walls or surfaces to discourage their perception as entries.



*Example of the use of colors and architectural features to denote a building entry and break-up a building's façade (top); appropriate window treatments (middle), and; use of windows to create a pattern and rhythm to a building's architecture as well as provide natural light (bottom).*

# Design Guidelines

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# Signs

## 4: SIGNS

### A. Purpose and Intent

1. *Purpose.*
  - a. The purpose of this document is to promote an overall sense of place and integrated development through signage that is visually coordinated, appropriately scaled, and provides appropriate advertising and directive opportunities in each of the three land use types: Commercial Retail (CR), Industrial (I), and Business Park (BP).
  
2. *Standards.*
  - b. The standards contained in this section are intended to enhance the entire Goodman Commerce Center and encourage aesthetic compatibility for signage within the bounds of the project area (see Figure 2-1).
  
3. *Specific Plan Supersedes.*
  - c. If any standards within this Chapter conflict with the Eastvale Zoning Code, the standards of this Chapter shall apply.
  
4. *Applicability.*
  - d. Where this Chapter is silent on standards, the applicable provisions of the Eastvale Zoning Code shall apply as determined to be appropriate by City staff.

### B. Definitions

For purposes of this Chapter, the following words or phrases shall have the following meaning. Terms not defined herein shall be consistent with the definitions as identified in the Eastvale Municipal Code.

## Signs

1. **A-Frame Sign.** A sign made of lightweight and rigid material having the capability to stand on its own support(s) and being portable and movable. (*See also, "Sandwich Board"*)



2. **Awning.** Any structure made of metal or a flexible material covering a metal frame attached to a building, whether or not the same is so erected as to permit its being moved to a position flat against the building when not in use. (*Compare to "Canopy"*)
3. **Awning Sign.** A sign which is printed on or integral to an awning.
4. **Billboard.** A sign which meets either or both of the following criteria:
  - a. A sign which is used for the display of messages for uses or activities located at a location different from the location of the sign;
  - b. An off-site outdoor advertising sign on which space is leased or rented.

Billboards do not include monument signs permitted by this Chapter which are specifically intended to identify tenants, buildings, or items not at the same location as the sign.

# Signs

- 5. **Blade Sign.** A double-sided sign extending from the building façade or hanging vertically from a canopy or awning. (Photos below show typical blade sign designs.)



- 6. **Building Address Sign.** The display of the building’s street and/or suite number, usually above the main entrance.
- 7. **Canned Sign.** A type of sign which has a flat, easily interchangeable sign face held by a (typically rectangular) raised enclosure. Also known as an “illuminated sign box.” (Compare to “Lifestyle Panel”)



# Signs

- 8. **Canopy.** A permanent building feature that projects perpendicularly from the storefront façade above the entrance doors and/or display windows and acts as protection against the elements. (See also “Awning”)
- 9. **Canopy Sign.** A sign affixed vertically to a canopy.





# Signs

10. **Construction Advertising Sign.** A sign stating the names of individuals or businesses directly connected with the construction of a project and can include the names, logos, and contact information of individuals or companies involved in the ownership or construction of the project.

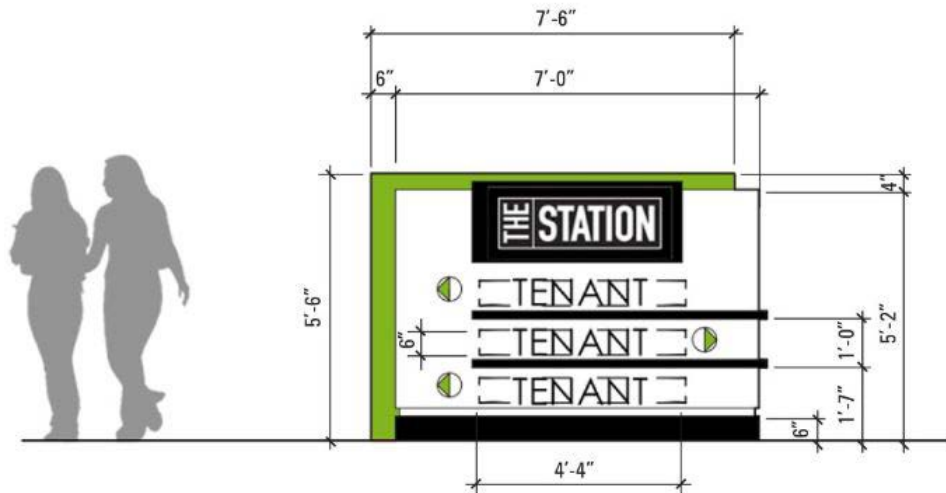


11. **Construction Fence Sign.** A mesh or vinyl banner attached to a fence around a construction site.



## Signs

12. **Directional Sign.** A sign that is intended to aid the user and directs them to the location of a business, commodity, service, or entertainment conducted, sold, or offered upon the premises. These signs will typically use words such as “entrance,” “enter,” “exit,” “in,” “out,” or other similar words, or a sign containing arrows or characters indicating direction. (A conceptual design for directional signs in the Goodman Commerce Center is shown below.)



13. **Display Window Graphic.** A sign, message, or graphic that is applied directly on a window, either on the inside or outside of the glass. (Photo below shows Display Window Graphics installed in the business park at the Goodman Commerce Center.)



## Signs

14. **Electronic Sign.** A sign whose primary advertising focus is the fixed or intermittent display, stream, or movement of electronic, computerized, digital, or similarly produced letters, numerals, words, or messages as part of the advertising message.



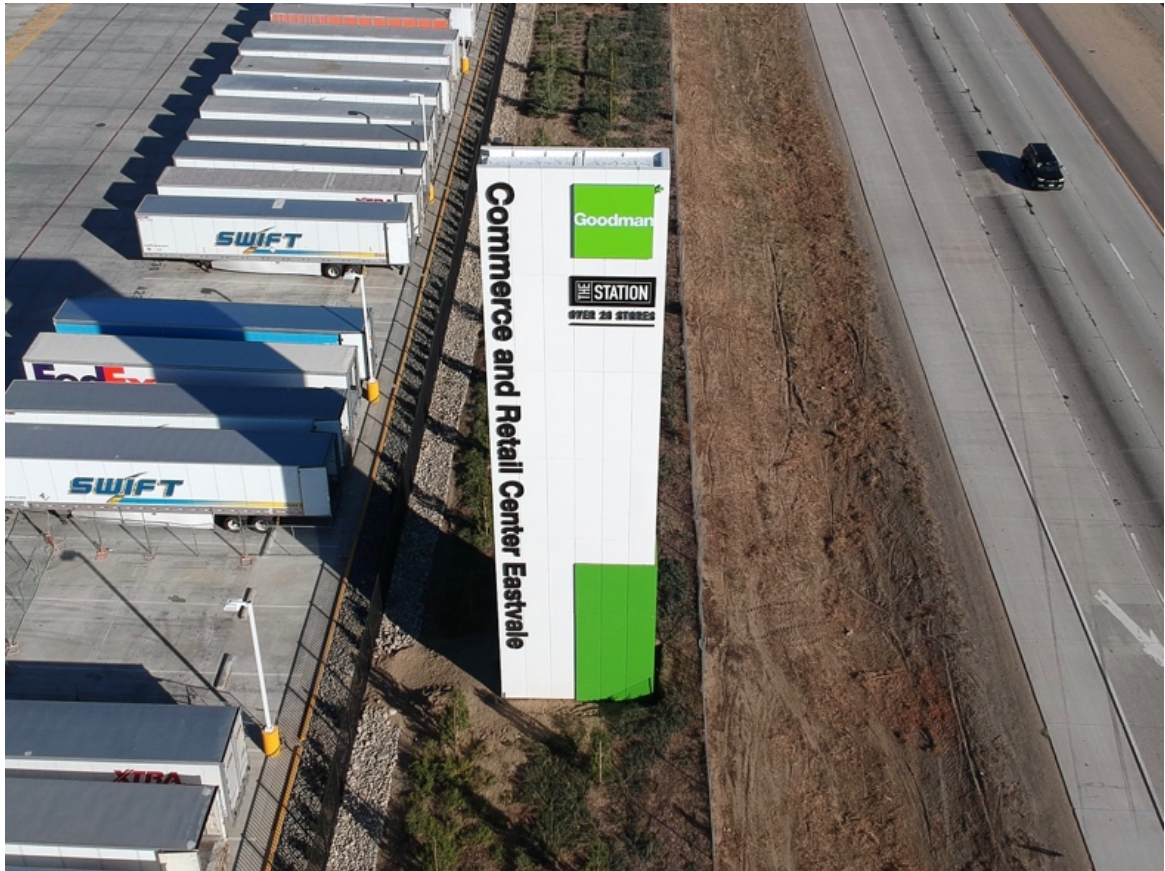
15. **Estate Sign.** Signs, typically monument signs, located at project site entrance drives and project site corners, intended to identify the owner, master developer, or name of the entire development or project.
16. **Façade, Front.** The façade of a building where the primary entrance is located.
17. **Façade, Rear.** The façade of a building opposite the front façade.
18. **Façade, Side.** Any façade of a building that is not defined as the front or rear façade.
19. **Façade, Freeway.** The façade of a building facing the freeway. The freeway façade may be the front, rear, or side façade depending on orientation of a building.

# Signs

20. **Freeway Mural.** An image-dominated sign which may be displayed on the freeway-facing façade of the two industrial buildings adjacent to the freeway. and is not internally lighted. (Image below shows a conceptual design for a Freeway Mural.) (Compare to “Lifestyle Panel”)



21. **Freeway Sign.** A freestanding sign providing site and major tenant identification oriented to the freeway. (Photo below shows the installed freeway sign at the Goodman Commerce Center.)



# Signs

22. **Inflatable Sign.** A sign which is inflated, which floats, is tethered in the air, or is activated by air or moving gas, whether located in the air, on the ground, or on a building.



23. **Kinetic Sign.** Primary ownership identification sign oriented to the freeway. Photo below shows the installed kinetic sign at the Goodman Commerce Center.



24. **Large Tenant.** Tenants that occupy 20,000 square feet or greater area within one or more adjacent spaces within the same building.

# Signs

25. **Lifestyle Panel.** A panel showing images only which is mounted directly to a building. A lifestyle panel is not considered a canned sign. (Compare to “Canned Sign” and “Freeway Mural”)



26. **Menu Order Board.** A sign located adjacent to a drive-through lane that identifies food and beverages offered for sale at the restaurant and associated prices and specials. Menu order board signs include pre-order menu boards and menu order boards. (Photo below shows a typical menu order board.)



# Signs

27. **Monument Sign.** A freestanding sign used for project or tenant identification. Photo below shows a monument sign installed in a Goodman project in another city.



# Signs

28. **Ownership Wall Sign.** A sign affixed to a building façade that displays the official Goodman logo. (Photo below shows an Ownership Wall Sign.)



29. **Pad Building.** A stand-alone building, which may contain one or more tenant spaces, that occupies less than 20,000 square feet.

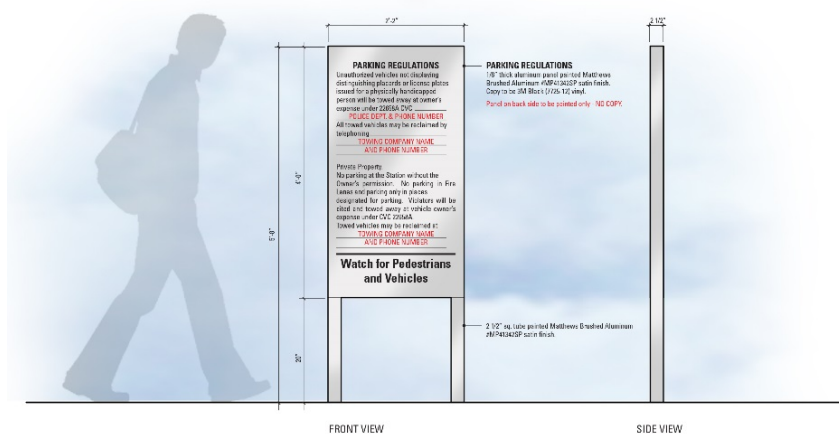


# Signs

## 30. Pageantry Signage. Pennants, banners, or flags.



## 31. Parking Lot Accessibility Sign. A sign identifying parking regulations within the property. Illustration below shows a conceptual design for a parking lot accessibility sign.



# Signs

32. **Pole Sign.** A freestanding sign supported by a sign structure from the ground. Generally, pole signs are supported by one or more posts, pipes, or other vertical supports that are less than 20% of the width of the sign area or are not integrated into the overall design of the sign.



# Signs

33. **Real Estate Sign.** A sign advertising the sale or lease of a building or property. (Photo below shows a conceptual design for a Real Estate Sign.)



34. **Roof-Mounted Sign.** A sign that projects above the eave or roofline of the building to which it is attached. (Compare to "Roof Top Sign")



## Signs

35. **Roof Top Sign.** A sign that is painted on or affixed parallel to a flat roof and is only visible from the air. Photo below shows a Roof Top Sign at a Goodman project. (*Compare to Roof-Mounted Sign*)



36. **Sandwich Board Sign.** See “A-frame Sign”
37. **Sign.** Any writing, pictorial presentation, emblem, banner or any other device, figure or similar character, including a physical structure or placed on another surface, containing words and/or illustrations in any combination which are intended to advertise, notify, inform or otherwise impart information about any business, special event or other public or private purpose. Merchandise displayed in a store window shall not be considered signage.
38. **Storefront Display.** Any sign affixed directly to the inside or outside of a storefront window.
39. **Temporary Sign.** A sign allowed for a limited time.

# Signs

40. **Tenant Wall Sign.** A sign affixed to the building façade on the portion of a building occupied by a tenant.



41. **Wall-mounted Plaque.** A flat plate, slab, or disk that is ornamented or engraved for mounting on a wall.



# Signs

## C. Exempt Signs

The following sign types are expressly exempted from the regulations in this chapter. Exempt signs must satisfy all other permit requirements when applicable (building, electrical, encroachment, etc.).

1. A change to a sign's message text that does not alter the size, location, illumination or structure of the sign.
2. Awnings or canopies that do not contain text or graphics that would qualify as a "sign." (*See the definition of "Sign"*)
3. Building address signs, at the size required per City or other codes. Building address signs larger than the required size are not exempt.
4. Directional or informational signs erected for the convenience of the public, such as signs identifying restrooms, public telephones, walkways, recreational areas, and similar attractions.
5. Directional signs as defined in this Chapter.
6. Direction, warning, or information signs or structures required or authorized by law, or by federal, state, or City authority, including, but not limited to, traffic control signs (e.g., stop, yield), danger and emergency signs, highway route number signs, and construction zone or site signs.
7. Gas pricing signs, as required by state law, which identify the brand, types, octane rating, etc., of gasoline for sale.
8. Official municipal governmental signs, legal notices, advertisements and notices prescribed by law and placed by governmental entities or any notice posted by a governmental officer in the scope of his or her duties.
9. One non-illuminated real estate sign not greater than 50 square feet in area and is no more than six feet in height per parcel that is currently offered for sale, lease, or rental.
10. Pageantry signs.
11. Utility company signs identifying cables, conduits, and dangerous situations.

## D. Prohibited Signs

The following signs are prohibited, unless specifically stated otherwise.

1. A-frame signs/sandwich boards.
2. Any sign that imitates any traffic sign or signal and could interfere with, mislead, or confuse motorists or otherwise constitute a traffic hazard.

# Signs

3. Billboards.
4. Electronic Signs.
5. Canned signs.
6. Inflatable signs.
7. Pole signs and other signs with exposed structural supports not intended as a design element.
8. Roof mounted signs.
9. Rotating, animated or flashing signs.
10. Signs attached, painted on, or otherwise affixed to trees, other living vegetation, landscaping or natural materials.
11. Signs with exposed raceways, conduit, junction boxes, transformers, visible lamps.
12. Signs which emit sound, odor or visible matter, or which bear or contain statements, words or pictures of an obscene, pornographic or immoral character.
13. Signs affixed to or integrated into fences or walls, except for Construction Fence Signs or Corner Owner Monument Signs in accordance with the provisions of this Chapter.

## E. General Sign Standards

The following standards apply to all signs identified in this section, except as may be modified by the *Special Standards by Sign Type* section.

### 1. *Architectural Design of Signs*

- a. Signs shall be in keeping with the design standards and guidelines of Chapter 3 of this specific plan.
- b. The dimension and shape of all surface mounted signs shall be in proportion to the dimensions of the surface on which it is mounted.
- c. Where more than one sign type (e.g. wall, freeway, directional) occurs on the premises, they shall be of nearly identical aesthetic design to create a cohesive look (shapes and sizes may vary based on the location and purpose).
- d. Signs may incorporate regionally and nationally recognized logos.

# Signs

## 2. Illumination

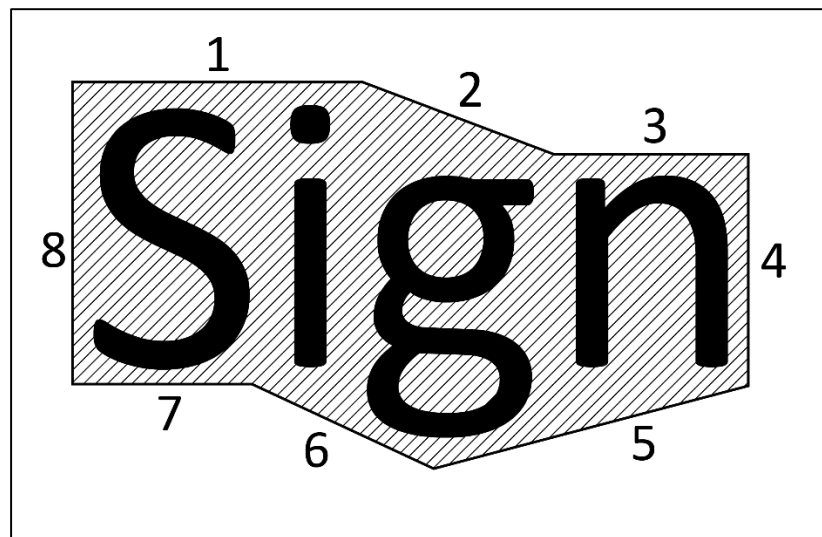
- a. Sign elements can be internally and/or externally illuminated.
- b. All conductors, transformers, cabinets, housings, and other equipment shall be concealed and/or incorporated into storefront and/or sign components.
- c. Any illuminated sign or lighting device shall emit a constant intensity of light. No sign shall be illuminated by or contain flashing, intermittent, rotating, or moving lighting.

## 3. Calculating Sign Area

Sign area shall be measured as defined and illustrated below.

- a. For signs whose shape is a regular geometric shape (square, rectangle, circle, oval, etc.), the area shall be calculated using standard mathematical formulas ( $H \times W$ ,  $\pi \times R^2$ , etc.) used to calculate the areas of these shapes.
- b. For signs whose shape is irregular (such as individual letters placed on a wall or a monument sign), the area shall be measured by enclosing the sign elements within up to eight straight, intersecting lines. (See Figure 4-1)

**Figure 4-1 Irregularly-Shaped Sign Area Measurement**



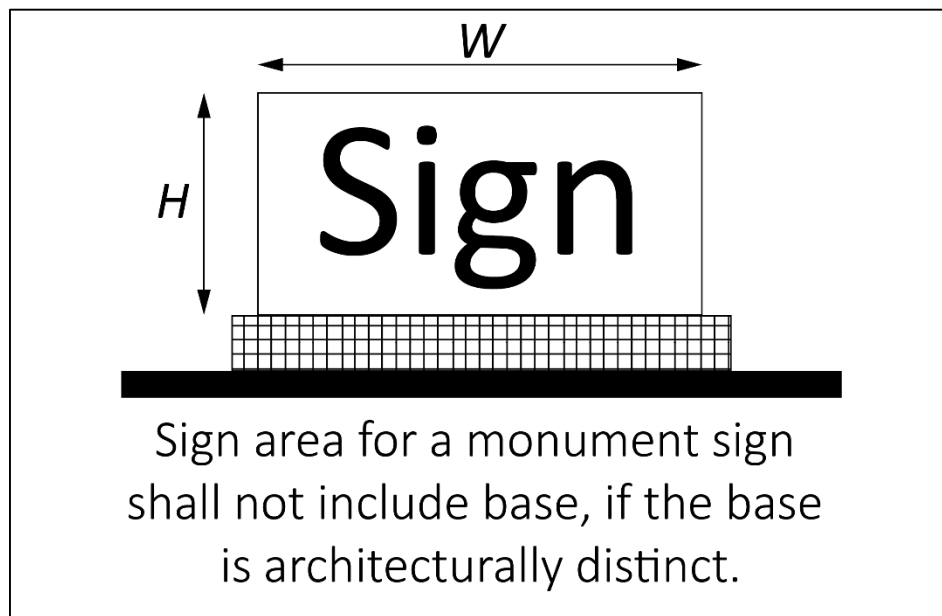
- c. Where a sign has two faces, the area of the largest sign face shall be included in determining the area of the sign, so long as the two sides are not visible at the same time. Where a sign has two or more faces that are visible from the same point, the sign area shall be computed as the sum of the area of each sign face.
- d. The area of spherical, cylindrical, or other three-dimensional signs shall be measured by calculating the area of an elevation drawing of the sign.



# Signs

- e. Where a sign contains a frame, background, or other material used to differentiate the sign from the background on which it is placed, the sign area shall be measured to include the entire frame, background, or other material.
- f. The area of a monument sign which is supported by a base which is architecturally distinct from the sign face itself shall not include the area of the base. See Figure 4-3. The supports of a pedestal sign shall not be included in the area of a sign, unless they form an integral part of the sign face.

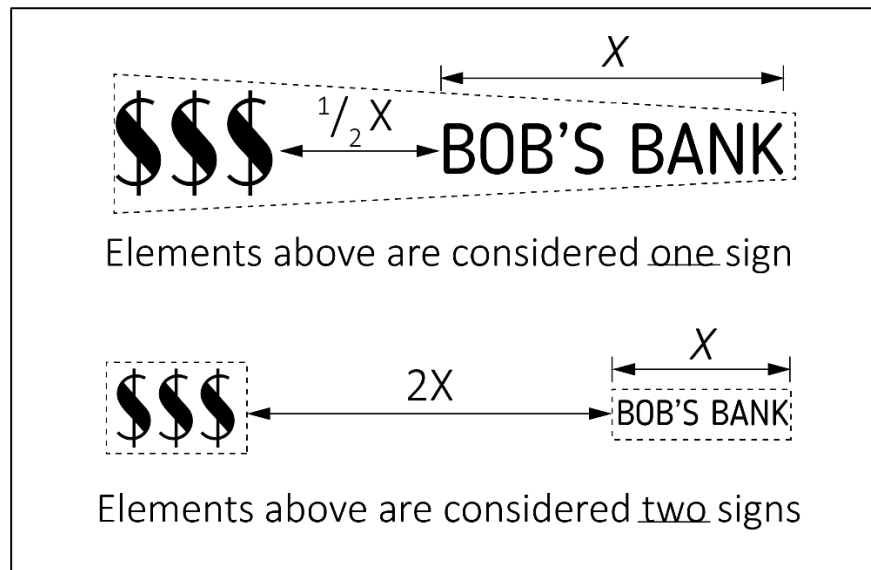
**Figure 4-2 Sign Area Measurement – Monuments with Base**



- g. Regardless of their spacing, the letters forming a word or name shall be considered a single sign.
- h. When two or more separate items in a sign (such as a word and a logo) are separated horizontally or vertically by *less* than twice the width or height of the largest item, the items shall be considered a single sign, and the area shall be determined by measuring the area enclosed by a perimeter enclosing all of the items. When two or more separate items (such as a word and a logo) are separated horizontally or vertically by *more* than twice the width or height of the largest item, the items shall be considered two signs, and the area of each item shall be determined individually. See Figure 4.4.

# Signs

**Figure 4-3 Sign Area Measurement Examples for Signs with Multiple Elements**



- i. For signs placed on an awning or other surface lighted from behind (other than a window), the sign area shall be calculated to include the entire lighted area of the awning or surface.

## ***4. Calculating Sign Height***

- a. The height of all signs shall be measured from the top edge of the sign and/or support structure to the average finished grade of the ground below the sign and/or support structure.

## ***5. Sign Materials***

- a. All permanent signs shall be constructed of quality, low-maintenance materials such as metal, concrete, natural stone, glass, and acrylics.
- b. All temporary signs and banners shall be made of material designed to maintain an attractive appearance for as long as the sign is displayed.

## ***6. Sign Location***

- a. Signs shall be located so as not to impede the clear area of driveways and intersections, as defined by the Eastvale Zoning Code, or as directed by the City of Eastvale.
- b. No sign shall project above the eave or roofline of the building.

# Signs

## ***7. Construction Requirements***

- a. Every sign and all parts, portions, and materials thereof shall be manufactured, assembled, and erected in compliance with all applicable state, federal, and City laws and regulations, including the locally adopted building code. All transformers, equipment, programmers, and other related items shall be screened and/or painted to match the building or shall be concealed within the sign.

## **F. Special Standards by Sign Type**

### ***1. Blade Signs***

- a. Blade signs may be wall-mounted or suspended from a canopy.
- b. Blade signs shall be mounted with the bottom of the sign a minimum of eight feet above finished grade.
- c. Blade signs shall be located next to or near the entrance door.

### ***2. Canopy Mounted Signs***

- a. The sign shall be affixed to the canopy and shall consist of individual dimensional letters resting on top of the canopy.

### ***3. Construction Advertising Signs***

- a. Construction advertising signs are allowed during all phases of construction.

### ***4. Construction Fence Signs***

- a. Construction fence signs are allowed during all phases of construction.
- b. Construction fence signs shall be attached directly to the construction perimeter fencing.

### ***5. Directional Signs***

- a. Directional signs must be located within a landscaped planter.

### ***6. Monument Signs***

- a. Monument signs may be internally or externally illuminated and shall be located within a landscaped area.
- b. All monument signs that incorporate lighting shall have underground utility service.
- c. The following are conceptual illustrations of Estate Signs that will be installed at major project entry locations. These illustrations do not define the final design of the signs.

# Signs

See Table 4-1 for maximum size, height, locations, etc. for these signs.

i. Primary Monument Sign



ii. Secondary Entry Monument Sign with Obelisks



# Signs

iii. Secondary Entry Monument Sign without Obelisks



iv. Corner Project Monument Sign



# Signs

## v. Corner Estate Monument Sign



## 7. *Display Window Graphics*

- a. All signs applied to or located within two feet of a display window will count toward the maximum sign area permitted per this Chapter.
- b. Merchandise displayed in a window shall not apply toward the maximum sign allowances.

See Table 4-1 for maximum allowable sign area.

## 8. *Temporary Signs*

- a. Temporary signs shall be allowed for a maximum of 30 days within a 60-day period.

## 9. *Wall Signs*

- a. Ownership wall signs may be illuminated.

## G. **Allowed Signs by Location**

1. Sign types are allowed subject to compliance with the location standards, maximum area standard, and development standards of Table 4-1.

Amendments, additions, updates and modifications to the Sign Location Plan (Figure 4-5) may be made without amendment of the Specific Plan, subject to concurrence of the Planning Director.

# Signs

**Table 4-1  
Allowable Sign Types and Standards**

Sign Type	Location Standards					Maximum Number Permitted	Development Standards <sup>3</sup>		
	Applicable Land Use Type <sup>1</sup>			Applicable Building Type	Sign Location <sup>2</sup>		Maximum Area	Maximum Height	Maximum Width
	C R	I	BP						
<b>CONSTRUCTION AND LEASING SIGNS</b>									
Construction Fence Sign	A	A	A	-	-	To a maximum of 50% of construction perimeter fencing	-	8 feet	-
Construction Advertising Sign	A	A	A	-	-	4 per construction site area	48 square feet	6 feet	8 feet
Real Estate Sign	A	A	A	-	-	4 per area for sale or lease	480 square feet	12 feet	40 feet
<b>ESTATE SIGNS</b>									
Primary Monument Sign	A	A	A	-	M-P <sup>4</sup>	3	200 square feet per side (Two-sided)	40 feet	18 feet
Secondary Entry Monument Sign w/ Obelisks	A	-	-	-	M-SE <sup>4</sup>	7	Monument Sign: 132 square feet per side (Two-sided)  Obelisks (3 per monument): 3 square feet per side	22 feet  15 feet	6 feet  3 feet

# Signs

Sign Type	Location Standards					Maximum Number Permitted	Development Standards <sup>3</sup>		
	Applicable Land Use Type <sup>1</sup>			Applicable Building Type	Sign Location <sup>2</sup>		Maximum Area	Maximum Height	Maximum Width
	C	I	BP						
Secondary Entry Monument Sign w/o Obelisks	A	-	-	-	M-P <sup>4</sup>	1	Monument Sign: 132 square feet per side (Two-sided)	22 feet	6 feet
Corner Estate Monument Sign	-	-	A	-	M-CE <sup>4</sup>	1	384 square feet per side (two-sided)	32 feet	12 feet
Corner Project Monument Sign	A	-	-	-	M-CP <sup>4</sup>	1	-	5 feet	95 feet
Ownership Wall Sign	-	A	-	Any	-	1 per building	10% of façade or 350 square feet, whichever is less	10 feet	35 feet
Kinetic Signage Fence	-	A	-	-	K <sup>4</sup>	1	4,650 square feet	30 feet	155 feet
Freeway Sign	-	A	-	-	F <sup>4</sup>	2	1,500 square feet per side (Two-sided)	75 feet	20 feet
<b>TENANT SIGNS</b>									
<i>Monument Signs</i>									
Tenant Monument Sign	A	-	-	-	-	2	35 square feet per side (Two-sided)	5 feet	7 feet



# Signs

Sign Type	Location Standards					Maximum Number Permitted	Development Standards <sup>3</sup>		
	Applicable Land Use Type <sup>1</sup>			Applicable Building Type	Sign Location <sup>2</sup>		Maximum Area	Maximum Height	Maximum Width
	C	I	BP						
<i>Wall Signs</i>									
Tenant Wall Sign	A	A	-	Large Tenant	-	6 total per building: 2 facing the public right-of-way and 4 facing the interior of the property	For signs mounted on the freeway, side or front façade: 10% of surface area of the applicable façade or 350 square feet, whichever is less.  For signs mounted on the rear façade: 5% of surface area of the applicable façade or 350 square feet, whichever is less.	-	-
Tenant Wall Sign	A	A	-	Pad Building	-	2 per tenant space: 1 facing the public right-of-way and 1 facing the interior of the property	For signs mounted on the freeway, side or front façade: 10% of surface area of the applicable façade or 350 square feet, whichever is less.  For signs mounted on the rear façade: 5% of surface area of the applicable façade or 350 square feet, whichever is less.	-	-

# Signs

Sign Type	Location Standards					Maximum Number Permitted	Development Standards <sup>3</sup>		
	Applicable Land Use Type <sup>1</sup>			Applicable Building Type	Sign Location <sup>2</sup>		Maximum Area	Maximum Height	Maximum Width
	C R	I	BP						
Wall Mounted Plaque	A	-	-	Pad Building	-	2 total per tenant space: 1 on front facade and 1 on rear facade	4 square feet		
Freeway Mural	-	A	-	Any	Building façade(s) facing the freeway	No maximum	1,000 square feet per mural	22 feet	-
<b><i>Window Displays</i></b>									
Display Window Graphic	-	-	A	Any	Building storefront windows along front entrance façades	No maximum	In Retail area: 30% of window area  In Business Park area: 30% of window area up to 7 feet above floor, 100% of window area above 7 feet	25 feet	45 feet
Storefront Display Window	A	-	-	Any	Building storefront window display areas	No maximum	30% of window area	-	-
<b><i>Other Sign Types</i></b>									
Building Address Sign	A	A	A	Any	-	1 per building	-	2 feet	6 feet

# Signs

Sign Type	Location Standards					Maximum Number Permitted	Development Standards <sup>3</sup>		
	Applicable Land Use Type <sup>1</sup>			Applicable Building Type	Sign Location <sup>2</sup>		Maximum Area	Maximum Height	Maximum Width
	C R	I	BP						
Blade Sign	A	-	-	Pad Building	-	2 total per tenant space: 1 on front facade and 1 on rear façade where an entrance is located	6 square feet	-	-
Canopy Sign	A	-	-	Any	-	-	-	-	-
Roof Top Sign	-	A	-	Any	-	3	750,000 square feet	500 feet	1,500 feet
Directional Sign	A	A	A	-	-	-	7 square feet per side (Two-sided)	6 feet	2 feet

<sup>1</sup> Land use types are indicated on the approved Land Use Plan (Figure 2-1) for the Goodman Commerce Center Specific Plan. Where there is ambiguity in the applicable land use type, the City shall determine.

<sup>2</sup> Minor adjustments to the identified sign locations may be made through review and approval by the City. For purposes of this provision, an adjustment shall be considered minor if it is found to be in general compliance with the sign location criteria, as determined by the City.

<sup>3</sup> Maximum area, maximum height, and maximum width are provided per sign, unless otherwise noted.

<sup>4</sup> As identified on Figure 4-3 (Sign Location Plan).

Key:

CR = Commercial Retail

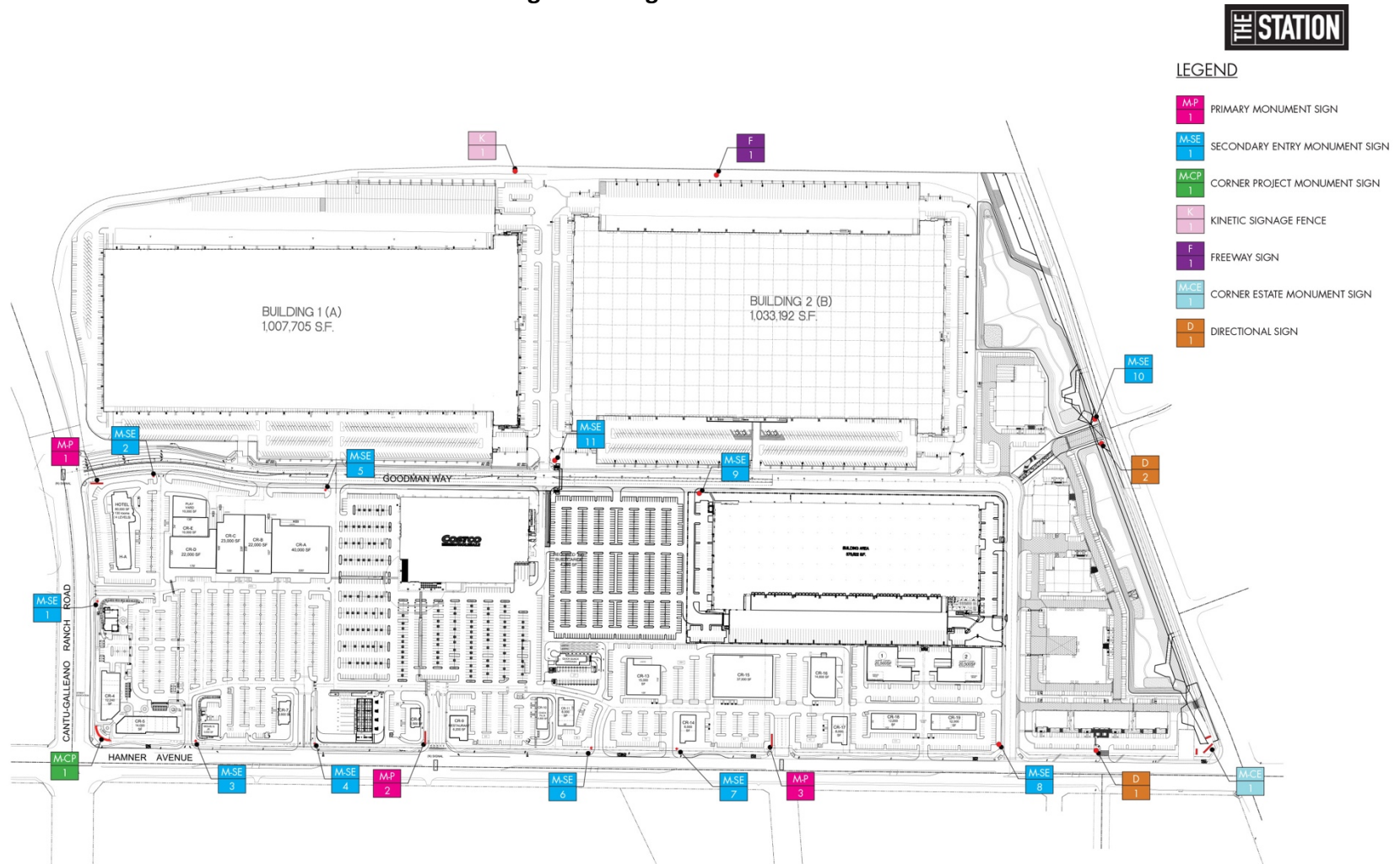
I = Industrial

BP = Business Park

A = Allowed

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Figure 4-4 Sign Location Plan



Signage Location Site Plan

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## Signs

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## 5: IMPLEMENTATION AND ADMINISTRATION

All specific plans are required to contain a “program of implementation measures, including regulations, programs, public works projects, and financing measures” pursuant to California Government Code, Section 65451(a)(4). Other documents and applications have been prepared and processed concurrently with the adoption of the Goodman Commerce Center at Eastvale (GCCE) Specific Plan, including a General Plan Amendment, zone change, and a certified environmental impact report (EIR). These documents and the procedures provided in this Chapter will form the basic framework to guide future development in the Specific Plan area.

### Administering the Plan

#### *Responsibility*

The Planning Director shall be responsible for administering the GCCE Specific Plan in accordance with the provisions of this Specific Plan, the State of California Government Code, and the Subdivision Map Act.

#### *Applicability*

All development and proposed uses in the Specific Plan area shall comply with the requirements and standards set forth in this document. Where conflicts exist between the standards contained herein and those found in the City of Eastvale Zoning Code, the standards in this document shall apply. Standards not addressed in this Chapter are subject to applicable standards in the City of Eastvale Zoning Code that is in effect at the time a project is submitted. If a comparison or reference to a particular City zoning category is needed, see Table 1-1 in Chapter 1, *Introduction*.

#### *Severability*

If any section, subsection, sentence, clause, or phrase of this Specific Plan, or future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Specific Plan.

# Implementation and Administration

## *Interpretations*

When there is a question or ambiguity regarding the interpretation of any provision of this Specific Plan, the Planning Director has the authority to interpret the intent of such provision; however, the spirit and intent of the GCCE Specific Plan should be used as a guide in making interpretations.

The Planning Director may, at his/her discretion, refer interpretations to the Planning Commission for its consideration and action. All interpretations made by the Planning Director and decisions of the Planning Commission may be appealed to the Planning Commission or City Council per the procedures contained in the Zoning Code that is in effect at the time a project is submitted.

## *Subsequent Permits*

Application and processing requirements shall be in accordance with City of Eastvale Zoning Code, unless otherwise modified by this Specific Plan. The procedures and permits of the Zoning Code in place at the time of future applications shall apply.

The EIR certified with the GCCE Specific Plan serves as the base environmental document for subsequent permits within the plan area. Each development application will be reviewed to determine consistency with the EIR and California Environmental Quality Act requirements. If a subsequent project is determined to have impacts that were not evaluated in the Certified EIR, then a determination will be made by City Staff as to the appropriate level of environmental review.

## *Specific Plan Changes*

It is anticipated that certain modifications to the text and exhibits may be necessary during the development of the project. Such modifications, including changes to the mix of land uses within the Land Use Plan as defined in this Specific Plan, may be allowed. Any modifications to the Specific Plan shall occur in accordance with the amendment processes described below. Depending on the nature of the proposed amendment, additional environmental analysis or a supplemental EIR may be required, pursuant to the California Environmental Quality Act.

## *Classification*

Changes to the adopted Specific Plan shall be classified by the Planning Director as either an amendment or minor revision (described on the following page). The applicant shall submit a detailed justification explaining why an amendment or minor revision is warranted and any exhibits deemed necessary by the Planning Director.



### *Amendments*

Amendments, as defined in this Specific Plan, shall be processed according to the City of Eastvale Zoning Code that is in effect at the time a project is submitted. An amendment is any of the following:

- Changes to exhibits or text that alter the intent of the Specific Plan.
- Changes to development standards (requirements) and/or design guidelines, which, if adopted, would substantially change the physical character of the Plan.
- The introduction of a new type of land use not specifically discussed in this Specific Plan.
- Any change that would trigger the preparation of a supplemental environmental impact report.

### *Minor Revision*

Minor revisions are approved by the Planning Director with input from relevant Departments and may be appealed to the Planning Commission. Minor revisions include:

- Simple edits or clarifications to text or graphics that do not change the meaning or intent of the Specific Plan.
- Shifts in internal road alignments (internal roadways do not include Cantu-Galleano Ranch Road, Bellegrave Avenue, and Hamner Avenue), widths, and streetscape amenities which would not substantially alter the land use or circulation concepts set forth in this Specific Plan. (Note that this minor revision requires approval by the City of Eastvale Public Works Department.)
- The development of a larger hotel in the Commercial Retail land use area than originally assumed or a hotel within the Business Park land use area as long as the change would not trigger a supplemental environmental impact report or exceed the maximum development potential analyzed in the certified EIR.
- Changes to drainage, grading, water, and wastewater plans contained in the Specific Plan, which if adopted, would not substantially alter the land use or circulation concepts set forth in this Specific Plan. (Note that this minor revision requires approval by the City of Eastvale Public Works Department.)
- Requests for adjustments that are 10 percent or less of quantifiable or measurable development standards.

Land use changes that do not trigger the preparation of a supplemental environmental impact report and do not exceed the maximum development potential analyzed in the certified EIR.

# Implementation and Administration

## *Infrastructure Plans and Phasing*

The infrastructure improvements for the GCCE are shown in Figures 5-1 through 5-5. These plans show the vehicular and nonvehicular circulation, drainage, sewer, and water infrastructure necessary to serve the proposed project.

Although there are multiple property owners within this Specific Plan, the development of key infrastructure is intended to occur through a master developer or a consortium of property owners. It is expected that the land use planning areas will develop at different times, making it important to initially complete an infrastructure system that provides adequate connections for future development throughout the site. Consequently, some infrastructure will be constructed in the first phase of development to accommodate development in later phases. This may result in an excess cost burden on the first phase of development; however, the master developer can enter into agreements with subsequent developers and property owners to recover expenditures.

The infrastructure shown in Figure 5-1 through 5-5 is proposed to be constructed in two phases:

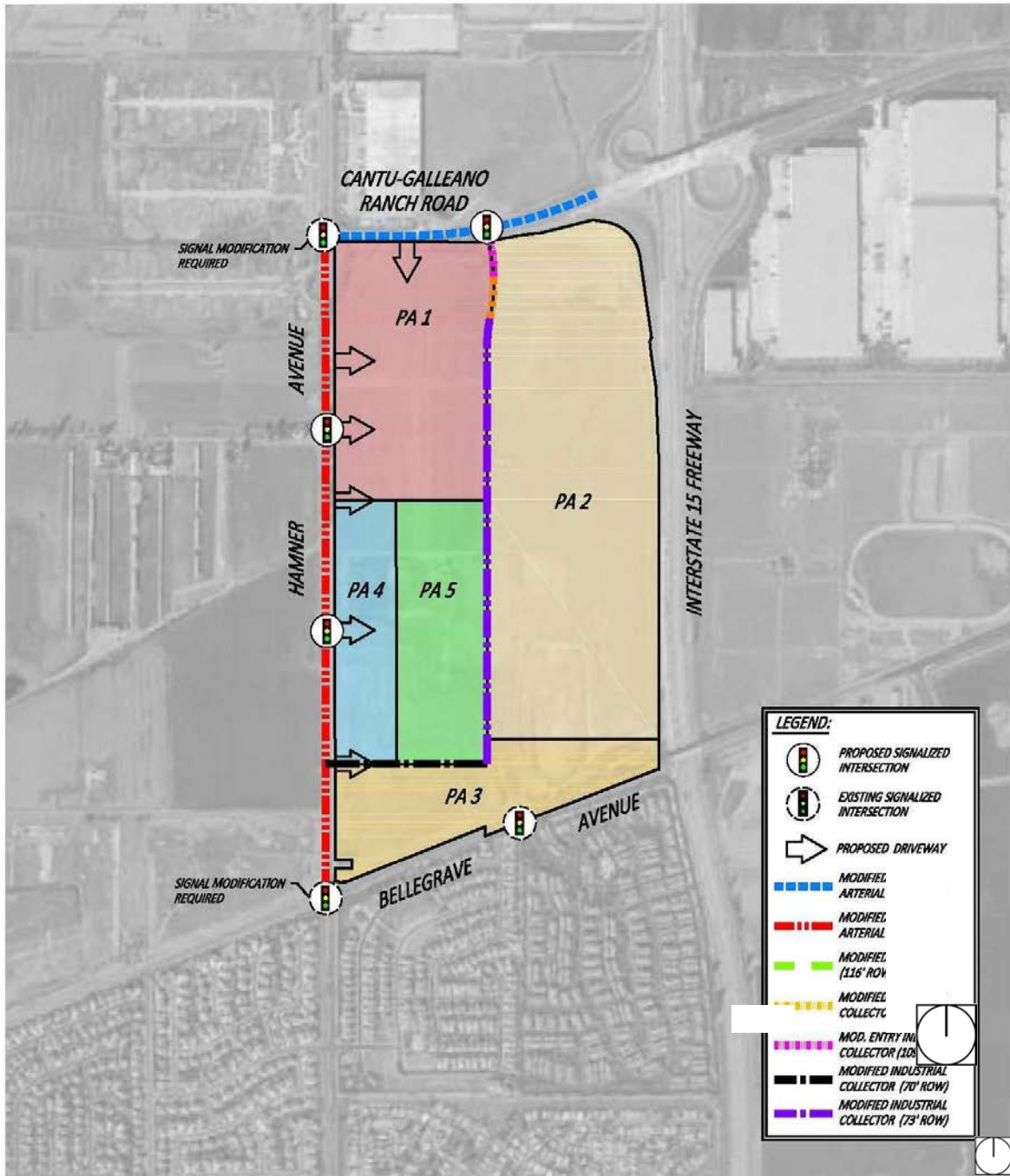
### **Phase 1**

- All infrastructure shown in Figures 5-1 to 5-5, *except* improvements to Bellegrave Avenue.

### **Phase 2**

- Improvements to Bellegrave Avenue.

Figure 5-1 Vehicular Circulation Plan



Not to Scale

Source: Albert A. Webb Associates

# Implementation and Administration

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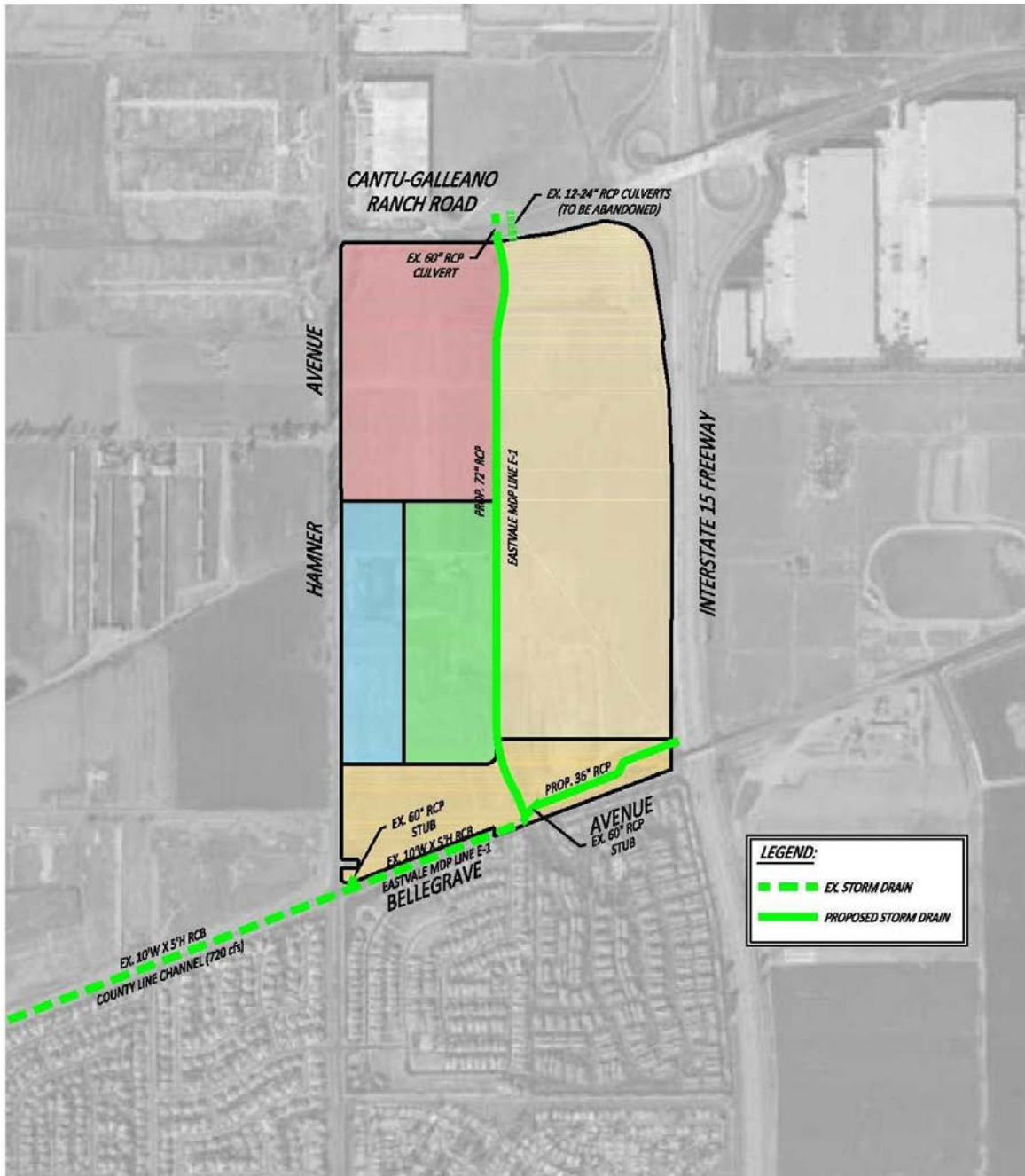
Figure 5-2 Non-Vehicular Circulation Plan



# Implementation and Administration

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Figure 5-3 Drainage Plan



Not to Scale

Source: Albert A. Webb Associates

# Implementation and Administration

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Figure 5-4 Sewer Plan



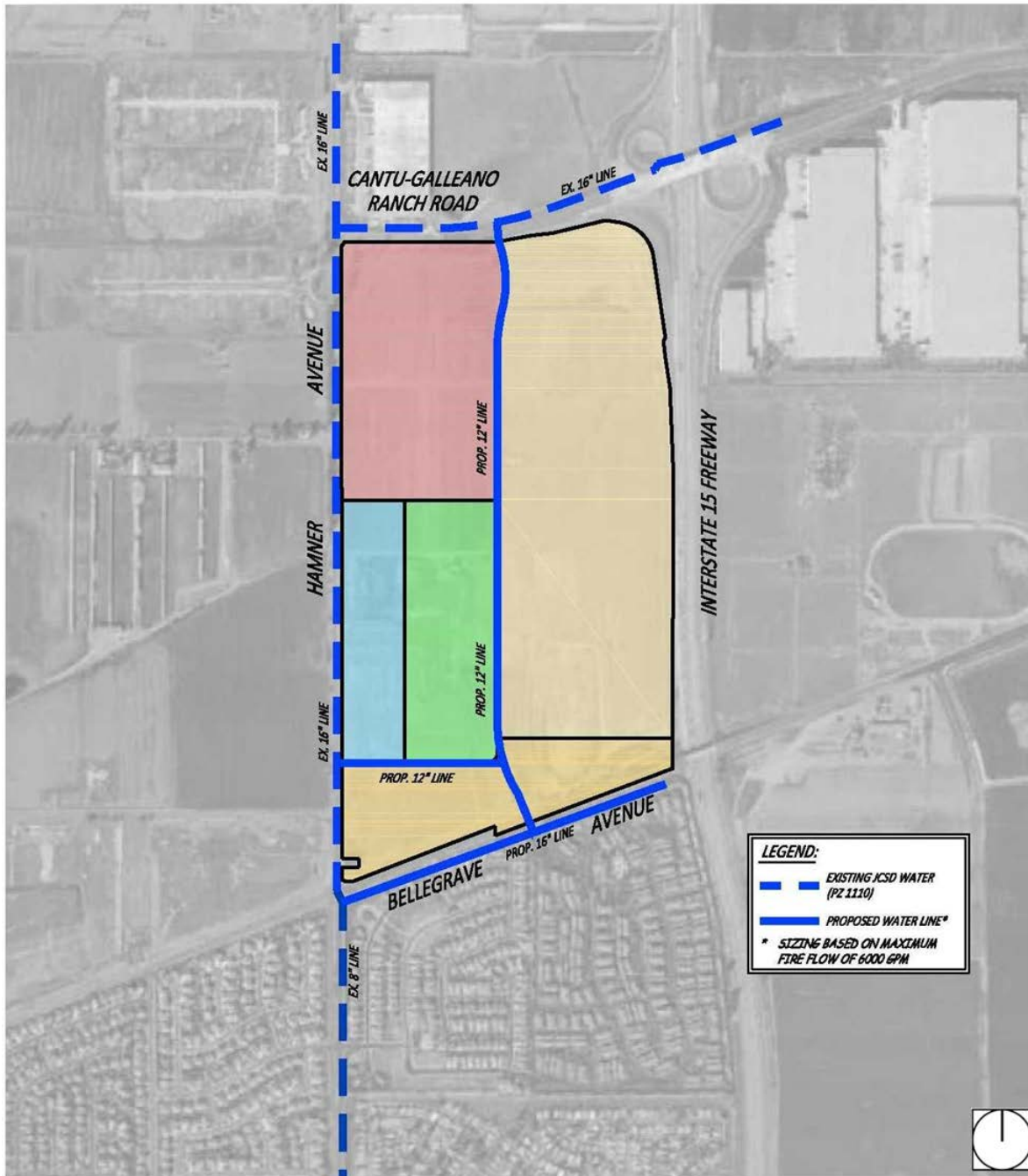
Not to Scale

Source: Albert A. Webb Associates

# Implementation and Administration

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Figure 5-5 Water Plan



Not to Scale

Source: Albert A. Webb Associates

# Implementation and Administration

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## Property Maintenance

Property maintenance within the GCCE Specific Plan area will be directed by a private management company to be selected or created by the master developer or a property management association. The private management company will direct the maintenance of signage, entries, open spaces, parking and loading areas, sidewalks, and pedestrian amenities that are part of the project area, but are not operated by a specific tenant. Table 5-1 describes the potential development and maintenance plan for the GCCE Specific Plan. Ultimately, construction, operation, and maintenance will be controlled by Covenants, Conditions and Restrictions (CC&Rs).

**Table 5-1  
Conceptual Maintenance Plan**

Type	Developed or Improved by	Owned by	Maintained by
<b>Streetscape</b>			
Public roadway improvements (Cantu-Galleano Ranch Rd., Hamner Ave., Bellegrave Ave., A and B Streets.)	Developer	City of Eastvale	City of Eastvale/ Ontario/JCSD
Project drives and parking areas	Developer	Owner/PMA	Owner/PMA
Onsite landscaping	Developer	Owner/PMA	Owner/PMA
Onsite walls and fences	Developer	Owner/PMA	Owner/PMA
Street lighting – public roadways	Developer	SCE	JCSD
Street lighting – internal project drives and parking areas	Developer	Owner/PMA	Owner/PMA
Project entries	Developer	Owner/PMA	Owner/PMA
<b>Infrastructure</b>			
Water/Sewer systems (offsite)	Developer/JCSD	JCSD	JCSD
Water/Sewer systems (on-site)	Developer	Owner/PMA/JCSD	Owner/PMA/JCSD
Drainage systems (onsite)	Developer	Owner/PMA	Owner/PMA
Drainage systems (offsite)	Developer	RCFCWCD	RCFCWCD

Notes: Private Maintenance Association is abbreviated as PMA, Jurupa Community Services District is abbreviated as JCSD, Riverside County Flood Control and Water Conservation District is abbreviated as RCFCWCD, and Southern California Edison is abbreviated as SCE.

# Implementation and Administration

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## APPENDIX A: PLANT PALETTE

The following plant list establishes approved trees and shrubs approved for the Goodman Commerce Center at Eastvale Specific Plan. Plants are listed by scientific name with common name in parenthesis. Some of these plants serve distinct design purposes:

- Street—Primary thematic tree for streetscape.
- Skyline—Taller tree type that will identify the street from a further distance. A skyline tree is also appropriately scaled to be adjacent to tall buildings and structures.
- Understory—A smaller tree that provides a sense of pedestrian scale. An understory tree can also be used as a backdrop element.
- Backdrop—A tree that is pushed back from the street that is part of the buffer between the curb and parking area, wall, or easement.
- Accent—A specimen tree that is occasionally located to highlight points of significance such as intersections, pedestrian crossings, entries, etc.

### *Perimeter Streets*

#### **Hamner Avenue**

- Street: *Rhus lancea* (African Sumac)
- Backdrop: *Pinus canariensis* (Canary Island Pine)

#### **Cantu-Galleano Ranch Road**

- Street: *Platanus acerfolia* (London Plane Tree)
- Skyline: *Washingtonia robusta hybrida* (Hybrid Fan Palm)
- Backdrop: *Tristania conferta* (Brisbane Box)
- Median: *Lagerstroemia hybrid* (Crape Myrtle)

#### **Bellegrave Avenue**

- Street: *Quercus agrifolia* (Coast Live Oak)
- Understory: *Chitalpa tashkentensis* 'Pink Dawn' (Chitalpa)
- Backdrop: *Populus 'Italica'* (Lombardy Poplar)

#### **Interstate 15 Frontage**

- *Washingtonia robusta hybrid* (Hybrid Fan Palm)
- *Populus 'Italica'* (Lombardy Poplar)
- *Schinus molle* (California Pepper)
- *Pinus eldarica* (Afghan Pint)
- *Cedrus deodara* (Deodar Cedar)

# Appendix A: Plant Palette

## *Interior Streets*

### **Entry Statement**

- Lagerstroemia hybrid (Crape Myrtle)
- Washingtonia robusta hybrid (Hybrid Fan Palm)

### **A and B Streets**

- Street: Tipuana tipu (Tipu Tree) and Pistacia chinensis (Chinese Pistache)
- Backdrop: Magnolia grandiflora (Southern Magnolia) and Pinus canariensis (Canary Island Pine)
- Skyline: Washingtonia robusta hybrid (Hybrid Fan Palm)

### **Internal Collector/Parking Lots/Open Space**

- Lagerstroemia hybrid (Crape Myrtle)
- Rhus lancea (African Sumac)

## *Shrubs*

### **Screening Shrubs**

- Calliandra tweedii (Calliandra)
- Feijoa sellowiana (Pineapple Guava)
- Heteromeles arbutifolia (Toyon)
- Leucophyllum candidum 'Thundercloud' (Texas Ranger)
- Muhlenbergia capillaris 'Regal Mist' (Regal Mist Muhly)
- Podocarpus elongates 'Monmal' (Icee Blue Yellow-wood)
- Rhamphiolepis x. 'Montic' (Majestic Beauty Indian Hawthorne)
- Rhamphiolepis indica 'Clara' (Indian Hawthorne)
- Xylosma congestum (Xylosma)

### **Low Mounding**

- Agave 'Blue Flame' (Blue Flame Agave)
- Alopecurus pratensis 'Aureus' (Yellow Foxtail Grass)
- Baccharis 'Centennial' (Coyote Brush)
- Bougainvillea 'Oh La La' (Bougainvillea)
- Callistemon viminalis 'Little John' (Dwarf Bottlebrush)
- Lantana hybrid 'New Gold' (New Gold Lantana)
- Lomandra longifolia 'LM300' (Breeze Dwarf Mat Rush)
- Panicum virgatum 'Heavy Metal' (Blue Switch Grass)
- Rhamphiolepis indica 'Clara' (Indian Hawthorne)
- Salvia greggii 'Sierra Linda' (Red Salvia)
- Westringia fruticosa 'Wynabbie Gem' (Coast Rosemary)



## Accent

- *Agave vilmoriniana* (Octopus Agave)
- *Agave weberi* (Weber's Century Plant)
- *Aloe arborescens* (Tree Aloe)
- *Anigozanthos* hybrids (Dwarf Kangaroo Paw in yellow & red)
- *Hemerocallis* 'Dwarf Red' (Day Lily)
- *Hesperaloe parviflora* (Red Yucca)
- *Miscanthus sinensis* 'Variegatus' (Variegated Japanese Silver Grass)
- *Moraea bicolor* (Fortnight Lily)
- *Phormium tenax* 'Bronze Baby' (New Zealand Flax in reddish)

## Barrier Planting

- *Agave desmettiana* (Dwarf Century Plant)
- *Agave weberi* (Weber's Century Plant)
- *Bougainvillea* 'Oh La La' (Bougainvillea)

## Bio-Swale and Bio-Filtration Plants

- *Calamagrostis x acutiflora* 'Karl Foerster' (Karl Foerster's Feather Reed Grass)
- *Chondropetalum tectorum* (Cape Rush)
- *Miscanthus sinensis* 'Variegatus' (Variegated Japanese Silver Grass)

## Ornamental Grasses

- *Alopecurus pratensis* 'Aureus' (Yellow Foxtail Grass)
- *Lomandra longifolia* 'LM300' (Breeze Dwarf Mat Rush)
- *Muhlenbergia capillaris* 'Regal Mist' (Regal Mist Muhly)
- *Panicum virgatum* 'Heavy Metal' (Blue Switch Grass)

## Groundcover

- *Festuca cinerea* 'Elijah Blue' (Elijah Blue Fescue)
- *Gazania splendens* 'Sunrise Yellow' (Yellow Gazania)
- *Lampranthus productus* (Purple Iceplant)
- *Myoporum parvifolium* 'Putah Creek' (Prostratum Myoprum)
- *Rosa* x. 'Noare' (Red Carpet Rose)
- *Rosmarinus o.* 'Prostratus' (Creeping Rosemary)
- *Senecio mandraliscae* (N.C.N.)

## Appendix A: Plant Palette

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## APPENDIX B: GLOSSARY

***Acres, gross:*** The entire acreage of a site. Gross acreage is calculated to the center-line of proposed bounding streets and to the edge of the right-of-way of existing or dedicated streets.

***Alternative fuels:*** Any materials or substances that can be used as fuels, other than conventional fuels. Conventional fuels include: fossil fuels (petroleum (oil), coal, and natural gas), as well as nuclear materials such as uranium and thorium. Well-known alternative fuels include biodiesel, bioalcohol (methanol, ethanol, butanol), chemically stored electricity (batteries and fuel cells), hydrogen, non-fossil methane, non-fossil natural gas, vegetable oil, propane and other biomass sources.

***Buffer:*** An area of land separating two distinct uses that acts to soften or mitigate the effects of one use on the other.

***Buildout:*** Development of land to its full potential or theoretical capacity as permitted under current or proposed planning or zoning designations.

***Commercial day care centers:*** A facility of any capacity that provides nonmedical care to persons in need of personal services, supervision or assistance essential for sustaining the activities of daily living or for the protection of the individual on less than a 24-hour basis and which is either:

- A. Child Day Care Center. A day care center which provides day care to children under 18 years of age, other than a family day care home. Child day care center includes infant centers, preschools (inclusive of Montessori), extended day care facilities and school age child care centers.
- B. Adult Day Care Center. A day care center which provides day care to persons 18 years of age or older.

***Commercial kitchen:*** Incorporates cooking stations and appropriate equipment designed to operate the stations and handle large-scale food preparation. Sample stations include catering, baking, grill and sauté. Restaurants incorporating education classes might also feature stations for cooking instruction.

***Distribution:*** See “Warehousing/distribution.”

***Feasible:*** Capable of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, social, and technological factors.

## Appendix B: Glossary

***Hotel:*** A building designed for or occupied as the more or less temporary abiding place of individuals, in which there are six or more guest rooms, which are only accessible through internal hallways. Retail space, including but not limited to restaurants, convenience store/market, copy center/postal service center/blue printing, drug stores, flower/gift shops, general merchandise, and miscellaneous indoor repairs/services, are allowed within the building or on the same site.

***Incidental:*** Ancillary or secondary by nature. For example, automobile uses that require repair and incidental retail sale of spare parts.

***Incidental Storage:*** The storage of goods that are Incidental to the primary occupancy, generally stored within storage rooms greater than 100 square feet in an area.

***Laboratories:*** A facility characterized by special purpose equipment or a specific space configuration that limits instructional or research activities to a particular discipline or a closely related group of disciplines. These activities may be found in all fields of study including letters, humanities, natural sciences, social sciences, vocational and technical disciplines. Example laboratories include film, medical, dental, R&D, etc.

***Manufacturing:*** The fabrication (process in which an item is made from raw or semi-finished materials instead of being assembled from ready-made components or parts), processing (procedures involving chemical, physical, electrical or mechanical steps to aid in the manufacturing of an item or items), packaging (technology of enclosing or protecting products for distribution, storage, sale, and use) and assembly (practice of taking individual parts and joining them to form a whole good ) of materials from parts that are already in processed form and that, in their maintenance, assembly or operations, create a negligible amount of smoke, gas, odor, dust, sound, or other objectionable influences that might be obnoxious to persons conducting business on-site or on an adjacent site. Typical items requiring manufacturing include but are not limited to apparel, furnishings, and electronic devices.

***Manufacturing, Heavy:*** Manufacturing that requires some outdoor activity (noise or odor) and/or storage.

***Manufacturing, Light:*** Manufacturing that occurs entirely within an enclosed building.

***Parking Off-site:*** Parking which is not located in the same Planning Area as the use or building that it serves (See also “Planning Area”).

***Parking On-site:*** Parking which is located in the same Planning Area as the use or building that its serves (See also “Planning Area”).

***Permit:*** Any license, certificate, approval, or other entitlement for use granted or denied by any public agency which is subject to the provisions of this Specific Plan.

***Personal services:*** Activities where people offer their knowledge and time to improve productivity, performance, potential, and sustainability. The production of services instead of end products. Typical personal services include but are not limited to barbers, nail shops, dry cleaners, locksmiths, tailors, shoe repair, massage, etc.

***Planning Area:*** Areas as shown in Figure 2-1, Land Use Plan.

***Primary exposure:*** The front of a building. In commercial spaces the primary exposure is where most shoppers will enter.

***Public view:*** Spaces visible at grade by persons in public areas such as public streets, parking lots and walking paths.

***Research and Development:*** Activities in connection with corporate or governmental innovation such as science and technology (laboratories), education and training (training facilities).

***Storage, Incidental:*** See “Incidental Storage.”

***Structure:*** Anything constructed or erected and the use of which requires more or less permanent location on the ground or attachment to something having a permanent location on the ground, but not including the following: 1) walls or fences less than six feet in height, 2) banner signs.

***Warehousing / distribution:*** The receipt and temporary stocking of products (goods) to be redistributed to retailers, wholesalers, or directly to customers.

***Wholesaling:*** This includes the movement and storage of raw materials, work-in-process inventory and finished goods from a point of origin to point of consumption. Uses would include goods movement (import, export and sales of product).

## Appendix B: Glossary

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## APPENDIX C: GENERAL PLAN CONSISTENCY ANALYSIS

Applicable General Plan Goals and Policies	Consistency Finding
<b>GOAL LU-1:</b> Eastvale is a well-planned city which balances growth demands with resources and infrastructure to facilitate high-quality development.	Consistent
<b>GOAL LU-2:</b> A balance of land uses that maintains and enhances the City’s fiscal viability, economic diversity, and environmental integrity and meets the needs of Eastvale’s residents.	Consistent. The project has industrial commercial and business park components.
<b>POLICY LU-11:</b> Development should be located to capitalize on multimodal transportation opportunities and promote compatible land use arrangements that reduce reliance on the automobile.	Consistent. The project is at the intersection of two arterials and near Interstate 15 and incorporates bike and pedestrian facilities that connect to the surrounding network.
<b>POLICY LU-22:</b> Require that commercial projects abutting residential properties protect the residential use from the nuisance impacts of noise, light, fumes, odors, vehicular traffic, parking, and operational hazards.	Consistent. A combination of setbacks and landscaping address noise light and potential odors from the project.
<b>POLICY LU-23:</b> Provide sufficient commercial and industrial development opportunities in order to increase local employment levels and reduce vehicle trips.	Consistent. The project has industrial commercial and business park components.
<b>POLICY LU-25:</b> Ensure adequate separation between pollution-producing activities and sensitive emission receptors, such as hospitals, residences, senior care facilities, and schools.	Consistent. A combination of setbacks and landscaping address particulate noise light and potential odors from the project.
<b>POLICY LU-26:</b> Require setbacks and other design elements to buffer residential units to the extent possible from the impacts of abutting agricultural, roadway, commercial, and industrial uses.	Consistent
<b>POLICY LU-27:</b> The positive characteristics and unique features of the project site and surrounding community should be considered during the design and development process.	Consistent
<b>POLICY LU-29:</b> Employment and service uses should be located in areas that are easily accessible to existing or planned transportation facilities.	Consistent. The project is at the intersection of two arterials and near Interstate 15.
<b>POLICY LU-30:</b> Commercial uses should be located near transportation facilities and include facilities to promote the use of public transit (such as bus turnouts, bus shelters, etc.).	Consistent. The project is at the intersection of two arterials near Interstate 15 and near transit service along Hamner.
<b>POLICY LU-34:</b> Industrial and business park uses should be located near transportation facilities and utilities, and near transit opportunities.	Consistent. The project is at the intersection of two arterials near Interstate 15 and near transit service along Hamner.
<b>GOAL C-3:</b> Maximize the use of existing infrastructure and utilities to provide for the logical, timely, and economically efficient expansion and replacement of infrastructure and services.	Consistent. The project will result in improvements to Hamner Avenue Canto Galliano Ranch Road and Belgrade Avenue consistent with the general plan.

## Appendix C: General Plan Consistency Analysis

Applicable General Plan Goals and Policies	Consistency Finding
<p><b>POLICY C-4:</b> Align right-of-way dedications with existing dedications along adjacent parcels and maintain widths consistent with the ultimate design standard of the road, including required turning lanes and utilities.</p> <p><b>ACTION C-4.1:</b> Ensure dedications are made during the land division and/or development process for all transportation right-of-way, including easements or areas needed outside the travel way. This includes areas needed for slope stability or drainage and drainage structures.</p>	Consistent
<p><b>POLICY C-9:</b> Private developers are responsible for the construction of new streets and providing access to highways for developing commercial, industrial, and residential areas.</p>	Consistent
<p><b>POLICY C-10:</b> Seek to maintain the following target levels of service: "C" along all City-maintained roads. A peak hour level of service of "D" may be allowed in commercial and employment areas, and at intersections of any combination of major highways, urban arterials, secondary highways, or freeway ramp intersections.</p>	Consistent
<p><b>POLICY C-12:</b> Limit access points, parking, turn lanes, and intersections of streets and highways based upon the road's classification and function. Access points must be located a sufficient distance away from major intersections to allow for safe, efficient operation.</p>	Consistent
<p><b>POLICY C-13:</b> Construct and improve traffic signals at appropriate intersections. Traffic signals should be spaced and operated as part of coordinated systems to optimize traffic operation.</p>	Consistent
<p><b>POLICY C-15:</b> Following the principles of complete streets, maximize visibility and access for pedestrians and encourage the removal of barriers (walls, easements, and fences) for safe and convenient movement of pedestrians. Ensure that the entire travel way is included in the design from building façade to building façade.</p>	Consistent. In addition to sidewalks along roadways the project also has an internal pedestrian network allowing access to all development within the property.
<p><b>POLICY C-16:</b> Pedestrian access shall be provided from developments to existing and future transit routes, park and ride lots, terminal facilities, etc.</p>	Consistent
<p><b>POLICY C-17:</b> All development located along planned trails shall provide access to the trails system. All developments shall allow for trails to pass their boundaries and shall provide connections to existing and proposed trails in Eastvale and adjacent jurisdictions.</p> <p><b>ACTION C-17.1:</b> Determine if trails, paths, and pedestrian access can be extended into existing neighborhoods to provide for connectivity to transit and pedestrian corridors.</p> <p><b>ACTION C-17.2:</b> Develop a multipurpose recreational trails</p>	Consistent. In addition to sidewalks along roadways the project also has an internal pedestrian network allowing access to all development within the property.
<p><b>POLICY C-25:</b> Incorporate the potential for public transit service in the design of developments that are identified as major trip attractions (i.e., retail and employment centers).</p>	Consistent. The design standards for major arterials, including Hamner Avenue, include areas for bus turn outs.
<p><b>POLICY C-26:</b> Design the physical layout of urban arterials, major and secondary highways, and collectors to facilitate bus operations, including turnouts and shelters.</p>	Consistent. The design standards for major arterials, including Hamner Avenue, include areas for bus turn outs.
<p><b>GOAL DE-1:</b> High-quality urban design throughout Eastvale.</p>	Consistent. The specific plan includes high-quality landscaping and design features that apply to all development within the project.
<p><b>GOAL DE-4:</b> Provide and maintain attractive streetscapes in all areas of Eastvale.</p>	Consistent. The specific plan includes landscaping and design features that apply to all development within the project.
<p><b>POLICY DE-34:</b> Non-residential developments shall be designed to consider their surroundings and visually enhance, not degrade, the character of the surrounding area.</p>	Consistent



Applicable General Plan Goals and Policies	Consistency Finding
<b>POLICY DE-35:</b> Commercial, industrial, and public projects shall be designed to minimize the visibility of parked vehicles from public streets. Where possible, parking lots shall be located behind or on the side of buildings to reduce their visual impact.	Consistent
<b>POLICY DE-36:</b> Heavy truck and vehicular access shall be designed to minimize potential impacts on adjacent properties.	Consistent. The specific plan includes screening, particulate-reducing landscape, and setbacks that apply to all development within the project.
<b>POLICY DE-37:</b> When more than one structure is on a commercial or other non- residential site, they should be linked visually through architectural style, colors and materials, signage, landscaping, design details such as light fixtures, and the use of arcades, trellises, or other open structures.	Consistent. The specific plan includes landscaping and design features that apply to all development within the project.
<b>POLICY DE-38:</b> Unarticulated, “boxy” structures shall be broken up by creating horizontal emphasis through the use of trim, varying surfaces, awnings, eaves, or other ornamentation and by using a combination of complementary colors.	Consistent
<b>POLICY DE-40:</b> Loading facilities for uses requiring delivery from large trucks shall be screened from public view and located away from residential uses, and their impacts should be appropriately mitigated.	Consistent
<b>POLICY DE-41:</b> Design parking lots and structures to be functionally and visually integrated and connected.	Consistent
<b>POLICY DE-43:</b> Parking for alternative modes of transportation, such as preferential parking for carpool/vanpool, motorcycles or alternative fuel vehicles, and bicycles, should be incorporated into parking plans for major commercial development projects. Transit plazas may be required to be incorporated into significant projects.	Consistent
<b>POLICY DE-45:</b> Development in industrial areas which are visible from public roadways and/or from adjacent properties shall incorporate high-quality design principles, including: <ul style="list-style-type: none"> <li>• Offices and enclosed structures oriented toward street frontages.</li> <li>• Building façades that provide visual interest.</li> <li>• Loading facilities and storage areas which are screened from public view along collectors and arterials.</li> </ul>	Consistent. The specific plan includes landscaping and design features that apply to all development within the project.
<b>POLICY DE-46:</b> Where the use of security fencing, window barriers, or similar features is necessary to secure a building or site, these measures shall be incorporated into the visual/architectural design of the project and shall be complementary to surrounding uses. This policy is not intended to apply to security features which are not visible from public rights-of-way or adjacent properties.	Consistent
<b>POLICY DE-47:</b> Signs are used primarily to facilitate business identification, rather than the advertisement of goods and services. Sign size limits and locations shall be consistent with this policy.	Consistent
<b>POLICY DE-48:</b> Building signs shall be integrated into the overall design of buildings and complement the architecture. All signs shall be compatible with the building and site design relative to colors, materials, and placement. <b>ACTION DE-48.1:</b> Require all commercial developments to provide a Master Sign Plan defining design, size, and location standards for all signs in the development.	Consistent
<b>POLICY DE-49:</b> Non-residential developments shall include consistent and well- designed signage that is integrated with the architectural character of each building.	Consistent
<b>POLICY DE-50:</b> Commercial signs shall be located on the same parcel or in the same project site as the use they identify.	Consistent
<b>POLICY DE-51:</b> Temporary signs shall be allowed only for limited times consistent with their purpose and shall be properly maintained and removed by the owner as required by the City.	Consistent

## Appendix C: General Plan Consistency Analysis

Applicable General Plan Goals and Policies	Consistency Finding
<b>GOAL ED-1:</b> Support the retention of existing retail commercial and industrial establishments and encourage new commercial, manufacturing, and industrial development in the City.	Consistent
<b>GOAL ED-2:</b> Promote economic growth within the City to provide employment opportunities and goods and services to local residents.	Consistent
<b>GOAL ED-3:</b> Encourage new investment in the City of Eastvale.	Consistent
<b>POLICY ED-3:</b> The City will actively encourage and support the location of employment and revenue generating businesses that support the City's overall vision for its future.	Consistent
<b>GOAL AQ-1:</b> Air quality that meets or exceeds all state and federal standards. <b>GOAL AQ-2:</b> Meet or exceed all current and future state-mandated targets for reducing emissions of greenhouse gases. <b>GOAL AQ-3:</b> Water supply and quality that is maintained and improved for the health of all city residents and visitors and for natural communities. <b>GOAL AQ-4:</b> Safe and reliable energy including energy from renewable sources to meet Eastvale's needs and enable continued economic growth.	Consistent. The project will comply with the California green building code standards and has a number of mitigation measures designed to reduce air quality impacts.
<b>POLICY AQ-3:</b> Reduce vehicle miles traveled and motor vehicle emissions through local job creation.	Consistent
<b>POLICY AQ-6:</b> Require site plan designs to protect people and land uses sensitive to air pollution.	Consistent
<b>POLICY AQ-7:</b> The City encourages the use of pollution control measures such as landscaping, vegetation, and other materials, which trap particulate matter or control pollution.	Consistent
<b>POLICY AQ-8:</b> The City encourages the planting of urban trees to remove pollutants from the air, provide shade, and decrease the negative impacts of heat on the air.	Consistent
<b>POLICY AQ-13:</b> The City encourages the use of building materials and methods which reduce emissions and energy use.	Consistent
<b>POLICY AQ-14:</b> The City encourages the use of energy-efficient heating equipment and other appliances, such as water heaters, swimming pool heaters, cooking equipment, refrigerators, furnaces, and boiler units.	Consistent
<b>POLICY AQ-15:</b> The City encourages centrally heated facilities to use automated time clocks or occupant sensors to control heating.	Consistent
<b>POLICY AQ-17:</b> To the greatest extent possible, require every project to mitigate any of its anticipated emissions which exceed allowable emissions as established by the SCAQMD, the Environmental Protection Agency, and the California Air Resources Board.	Consistent
<b>POLICY AQ-19:</b> Analyze and mitigate, to the extent feasible, potentially significant increases in greenhouse gas emissions during project review, pursuant to the California Environmental Quality Act.	Consistent
<b>POLICY AQ-20:</b> Continue to support the planting and maintenance of trees in the community to increase carbon sequestration.	Consistent
<b>POLICY AQ-22:</b> The City encourages the decrease of stormwater runoff by reducing pavement in development areas, and by design practices such as permeable parking bays and porous parking lots with bermed storage areas for rainwater detention.	Consistent
<b>POLICY AQ-23:</b> The City encourages native, drought-resistant landscape planting.	Consistent
<b>POLICY AQ-25:</b> Minimize pollutant discharge into storm drainage systems, natural drainages, and aquifers.	Consistent
<b>POLICY AQ-32:</b> Utilize source reduction, recycling, and other appropriate measures to reduce the amount of solid waste disposed of in landfills.	Consistent

Applicable General Plan Goals and Policies	Consistency Finding
<b>GOAL HC-1:</b> Protect and promote high levels of health and well-being for all residents	Consistent
<b>POLICY HC-3:</b> The City encourages a built environment that promotes physical activity and access to healthy foods, while reducing driving and pollution.	Consistent
<b>POLICY HC-9:</b> The City encourages the development of a wide range of health care and mental health facilities in and near Eastvale that are transit-accessible and pedestrian-friendly.	Consistent
<b>GOAL N-1:</b> Prevent and mitigate the adverse impacts of excessive noise exposure on the residents, employees, visitors, and noise-sensitive uses of Eastvale.	Consistent
<b>GOAL N-2:</b> Locate noise-tolerant land uses within areas irrevocably committed to land uses that are noise-producing, such as transportation corridors.	Consistent
<b>GOAL N-4:</b> Locate noise sources away from existing noise sensitive land uses unless appropriate noise control measures are provided.	Consistent
<b>POLICY N-1:</b> Protect noise-sensitive land uses from high levels of noise by restricting noise-producing land uses from these areas.	Consistent
<b>POLICY N-6:</b> Mitigate exterior noise to the levels shown in Table N-3 to the extent feasible.	Consistent
<b>POLICY N-14:</b> Ensure compatibility between industrial and commercial development and adjacent land uses. To achieve compatibility, industrial and commercial development projects may be required to include noise mitigation measures to avoid or minimize project impacts on adjacent uses.	Consistent
<b>POLICY N-15:</b> Encourage noise-tolerant land uses such as commercial or industrial development, to locate in areas already committed to land uses that are noise-producing.	Consistent
<b>POLICY N-16:</b> Require that parking structures, terminals, and loading docks of commercial or industrial land uses be designed to minimize potential noise impacts on adjacent noise sensitive land uses.	Consistent
<b>POLICY N-22:</b> Ensure that construction activities are regulated to establish hours of operation in order to prevent and/or mitigate the generation of excessive or adverse noise impacts on surrounding areas.	Consistent
<b>POLICY N-23:</b> Condition subdivision and other land development approval adjacent to developed/occupied noise-sensitive land uses to require the developer to submit a construction-related noise mitigation plan to the City for review and approval prior to issuance of a grading permit. The plan must depict the location of construction equipment and specify how the noise from this equipment will be mitigated during construction of this project, through the use of such methods as: a) Temporary noise attenuation fences; b) Preferential location of equipment; c) Length of equipment use and idling time; and, d) Use of current noise suppression technology and equipment.	Consistent
<b>POLICY N-24:</b> Require that all construction equipment be kept properly tuned and use noise reduction features (e.g. mufflers and engine shrouds) that are no less effective than those originally installed by the manufacturer.	Consistent

## Appendix C: General Plan Consistency Analysis

Applicable General Plan Goals and Policies	Consistency Finding
<p><b>POLICY OS-7:</b> The trails system in Eastvale should provide for connectivity, so that all trails are linked to the extent possible for greater use as recreational and travel routes. The following features should be included in the trails system:</p> <ul style="list-style-type: none"> <li>• Trails should link residential areas with parks, commercial and office areas, and other destinations.</li> <li>• Trails along major roadways should avoid meanders or other design features which make bicycle use less convenient or safe.</li> <li>• Trails should be located off-street to the extent possible.</li> <li>• Easements such as access roads should be placed in joint use as trails.</li> </ul>	Consistent
<p><b>GOAL S-1:</b> Provide a safe and healthy environment for all Eastvale residents that includes adequate levels of police and fire protection, safe housing, and safe places to work and play.</p>	Consistent
<p><b>GOAL S-3:</b> Coordinate planning activities and development proposals with law enforcement capabilities to create communities, neighborhoods, and conditions that enhance community safety and emergency disaster response.</p>	Consistent
<p><b>POLICY S-2:</b> All new development shall be designed and constructed to conform with the Building Code and other applicable codes and other safety standards related to seismic and geo-logic hazards.</p> <p><b>ACTION S-2.1:</b> Require geological and geotechnical investigations in areas with potential for seismically induced liquefaction or settlement as part of the environmental and development review process, for any structure proposed for human occupancy, and for any structure whose damage would cause harm.</p>	Consistent
<p><b>POLICY S-10:</b> All proposed construction shall meet minimum standards for fire safety as defined in the City's Building or Fire codes, based on building type, design, occupancy, and</p>	Consistent
<p><b>POLICY S-13:</b> The City will regulate the storage of hazardous materials consistent with state and federal law. The City shall not permit above- or below-ground tanks without considering the potential hazards that would result from the release of stored liquids caused by rupture, collapse, or leaks, and may request applicants to have an emergency response plan.</p>	Consistent
<p><b>POLICY S-20:</b> The City shall work with the Riverside County Fire Department to ensure the safety and protection of Eastvale and its community members.</p> <p><b>ACTION S-20.1:</b> The City will work with the County Fire Department through the review of proposed development projects to ensure that fire safety issues are considered.</p>	Consistent
<p>The only applicable SUS policies relate to economic development and refer to those policies.</p>	

## APPENDIX D: CONDITIONS OF APPROVAL

<b>CONDITIONS OF APPROVAL</b>
<b>Planning Application Number and Description: Project No. 11-0271</b> – Major Development Plan Review for the construction of the industrial component of the Goodman Commerce Center at Eastvale Specific Plan with two industrial buildings totaling 2,040,897 square feet.
<b>Assessor’s Parcel Numbers:</b> 160-020-023; 160-020-029 through -032
<b>City Council Approval Date: November 12, 2014</b>

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
<b>General Conditions/Requirements</b>				
1.	<p>The applicant shall review and sign below verifying the “Acceptance of the Conditions of Approval” and return the signed page to the Eastvale Planning Department. Project approval is not final until a signed copy of these conditions is filed with the City.</p> <p>_____</p> <p>Applicant Signature    Date</p>		Planning Department	
2.	<p>The applicant shall indemnify, protect, defend, and hold harmless the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including but not limited to arbitrations, mediations, and other such procedures) (collectively “Actions”), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by, the City and/or</p>	Ongoing	Planning Department	

## Appendix D: Conditions of Approval

	Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
	any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.			
3.	The project shall be developed in accordance with the Specific Plan, Tentative Parcel Map, and Major Development Review applications approved by the City Council on <b>November 12, 2014</b> , including the approved site plan, architectural elevations, conceptual landscape plan, etc., unless otherwise conditioned herein. The applicant may request modifications or revisions to the approved project as outlined in the Specific Plan and the Eastvale Zoning Code.	Ongoing	Planning Department	
4.	Any approval shall not be final until and unless the applicant's deposit account is (1) paid in full to cover all expenditures up to and including the final public hearing and (2) an additional deposit of <b>\$10,000</b> is made as an initial payment to cover staff time for follow-up, monitoring, and other post-approval work by staff. The City reserves the right to request additional deposits to cover post-approval staff work and to halt work if the deposit account is exhausted. Make check payable to the <b>City of Eastvale</b> and include <b>Project No. 11-0271</b> on the check.	Ongoing	Planning Department	

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
5.	<p>Development in Planning Areas 4 and 5 shall be limited as follows:</p> <p>a) Except for a hospital, no portion of Planning Areas 4 or 5 may be developed for one (1) calendar year following the date of final City Council approval of the Specific Plan. For the purposes of this condition, “develop” is defined as the beginning of construction of building footings or foundations, grading of a site to accommodate a building, installation of on-site utilities, or any improvements other than those which are needed to accommodate the installation of backbone infrastructure for the overall project.</p> <p>b) After one calendar year has elapsed per Condition No. 5a above, development of Planning Areas 4 and 5 may begin.</p> <p>c) These conditions do not preclude the processing of grading plans, construction plans, building plans, etc., or the issuance of permits by the City, provided that the applicant acknowledges that the limits in Condition Nos. 5a to 5c apply. Construction activity in reliance on these permits shall be limited to the timing shown in Conditions No 5a to 5b, above.</p>	Ongoing	Planning Department	
6.	<p>Within one year of the issuance of the first certificate of occupancy for the industrial use (Building A or B), the developer shall initiate construction of not less than 100,000 square feet of business park building(s). Certificates of occupancy for subsequent industrial buildings may be withheld unless and until this condition is met.</p>	Ongoing	Planning and Public Works Departments	
7.	<p>Prior to issuance of a grading permit, a preconstruction presence/ absence survey for burrowing owls shall be conducted by a qualified biologist within 30 days prior to commencement of grading and construction activities in accordance with MSHCP Species Specific Conservation Objectives for burrowing owl, Objective 6 (page E-12). If ground- disturbing activities are delayed or suspended for more than 30 days after the preconstruction survey, the site shall</p>	Prior to issuance of grading permit and 30 days prior to commencement	Planning and Public Works Departments	

## Appendix D: Conditions of Approval

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	be resurveyed for owls. Take of active nests will be avoided. Passive relocation (use of one-way doors and collapse of burrows) will occur when owls are present outside the nesting season. (MM Bio 1)	of grading and construction		
8.	<p>Site-preparation activities (removal of trees and vegetation) shall be avoided, to the greatest extent possible, during the nesting season (generally February 1 to August 31) of potentially occurring native and migratory bird species.</p> <p>If site preparation activities are proposed during the nesting/breeding season (February 1 to August 31), a pre-activity field survey shall be conducted by a qualified biologist prior to the issuance of grading permits to determine if active nests of species protected by the Migratory Bird Treaty Act (MBTA) or the California Fish and Game Code are present in the construction zone. If active nests are observed and located, appropriate buffers (e.g., 500 feet of an active listed species or raptor nest, 300 feet of other sensitive or protected bird nests (non-listed), within 100 feet of sensitive or protected songbird nests) shall be established and maintained during clearing and grubbing activities within the nesting season. No grading or heavy equipment activity shall take place within the established buffer until the nest is no longer active as determined by a qualified biologist. (MM Bio 2)</p>	Prior to issuance of grading permit	Planning and Public Works Departments	
9.	<p>Prior to the issuance of rough grading permits, the implementing project developer shall retain and enter into a monitoring and mitigation service contract with a qualified archaeologist certified by the City. This professional shall be known as the “Project Monitor.”</p> <p>a) The Project Monitor shall be included in the pre-grade meetings to provide cultural/historical sensitivity training including the establishment of set guidelines for ground disturbance in sensitive areas with the grading contractors and special interest monitors.</p> <p>b) The Project Monitor shall manage and oversee monitoring for all initial ground-disturbing activities and excavation of each portion of the project</p>	Prior to issuance of grading permit	Planning and Public Works Departments	



	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	<p>site including clearing, grubbing, tree removals, grading, trenching, stockpiling of materials, rock crushing, structure demolition, etc.</p> <p>c) The Project Monitor shall have the authority to temporarily divert, redirect, or halt the ground disturbance activities to allow identification, evaluation, recommended treatment, and potential recovery of cultural resources in coordination with tribal monitors from the Soboba Band of Luiseno Indians. (MM Cult 1)</p>			
10.	<p>The implementing project developer shall retain a qualified paleontologist for paleontology monitoring services.</p> <p>a) The developer shall submit a copy of a fully executed contract including the name, telephone number, and address of the retained, qualified paleontologist to the Planning Department and the Department of Building and Safety.</p> <p>b) Prior to site grading, a pre-grading meeting between the paleontologist and the excavation and grading contractor shall be held to outline the procedures to be followed when buried materials of potentially significant paleontological resources have been accidentally discovered during earth-moving operations and to discuss appropriate means to implement mitigation measure MM Paleo 2.</p> <p>When necessary, in the professional opinion of the retained paleontologist (and/or as determined by the Planning Director), the paleontologist or representative shall have the authority to monitor actively all project-related grading and construction and shall have the authority to temporarily divert, redirect, or halt grading activity to allow recovery of paleontological resources. (MM Paleo 1)</p>	Prior to issuance of grading permit	Planning and Public Works Departments	
11.	<p>Prior to the issuance of grading permits, a qualified paleontologist shall be retained to develop a Paleontological Resources Monitoring and Treatment Plan (PRMTP) for approval by the City of Eastvale Planning Department. Following</p>	Prior to issuance of grading permit	Planning and Public Works Departments	

## Appendix D: Conditions of Approval

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	<p>Planning Department approval of the PRMTP, grading and construction activities may proceed in compliance with the provisions of the approved PRMTP. The PRMTP shall include the following measures:</p> <ul style="list-style-type: none"> <li>a) A monitoring program specifying the procedures for the monitoring of all grading activities which will reach below a depth of 5 feet below surface area by a qualified paleontologist or qualified designee.</li> <li>b) If fossil remains large enough to be seen are uncovered by earth-moving activities, the qualified paleontologist or qualified designee shall temporarily divert earth-moving activities around the fossil site until the remains have been evaluated for significance and, if appropriate, have been recovered; and the paleontologist or qualified designee will then allow earth-moving activities to proceed through the site. If potentially significant resources are encountered, a letter of notification shall be provided in a timely manner to the City Planning Department, in addition to the report (described below) that is filed at completion of grading.</li> <li>c) If a qualified paleontologist or qualified designee is not present when fossil remains are uncovered by earth-moving activities, these activities in the immediate vicinity of the find shall be stopped and a qualified paleontologist or qualified designee shall be called to the site immediately to evaluate the significance of the fossil remains.</li> <li>d) At the discretion of a qualified paleontologist or qualified designee and to reduce any construction delay, a construction worker shall assist in removing fossiliferous rock samples to an adjacent location for temporary stockpiling pending eventual transport to a laboratory facility for processing.</li> <li>e) A qualified paleontologist or qualified designee shall collect all significant identifiable fossil remains. All fossil sites shall be plotted on a topographic map of the project site.</li> </ul>			

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	<p>f) If the qualified paleontologist or qualified designee determines that insufficient fossil remains have been found after 50 percent of earth-moving activities have been completed, monitoring can be reduced or discontinued.</p> <p>g) Any significant fossil remains recovered in the field as a result of monitoring or by processing rock samples shall be prepared, identified, catalogued, curated, and accessioned into the fossil collections of the San Bernardino County Museum, or another museum repository complying with the Society of Vertebrate Paleontology standard guidelines. Accompanying specimen and site data, notes, maps, and photographs also shall be archived at the repository.</p> <p>h) Prior to issuance of certificate of occupancy, a qualified paleontologist or qualified designee shall prepare a final report summarizing the results of the mitigation program and present an inventory and description of the scientific significance of any fossil remains accessioned into the museum repository. The report shall be submitted to the City Planning Department, the Riverside County Regional Park and Open Space District, and the museum repository. The report shall comply with the Society of Vertebrate Paleontology standard guidelines for assessing and mitigating impacts on paleontological resources. (MM Paleo 2)</p>			
12.	Electricity from power poles shall be used instead of temporary diesel- or gasoline-powered generators to reduce the associated emissions. Approval will be required by the City prior to issuance of grading permits. (MM Air 2)	Prior to issuance of grading permit	Planning and Public Works Departments	
13.	<p>To reduce construction vehicle emissions, the contract specification packages shall require that any diesel-powered off-road equipment meets the following criteria:</p> <p>a) The contractor's fleet of off-road diesel-powered construction equipment greater than 25 horsepower shall meet Tier 3 off-road emissions standards or better.</p>	Prior to issuance of grading permit	Planning Department	

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	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	<p>b) Any emissions control device used by the contractor shall achieve Level 3 emissions reductions of no less than 85 percent for particulate matter, as specified by California Air Resources Board (ARB) regulations.</p> <p>c) The contractor shall also provide certification that their fleet is in compliance with ARB’s In-Use Off-Road Diesel Vehicle Regulation in effect at that time or proof that the contractor has applied to the South Coast Air Quality Management District (SCAQMD) SOON Program (and/or other applicable grant programs) to acquire funding assistance to bring it into compliance.</p> <p>d) Prior to issuance of grading permits, proof of compliance shall be provided to the City in project construction specifications, which shall include, but is not limited to, a copy of each unit’s certified tier specification, Best Available Control Technology documentation, and ARB and/or SCAQMD operating permit(s). (MM Air 4)</p>			
14.	The applicant shall submit plans of the water quality basins adjacent to the Jurupa Community Services District (JCSD) and Chino Basin Desalter Authority (CDA) well and easements. The final plans shall accommodate vehicular access to the JCSD and CDA facilities in these easements and address facility protection during construction of the basin. Any temporary or permanent grading operations for the basin shall be limited to outside the existing JCSD and CDA easements unless reviewed and approved by the JCSD.	Prior to issuance of grading permit	Public Works Departments	
15.	Flood control facilities improvement plans, grading plans, best management practices (BMP), improvement plans, and any other necessary documentation, along with supporting hydrologic and hydraulic calculations, must receive County of Riverside Flood Control and Water Conservation District approval. Proof of approvals shall be provided to the City prior to issuance of any grading permit.	Prior to issuance of grading permit	Planning and Public Works Departments	

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
16.	To reduce construction vehicle (truck) idling while waiting to enter/exit the site, prior to issuance of grading permits, the contractor shall submit a traffic control plan that will describe in detail safe detours to prevent traffic congestion to the best of the project's ability, and provide temporary traffic control measures during construction activities that will ensure smooth traffic flows. Construction equipment and truck idling times shall be prohibited in excess of 5 minutes on-site. To reduce traffic congestion, and therefore nitrogen oxide emissions, the plan shall include, as necessary, appropriate, and practicable, the following: dedicated turn lanes for movement of construction trucks and equipment on- and off-site, scheduling of construction activities that affect traffic flow on the arterial system to off- peak hours, rerouting of construction trucks away from congested streets or sensitive receptors, and/or signal synchronization to improve traffic flow. (MM Air 3)	Prior to issuance of grading permit	Public Works Departments	
17.	Prior to issuance of a precise grading permit, sight distance at the project driveways shall be reviewed and approved with respect to the City's sight distance standards and shall be illustrated on the final grading, landscape, and street improvement plans. (MM Trans 1)	Prior to issuance of grading permit	Planning, Building, and Public Works Departments	
18.	Prior to issuance of a grading permit, the applicant/developer shall submit document of consultation with the Santa Ana Regional Water Quality Control Board. The developer shall consult with the Santa Ana Regional Water Quality Control Board to determine if an application for waste discharge requirements is required. If required, the waste discharge requirements from the Regional Water Quality Board must be issued prior to construction start. (MM Bio 3)	Prior to issuance of grading permit	Planning and Public Works Departments	
<b>Prior to Issuance of Encroachment Permit for Street Improvements</b>				
19.	To reduce noise impacts from project-related traffic along Hamner Avenue between Cantu-Galleano Ranch Road and Bellegrave Avenue, Street Improvement Plan specifications for Hamner Avenue shall be reviewed and approved which require the use of rubberized asphalt concrete for all applicant-constructed or financed improvements to Hamner Avenue travel or turning lanes between Cantu-Galleano Ranch Road and Bellegrave Avenue. (MM Noise 7)	Prior to issuance of encroachment permit for the construction on Hamner Avenue	Public Works Department	

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	Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
<b>Prior to Issuance of Building Permit</b>				
20.	For all warehouse uses of the proposed project, the loading docks shall be designed to accommodate SmartWay trucks. Proof of compliance shall be provided in building plans prior to the issuance of building permits and subject to on-site verification prior to occupancy. The master developer shall also provide the Building Safety & Inspection Department with SmartWay information/regulations prior to the first grading permit. The Building Department shall distribute the information to each end-user prior to occupancy (final inspection). (MM GHG 1)	Prior to issuance of building permit	Planning and Building Departments	
21.	The project is required to reduce waste by 3 percent through a waste diversion program that requires recycling and composting from some or all uses on the project site. This will be required by the City prior to issuance of building permits. (MM GHG 3)	Prior to issuance of building permit	Planning and Building Departments	
22.	<p>Prior to issuance of a building permit for each structure or group of structures, a final acoustical impact analysis shall be prepared based on precise grading plans and architectural plans that will allow for detailed noise modeling.</p> <p>a) The final acoustical impact analysis shall be utilized to confirm the preliminary acoustical impact analysis' exterior findings to demonstrate that noise produced from on-site activities and equipment does not exceed the standards set forth in Eastvale General Plan Policy N-7 (for the receivers to the north, west, and south of the project site) or Ontario Municipal Code Section 29.04 (for the receivers east of the project site). The subject building(s) shall be revised if the final acoustical impact analysis demonstrates that off-site noise will exceed those standards. Potential revisions may include but are not limited to shielding, alternative pavement surfaces, additional buffers, regulations on hours of operation, sound insulation for affected residences, changes in screening materials, complete enclosure of noise-generating equipment, increased setbacks, reorienting parking lots, or other measures as deemed appropriate by the City.</p>	Prior to issuance of building permit	Planning and Building Departments	

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	b) Prior to the issuance of the certificate of occupancy for the structure subject to the final acoustical impact analysis, the Planning Director shall certify that the measures set forth in the final acoustical impact analysis will be effective to mitigate project-related noise such that exterior and interior noise levels, as mitigated, will be consistent with Eastvale General Plan Policy N-7 and/or the Ontario Municipal Code Section 29.04. (MM Noise 6)			
23.	Implementing project developers shall provide JCSD with fire flow requirements from the Riverside County Fire Department in order to determine the adequacy of the water system. (MM Util 1)	Prior to issuance of building permit	Planning and Building Departments	
24.	Prior to the issuance of a building permit, the applicant shall provide construction specifications for review and approval by the City's Building and Safety Department showing the reduction of volatile organic compounds (VOC) emissions associated with architectural coating. The project designer and contractor shall reduce the use of paints and solvents by utilizing pre-coated materials (e.g., bathroom stall dividers, metal awnings) and materials that do not require painting, and require coatings and solvents with a VOC content lower than required under Rule 1113 to the extent feasible. Construction specifications shall be included in the building specifications. (MM Air 6)	Prior to issuance of building permit	Building Departments	
25.	All project buildings must be constructed to allow for easy, cost-effective installation of solar energy systems in the future, using such "solar-ready" features as: <ul style="list-style-type: none"> <li>a) Clear access without obstructions (chimneys, heating and plumbing vents, etc.) on the south-sloped roof.</li> <li>b) Design of the roof framing to support the addition of solar panels.</li> <li>c) Installation of electrical conduits to accept solar electric system wiring.</li> </ul> (MM GHG 4)	Prior to issuance of building permit	Building Departments	

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	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
26.	Prior to the issuance of a building permit, the applicant shall submit a photometric lighting plan for review and approval to ensure that proper outdoor light, pursuant to City of Eastvale Municipal Code Section 120.05.050, Outdoor Lighting, is provided.	Prior to issuance of building permit	Planning, Building, Public Works, and Police Departments	
27.	Prior to the issuance of a building permit, the applicant shall submit plans showing the final locations of outdoor employee break areas for review and approval. No employee break areas shall be located along the east side of Building A and Building B.	Prior to issuance of building permit	Planning Department	
28.	Prior to the issuance of a building permit, final landscape plans shall be reviewed and approved by the City. Landscaping shall be installed and verified prior to occupancy.	Prior to issuance of building permit	Planning Department	
29.	<p>Prior to the issuance of a building permit, the applicant shall submit a set of development plans to the Eastvale Police Department for review and approval to ensure compliance with the following:</p> <p><b>PROPERTY GATES AND KNOX BOX ENTRY</b></p> <p>a) The installation of the Knox Rapid Entry System if property gates are installed. This system permits law enforcement, fire, and first responders to obtain independent access to the property in the event of an emergency. The necessary order forms for the Knox Company may be obtained by contacting the Jurupa Valley Sheriff's Station Crime Prevention Programs Coordinator at (951) 955-9225.</p> <p><b>PROPERTY SIGN</b></p> <p>b) Proper display of "No Trespassing or Loitering" signs prominently around business and any exterior perimeter fencing and adhere to City of Eastvale Municipal Code Section 120.05.070, Signs.</p>	Prior to issuance of building permit	Building and Police Departments	



	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	<p>ADDRESS NUMBERING:</p> <p>c) Prominently displayed address numbering in size and contrasting in color from the building façade or on a fixed sign near the street/main entrances. The numbers need to be visible from the street and interior property sides for any approaching emergency vehicles. No obstructions should limit their visibility (i.e., landscaping).</p> <p>SECURITY PLAN</p> <p>d) Adequate crime prevention measures, such as security cameras, shall be installed to assist with identifying any suspect(s) of any potential future vandalism or theft attempts. Due to the high possibility of theft/vandalism attempts during construction, additional security measures should be added during that time frame of the proposed construction. All exterior access points should be properly secured and illuminated to make clearly visible any person on or about the premises during the hours of darkness.</p>			
30.	Signing/striping shall be implemented in conjunction with detailed construction plans for the project site. (MM Trans 2)	Prior to issuance of building permit	Public Works Department	
31.	<p>Prior to the issuance of a building permit for each building, the final site plan shall indicate the location of bicycle parking installation using Class I lockers or Class II racks in an enclosed lockable area, as follows:</p> <ul style="list-style-type: none"> <li>• Building A – 15 spaces</li> <li>• Building B – 15 spaces</li> </ul> <p>The location of bicycle parking is subject to approval by the Planning Department.</p>	Prior to issuance of building permit	Planning Department	

## Appendix D: Conditions of Approval

	Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
<b>During Ground Disturbance and Construction</b>				
32.	<p>Prior to any construction or grading on-site, a Construction Traffic Control Plan shall be prepared by the implementing developer and submitted to the City of Eastvale Public Works Department for approval.</p> <ul style="list-style-type: none"> <li>a) The Construction Traffic Control Plan shall include the estimated day(s), time(s), and duration of any lane closures that are anticipated to be required on Cantu-Galleano Ranch Road, Hamner Avenue, and Bellegrave Avenue due to project construction.</li> <li>b) The Construction Traffic Control Plan shall include measures such as, but not limited to, signage, flagmen, cones, advance community notice, or other acceptable measures to the satisfaction of the City of Eastvale Public Works Department.</li> <li>c) The purpose of the measures shall be to safely guide motorists, cyclists, and pedestrians; minimize traffic impacts; and ensure the safe and even flow of traffic consistent with City level of service standards and safety requirements.</li> </ul> <p>The plan must stipulate that during construction, the implementing developer or its general contractor are required to notify the City of Eastvale Public Works Department at least five (5) business days in advance of any planned lane closure that will be caused by project construction. The City shall evaluate any other known lane closures, construction activities, or special events which may conflict with the project's scheduled lane closure or create additional impacts to traffic flow on Cantu-Galleano Ranch Road, Hamner Avenue, and/or Bellegrave Avenue; and, if deemed necessary by the City of Eastvale Public Works Department, the project's lane closure may be postponed or rescheduled. (MM Trans 3)</p>	Prior to construction	Public Works Department	

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
33.	<p>Prior to any construction or grading on-site, the applicant shall provide a plan showing temporary construction barriers are used to reduce impacts from construction noise to sensitive receivers located west and south of the project (receivers R5, R6, R9, R10, and R11 as shown on Figure 5.11-1 of the EIR, and attached to these Conditions of Approval) during construction as follows:</p> <ul style="list-style-type: none"> <li>a) If the residence at receiver location R5 (as shown on Figure 5.11-1) is still in place and occupied when project-related construction commences, a temporary 12-foot-tall noise barrier with a sound transmission class (STC) rating of 13 dBA or greater shall be in place during all construction within a 1,150-foot radius of the residence to reduce noise at location R5 to 60 <math>L_{eq}</math> DBA or less. The temporary noise barrier shall be 2,300 feet in length with no gaps and positioned on the westerly project boundary with 1,150 feet located north of receiver R5 and 1,150 feet located south of receiver R5.</li> <li>b) Prior to construction within a 900-foot radius of receiver location R6 (as shown on Figure 5.11-1), a temporary 12-foot-tall noise barrier with an STC rating of 4 dBA or greater shall be in place during all construction within said 900-foot radius to reduce noise at location R6 to 59 <math>L_{eq}</math> DBA or less. The temporary noise barrier shall be 1,800 feet in length with no gaps and located at a point 900 feet north of the southwest corner of the project boundary and continue south to said southwest corner and then continue 900 feet northeast along the south project boundary.</li> <li>c) Prior to construction within a 550-foot radius of receiver location R9 (as shown on Figure 5.11-1), a temporary 12-foot-tall noise barrier with an STC rating of 22 dBA or greater shall be in place during all construction within said 550-foot radius to reduce noise at location R9 to 60 <math>L_{eq}</math> DBA or less. The temporary noise barrier shall be 650 feet in length with no gaps and commence at the southwest corner of the project boundary and continue 650 feet northeast along the south project boundary.</li> </ul>	Prior to construction	Planning and Building Departments	

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	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	<p>d) Prior to construction within a 650-foot radius of receiver location R10 (as shown on Figure 5.11-1), a temporary 12-foot-tall noise barrier with an STC rating of 24 dBA or greater shall be in place during all construction within said 650-foot radius to reduce noise at location R10 to 58 <math>L_{eq}</math> dBA or less. The temporary noise barrier shall be 1,300 feet in length with no gaps and commence at a point approximately 650 feet east of the southwest corner of the project boundary and continue 1,300 feet northeast along the south project boundary.</p> <p>e) Prior to construction within a 250-foot radius of receiver location R11 (as shown on Figure 5.11-1), a temporary 12-foot-tall noise barrier with an STC rating of 14 dBA or greater shall be in place during all construction within said 250-foot radius to reduce noise at location R11 to 68 <math>L_{eq}</math> dBA or less. The temporary noise barrier shall be 250 feet in length with no gaps and commence at the southeast corner of the project boundary and continue 250 feet southwest along the south project boundary.</p> <p>Plans showing the location of and STC ratings for the temporary noise barriers shall be submitted to the City Planning Director for review prior to the commencement of any project-related construction within the distances from the receivers identified in paragraphs a) through e) of this mitigation measure. The Planning Director shall review the location and STC rating of the noise barriers to confirm that the barriers will attenuate construction-related noise to the levels identified in paragraphs a) through e) and Table 5.11-M.</p> <p>As an alternative to the temporary noise barriers described in paragraphs a) through e), above, the project applicant (or proponent of any development within the Specific Plan) may prepare and submit to the City Planning Director a Construction Noise Reduction Plan with supporting analysis that identifies alternative construction noise reduction strategies that achieve the desired noise levels identified in [EIR] Table 5.11-M (attached to these Conditions of Approval). If after review of the Noise Reduction Plan the City Planning</p>			

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	Director determines that the alternative noise reduction strategies proposed by said plan achieve the desired noise levels identified in Table 5.11-M, such strategies may be used in place of the temporary barriers described in paragraphs a) through e) of this mitigation measure. (MM Noise 1)			
34.	<p>If during ground disturbance activities cultural resources are discovered that were not anticipated by the archaeological reports and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.</p> <ul style="list-style-type: none"> <li>a) All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the Planning Director to discuss the significance of the find.</li> <li>b) At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the archaeologist, a decision is made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc.) for the cultural resources.</li> <li>c) Further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate preservation or mitigation measures. (MM Cult 2)</li> </ul>	During ground-disturbing activities	Planning and Public Works Departments	

## Appendix D: Conditions of Approval

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
35.	If human remains are encountered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resource Code Section 5097.98(b), remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. The Soboba Band of Luiseno Indians, identified as the Most Likely Descendant, shall make recommendations and engage in consultation with the City and the property owner concerning the treatment of the remains as provided in Public Resources Code Section 5097.98 and California Government Code Section 6254.10. (MM Cult 3)	During ground-disturbing activities	Planning and Public Works Departments	
36.	During construction, ozone precursor emissions from all vehicles and construction equipment shall be controlled by maintaining equipment engines in good condition, in proper tune per manufacturers' specifications. Equipment maintenance records and equipment design specification data sheets shall be available during construction. Compliance with this measure shall be subject to periodic inspections by the City. (MM Air 1)	During construction	Planning and Building Departments	
37.	To reduce fugitive dust emissions, the contractor shall provide the City with sufficient proof of compliance with Rule 403 and other dust control measures including, but not limited to: <ul style="list-style-type: none"> <li>• Watering active sites three times daily.</li> <li>• Requiring the replacement of ground cover or the application of non-toxic soil stabilizers according to manufacturers' specifications to unpaved roads and all inactive construction areas (previously graded areas inactive for 10 days or more, assuming no rain).</li> <li>• Requiring trucks entering or leaving the site hauling dirt, sand, or soil, or other loose materials on public roads to be covered.</li> <li>• Suspending all excavating and grading operations when wind gusts (as instantaneous gust) exceed 25 miles per hour.</li> </ul>	During construction	Planning and Building Departments	

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	<ul style="list-style-type: none"> <li>• Posting contact information outside the property for the public to call if specific air quality issues arise; the individual charged with receipt of these calls shall respond to the caller within 24 hours and resolution of the air quality issue(s), if valid, or implementation of corrective action(s) will occur within 48 to 72 hours of the time that the issue first arose.</li> <li>• Sweeping of streets using SCAQMD Rule 1186 and 1186.1 certified street sweepers or roadway washing trucks (utilizing recycled water if it becomes available) at the end of the day if visible soil material is carried over to adjacent streets.</li> <li>• Posting and enforcement of traffic speed limits of 15 miles per hour or less on all unpaved roads.</li> <li>• Installing wheel washers or gravel pads at construction entrances where vehicles enter and exit unpaved roads onto paved roads, or wash off trucks and any equipment leaving the site each trip to prevent track out.</li> <li>• Paving of all roadways, driveways, sidewalks, etc., shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless soil stabilizers are used. (MM Air 5)</li> </ul>			
38.	<p>During project construction, the applicant is required to comply with the following Best Available Control Technology (BACT) from Appendix G of the Southern California Association of Governments' Regional Transportation Plan/Sustainable Communities Strategy, including:</p> <ol style="list-style-type: none"> <li>a) Soliciting bids that include use of energy- and fuel-efficient fleets.</li> <li>b) Soliciting preference construction bids that use BACT, particularly those seeking to deploy zero- and/or near-zero emission technologies.</li> <li>c) Using GHG-emitting construction materials consistent with the California Green Building Standards Code.</li> <li>d) Use of cement blended with the maximum feasible amount of flash or other materials that reduce GHG emissions from cement production. (MM GHG 2)</li> </ol>	During construction	Building Department	

## Appendix D: Conditions of Approval

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
39.	All contractors shall turn off all construction equipment and delivery vehicles when not in use and/or if idling for longer than 3 minutes. (MM GHG 5)	During construction	Building Department	
40.	The general contractor shall develop a low-impact construction commuting plan for all tradespersons to utilize during project construction. This plan may address the home to office/shop commute, office/shop to job site commute, or both. (MM GHG 6)	During construction	Building Department	
41.	Project-related construction shall adhere to the hours set forth in Eastvale Municipal Code Section 8.01.010, Ordinance No. 2010-08. Exceptions shall be only with the written consent of the City of Eastvale Building Official. (MM Noise 2)	During construction	Building Department	
42.	To minimize noise impacts resulting from poorly tuned or improperly modified vehicles and construction equipment, all vehicles and construction equipment shall maintain equipment engines in good condition and in proper tune per manufacturers' specifications and use noise reduction features (e.g., mufflers and engine shrouds) that are no less effective than those originally installed by the manufacturer, to the satisfaction of the City of Eastvale Building Department. Equipment maintenance records and equipment design specification data sheets shall be kept on-site during construction or be available within 24 hours of receipt of the request. Compliance with this measure shall be subject to periodic inspections by the City of Eastvale Building Department. (MM Noise 3)	During construction	Building Department	
43.	The construction contractor shall locate equipment staging in areas that will create the greatest distance between construction-related noise sources and noise-sensitive receivers nearest the project site during all project construction. (MM Noise 4)	During construction	Building Department	
44.	To minimize or eliminate motor-derived noise from construction equipment, contractors shall utilize construction equipment that either uses alternative fuels (such as natural gas or propane) or electricity, where practical and feasible. (MM Noise 5)	During construction	Building Department	



	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
45.	During construction, the implementing developer or its general contractor is required to notify the City of Eastvale Public Works Department at least five (5) business days in advance of any planned lane closure that will be caused by project construction. The City shall evaluate any other known lane closures, construction activities, or special events which may conflict with the project's scheduled lane closure or create additional impacts to traffic flow on Cantu-Galleano Ranch Road, Hamner Avenue, and/or Bellegrave Avenue; and, if deemed necessary by the City of Eastvale Public Works Department, the project's lane closure may be postponed or rescheduled. (MM Trans 3)	During construction	Building Department	
<b>Prior to Issuance of Certificate of Occupancy</b>				
46.	Prior to issuance of certificate of occupancy, a qualified paleontologist or qualified designee shall prepare a final report summarizing the results of the mitigation program and present an inventory and description of the scientific significance of any fossil remains accessioned into the museum repository. The report shall be submitted to the City Planning Department, the Riverside County Regional Park and Open Space District, and the museum repository. The report shall comply with the Society of Vertebrate Paleontology standard guidelines for assessing and mitigating impacts on paleontological resources. (MM Paleo 2)	Prior to issuance of certificate of occupancy	Planning Department	
47.	Prior to the issuance of the certificate of occupancy for the structure subject to the final acoustical impact analysis, the Planning Director shall certify that the measures set forth in the final acoustical impact analysis will be effective to mitigate project-related noise such that exterior and interior noise levels, as mitigated, will be consistent with Eastvale General Plan Policy N-7 and/or the Ontario Municipal Code Section 29.04. (MM Noise 6)	Prior to issuance of certificate of occupancy	Planning Department	
48.	Prior to the issuance of a certificate of occupancy for each industrial and commercial facility within the project, the applicant shall provide the developer of that facility with information regarding energy efficiency, solid waste	Prior to issuance of certificate of occupancy	Public Works Department	

## Appendix D: Conditions of Approval

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	reduction, recycling, motor vehicle-related greenhouse gas emissions, and water conservation best practices. The applicant shall also publicize information regarding solid waste reduction and recycling best practices to developers and tenants within the Specific Plan area. Finally, the applicant shall encourage the use of alternative transportation methods among its tenants, including bus transit, vanpools, carpools, and car- and ride-sharing programs. (MM GHG 7)			
49.	For all warehouse uses of the proposed project, the loading docks shall be designed to accommodate SmartWay trucks. Proof of compliance shall be provided in building plans prior to the issuance of building permits and subject to on-site verification prior to occupancy. The master developer shall also provide the Building Safety & Inspection Department with SmartWay information/regulations prior to the first grading permit. The Building Department shall distribute the information to each end-user prior to occupancy (final inspection). (MM GHG 1)	Prior to issuance of certificate of occupancy	Building Department	
50.	All aerial utility lines including electrical power lines at 34.5KV and under located within the public right-of-way shall be installed underground to the satisfaction of the City Engineer.	Prior to issuance of certificate of occupancy	Public Works Department	
51.	All aerial electrical power lines above 34.5KV within the public right-of- way shall be relocated behind the curb and gutter to the satisfaction of the City Engineer.	Prior to issuance of certificate of occupancy	Public Works Department	
52.	Prior to issuance of the first certificate of occupancy, the implementing developer shall provide warrants and install a traffic signal at the intersection of Street A (NS) and Cantu-Galleano Ranch Road (EW) to include the following geometrics: Northbound: Two left-turn lanes, plus one right-turn lane. Southbound: Not applicable. Eastbound: Three through lanes, plus one shared through and right-turn lane.	Prior to issuance of certificate of occupancy	Public Works Department	

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	<p>Westbound: One left-turn lane, and a minimum of two through lanes. This condition is consistent with and satisfies mitigation measure MM Trans 5.</p> <p>The City Engineer reserves the right to require reasonable and warranted alternative configurations of the geometrics as long as the above minimum traffic flow is maintained.</p>			
53.	<p>Prior to issuance of the first certificate of occupancy, the implementing developer shall construct the intersection of Hamner Avenue (NS) and the northern driveway between Parcels 6 and 9 (EW) to restrict movement to right-in and right-out only from the driveway with the following geometrics:</p> <p>Northbound: Two through lanes, plus one shared through and right-turn lane.  Southbound: Two through lanes.  Eastbound: Not applicable.  Westbound: One right-turn lane. Stop controlled.</p> <p>This condition is consistent with and satisfies mitigation measure MM Trans 6.  The City Engineer reserves the right to require reasonable and warranted alternative configurations of the geometrics as long as the above minimum traffic flow is maintained.</p>	Prior to issuance of certificate of occupancy	Public Works Department	
54.	<p>Prior to issuance of the first certificate of occupancy, the implementing developer shall construct the intersection of Hamner Avenue (NS) and Street B (EW) to include the following geometrics:</p> <p>Northbound: Two through lanes, plus one shared through and right-turn lane.  Southbound: One left-turn lane and two through lanes.  Eastbound: One through lane (east of Hamner Avenue).  Westbound: One right-turn lane. Stop controlled.</p> <p>This condition satisfies mitigation measure MM Trans 7.</p>	Prior to issuance of certificate of occupancy	Public Works Department	

## Appendix D: Conditions of Approval

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	The City Engineer reserves the right to require reasonable and warranted alternative configurations of the geometrics as long as the above minimum traffic flow is maintained.			
55.	Prior to issuance of first certificate of occupancy, landscaping shall be installed around the water quality basins located on Parcels 3 and 4 of PM 36487.	Prior to issuance of certificate of occupancy	Planning and Public Works Departments	
56.	Prior to issuance of first certificate of occupancy, a 10-foot-wide pedestrian and bike trail shall be installed around the water quality basins located on Parcels 3 and 4, and provide appropriate connection of the trail from the business park to the commercial area. Tubular steel fencing shall be installed around all basins on the project site designed to hold more than 18 inches of standing water. Gates shall be provided for maintenance of the basins.	Prior to issuance of certificate of occupancy	Planning and Public Works Departments	
57.	<p>Prior to issuance of the first certificate of occupancy, the developer shall construct full eastbound improvements (four lanes) and westbound improvements (minimum of two lanes) on Cantu-Galleano Ranch Road from Hamner Avenue to Interstate 15 including the frontage of the NAP parcel (approximately a 12-acre lot located on the southeast corner of Hamner Avenue and Cantu-Galleano Road), provided the necessary rights-of-way can be obtained from the NAP owner. Otherwise, the frontage of the NAP parcel shall include a minimum of two eastbound lanes, curb and gutter, and sidewalk. The developer will make every effort to work with the NAP parcel to dedicate the full rights-of-way.</p> <p>In no case shall the developer improve Cantu-Galleano Ranch Road to fewer than three lanes of travel adjacent to the NAP parcel between Hamner Avenue and I-15 adjacent to the Specific Plan boundary line per MM Trans 8.</p>	Prior to issuance of certificate of occupancy	Public Works Department	
58.	Prior to issuance of the first certificate of occupancy, the developer shall construct full northbound (three lanes) improvements on Hamner Avenue from Bellegrave Avenue to Cantu-Galleano Ranch Road including the frontage of the	Prior to issuance of certificate of occupancy	Public Works Department	

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	NAP parcel, provided the necessary rights-of-way can be obtained from its owner. Otherwise, the frontage of the NAP parcel shall include a minimum of two northbound lanes, curb and gutter, and sidewalk. (MM Trans 4)			
59.	Prior to issuance of the first certificate of occupancy, the developer shall construct raised median (not including landscaping) and partial southbound (two lanes) improvements on Hamner Avenue from Cantu-Galleano Ranch Road to Bellegrave Avenue. The developer shall enter into a reimbursement agreement with the City of Eastvale for the construction of improvements, which lies outside the City of Eastvale boundary. The costs of such improvements will be paid by the development(s) within the City of Ontario through an agreement between the cities of Ontario and Eastvale. (MM Trans 4)	Prior to issuance of certificate of occupancy	Public Works Department	
60.	Prior to issuance of the first certificate of occupancy, the developer shall construct full curb return at Hamner and Bellegrave including a minimum of 100-foot lane on Bellegrave to act as a westbound right turn lane onto Hamner. The remaining full improvements on Bellegrave will be constructed during the Business Park development on Parcels 3 and 4 of PM 36487.	Prior to issuance of certificate of occupancy	Public Works Department	
61.	Prior to issuance of the first certificate of occupancy, the developer shall construct full improvements of Street A to include two lanes southbound and one lane north per the Specific Plan.	Prior to issuance of certificate of occupancy	Public Works Department	
62.	Prior to issuance of the first certificate of occupancy, the developer shall construct full improvements of Street B.	Prior to issuance of certificate of occupancy	Public Works Department	
63.	Prior to issuance of the first certificate of occupancy, the developer shall construct full curb return at the southeast corner of Cantu-Galleano Ranch Road and Hamner Avenue, provided the necessary rights-of-way can be obtained from the NAP parcel. Otherwise an interim curb return shall be constructed. The developer will make every effort to work with the NAP parcel to dedicate the rights-of-way.	Prior to issuance of certificate of occupancy	Public Works Department	

## Appendix D: Conditions of Approval

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
64.	<p>Prior to issuance of the first certificate of occupancy, the developer shall construct the following improvements to the satisfaction of the City Engineer:</p> <ul style="list-style-type: none"> <li>a) All intersection curb returns to satisfy truck-turning requirements.</li> <li>b) New traffic signal at Cantu-Galleano Ranch Road and Street A.</li> <li>c) New traffic signal and associated public improvements at the intersection of Hamner Avenue and the drive access between Parcels 5 and 6 of PM 36487.</li> <li>d) New traffic signal and associated public improvements at the intersection of Hamner Avenue and the drive access on Parcel 9 of PM 36487.</li> </ul>	Prior to issuance of certificate of occupancy	Public Works Department	
65.	<p>Prior to issuance of the first certificate of occupancy, the developer shall modify the traffic signals to the satisfaction of the City Engineer at:</p> <ul style="list-style-type: none"> <li>a) Hamner Avenue and Cantu Galleano Ranch Road</li> <li>b) Hamner Avenue and Bellegrave Avenue</li> </ul>	Prior to issuance of certificate of occupancy	Public Works Department	
66.	<p>Prior to issuance of the first certificate of occupancy, the developer shall construct a concrete intersection at Hamner Avenue and Cantu-Galleano Ranch Road per the satisfaction of the City Engineer in coordination with the City of Ontario.</p>	Prior to issuance of certificate of occupancy	Public Works Department	
67.	<p>Prior to issuance of the first certificate of occupancy, the developer shall install traffic interconnect system to coordinate traffic signals along the following roadways:</p> <ul style="list-style-type: none"> <li>a) Hamner Avenue – between Cantu-Galleano Ranch Road and Bellegrave Avenue</li> <li>b) Cantu Galleano Ranch Road and Bellegrave Avenue – between Hamner and I-15</li> </ul>	Prior to issuance of certificate of occupancy	Public Works Department	

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
68.	Prior to issuance of the first certificate of occupancy, in coordination with roadway improvements the developer shall construct public facilities under the City of Eastvale and/or other service agencies' jurisdictions, including but not limited to storm drain facilities up to 36 inches in diameter, and sewer, water, and flood control facilities in accordance with each respective agency's requirements and specifications and to the satisfaction of the City Engineer.	Prior to issuance of certificate of occupancy	Public Works Department	
69.	<p>Prior to issuance of the first certificate of occupancy, the implementing developer shall modify the signalized intersection of Hamner Avenue (NS) and Cantu-Galleano Ranch Road (EW) to include the following geometrics:</p> <p>Northbound: Two through lanes plus one shared through and right-turn lane.  Southbound: One left-turn lane plus two through lanes.  Eastbound: Not applicable.  Westbound: Two left-turn lanes. One shared through and right-turn lane plus three through lanes (may need to be temporarily blocked until Cantu-Galleano Ranch Road extension west of Hamner Avenue is constructed by the City of Ontario).</p> <p>This condition is consistent with and satisfies mitigation measure MM Trans 9. The City Director of Public Works reserves the right to require reasonable and warranted alternative configurations of the geometrics as long as the above minimum traffic flow is maintained.</p>	Prior to issuance of certificate of occupancy	Public Works Department	
70.	<p>Prior to issuance of the first certificate of occupancy for the development, the implementing developer shall modify the signalized intersection of Hamner Avenue (NS) and Bellegrave Avenue (EW) to include the following geometrics:</p> <p>Northbound: One left-turn lane. Two through lanes plus one shared through and right-turn lane.  Southbound: One left-turn lane. One through lane plus one shared through and right-turn lane.  Eastbound: One left-turn lane. Two through lanes plus one right-turn lane.  Westbound: Two left-turn lanes. One through lane plus one right-turn lane.</p>	Prior to issuance of certificate of occupancy	Public Works Department	

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	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	This condition is consistent with and satisfies mitigation measure MM Trans 13. The City Director of Public Works reserves the right to require reasonable and warranted alternative configurations of the geometrics as long as the above minimum traffic flow is maintained.			
71.	<p>Prior to issuance of the first certificate of occupancy for the development, the implementing developer shall contribute its fair share of improvements and modify the signalized intersection of Milliken Avenue (NS) and Riverside Drive (EW) to include the following geometrics:</p> <p>Northbound: One left-turn lane. One through lane. One shared through and right-turn lane.</p> <p>Southbound: One left-turn lane. One through lane. One shared through and right-turn lane.</p> <p>Eastbound: One left-turn lane. One through lane. One right-turn lane with overlapping signal.</p> <p>Westbound: One left-turn lane. One through lane. One right-turn lane.</p> <p>This condition is consistent with and satisfies mitigation measure MM Trans 16. The City Director of Public Works reserves the right to require reasonable and warranted alternative configurations of the geometrics as long as the above minimum traffic flow is maintained.</p>	Prior to issuance of certificate of occupancy	Public Works Department	
72.	Prior to certificate of occupancy for Building A, the loading area of Building A located on the east side of Street A shall be fully screened from view from Parcels 5 through 10 including the NAP commercial retail area located on the west side of Street A.	Prior to certificate of occupancy for Building A	Planning and Public Works Departments	
73.	Signs shall be placed at all driveways on Street B indicating that through truck access to Bellegrave Avenue is not permitted.	Prior to certificate of occupancy	Public Works Department	
74.	Prior to occupancy of any building, the applicant, developer or successor in interest shall provide evidence to the City of Eastvale of the purchase of offset credits capable of offsetting a minimum of 10,653 metric tons.	Prior to any certificate of occupancy	Planning Department	



	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
<b>During Operations</b>				
75.	Signage will be posted prohibiting all on-site truck idling in excess of 3 minutes. (MM Air 7)	During operations	Planning and Building Departments	
76.	Where transport refrigeration units (TRU) are in use, electrical hookups will be installed at all loading docks in order to allow TRUs with electric standby capabilities to use them. Trucks incapable of utilizing the electrical hookups shall be prohibited from accessing the site as set forth in the lease agreement. Idling in excess of 5 minutes will be prohibited, subject to on-site verification. Quarterly inspection reports shall be available on-site at all times. (MM Air 8)	During operations	Planning and Building Departments	
77.	Service equipment (i.e., forklifts) used within the site shall be electric or compressed natural gas-powered. (MM Air 9)	During operations	Planning and Building Departments	
78.	In order to promote alternative fuels, and help support “clean” truck fleets, the developer/successor-in-interest shall provide building occupants with information related to SCAQMD’s Carl Moyer Program, or other such programs that promote truck retrofits or “clean” vehicles and information including, but not limited to, the health effect of diesel particulates, benefits of reduced idling time, ARB regulations, and the importance of not parking in residential areas. If trucks older than 2007 model year will be used at a facility, the developer/successor-in-interest shall require, within one year of signing a lease, future tenants to apply in good faith for funding for diesel truck replacement/retrofit through grant programs such as the Carl Moyer, Prop 1B, VIP, HVIP, and SOON funding programs, as identified on SCAQMD’s website ( <a href="http://www.aqmd.gov">http://www.aqmd.gov</a> ). Tenants will be required to use those funds, if awarded. (MM Air 10)	During operations	Planning and Building Departments	

## Appendix D: Conditions of Approval

### Fire Department Conditions of Approval

Re: Project 11-0271 (Goodman Commerce Center)

1. This letter is in regard to the fire protection conditions concerning the above-referenced case. The Fire Department requires the listed fire protection measures be provided in accordance with the City of Eastvale Municipal Code and the Riverside County Fire Department Fire Protection Standards. Final conditions will be addressed when complete building plans are reviewed.
2. Provide or show there exists a water system capable of delivering a fire flow of 8,000 gallons per minute for a 4-hour duration at 20 psi residual operating pressure, which must be available before any combustible material is placed on the construction site.
3. Approved accessible on-site fire hydrants shall be located not to exceed 200 feet apart in any direction. Any portion of the facility or of an exterior wall of the first story of the building shall not be located more than 150 feet from fire apparatus as measured by an approved route around the complex or exterior of the facility or building. No portion of a building shall be farther than 400 feet from a fire hydrant. Fire hydrants shall provide the required fire flow.
4. Prior to building plan approval and construction, the applicant/developer shall furnish two copies of the water system fire hydrant plans to the Fire Department for review and approval. Plans shall be signed by a registered civil engineer and shall confirm hydrant type, location, spacing, and minimum fire flow. Once plans are signed and approved by the local water authority, the originals shall be presented to the Fire Department for review and approval.
5. Prior to issuance of building permits, the water system for fire protection must be provided as approved by the Fire Department and the local water authority.
6. Provide “blue dot” retro-reflectors pavement markers on private and public streets and driveways to indicate the location of the fire hydrants.
7. Fire apparatus access road shall be in compliance with Riverside County Fire Department Standard Number 06-05. Access roads shall have an unobstructed vertical clearance not less than 13 feet 6 inches. Access lanes will be designed to withstand the weight of 60,000 pounds over two axles. Access will have a turning radius capable of accommodating fire apparatus. Access lane shall be constructed with a surface so as to provide all-weather driving capabilities.
8. Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with approved provision for the turnaround capabilities of fire apparatus.
9. Driveway loops, fire apparatus access lanes, and entrance curb radius should be designed to adequately allow access of emergency fire vehicles. The applicant or developer shall include in the building plans the required fire lanes and include the appropriate lane printing and/or signs.
10. An approved Fire Department access key lock box (minimum Knox Box 3200 series model) shall be installed next to the approved Fire Department access door to the building. If the buildings are protected with an alarm system, the lock box shall be required to have tamper monitoring. Required order forms and installation standards may be obtained at the Fire Department.

## Fire Department Conditions of Approval

11. Install a complete commercial fire sprinkler system (per NFPA 13 2013 Edition). Fire sprinkler system(s) with pipe sizes in excess of 4 inches in diameter will require the project Structural Engineer to certify with a “wet signature” that the structural system is designed to support the seismic and gravity loads to support the additional weight of the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The PIV and FCD shall be located to the front, within 25 to 50 feet of a hydrant, and a minimum of 25 feet from the building(s). Sprinkler riser rooms must have indicating exterior and/or interior door signs. A C-16 licensed contractor must submit plans, along with current permit fees, to the City of Eastvale for review and approval prior to installation.
12. Install an alarm monitoring or fire alarm system. A C-10 licensed contractor must submit plans along with the current permit fees to the City of Eastvale for review and approval prior to installation.
13. Install a portable fire extinguisher, with a minimum rating of 2A-10BC, for every 3,000 square feet and/or 75 feet of travel distance. Fire extinguishers shall be mounted 3.5 to 5 feet above the finished floor, measured to the top of the extinguisher. Where not readily visible, signs shall be posted above all extinguishers to indicate their locations. Extinguishers must have current CSFM service tags affixed.
14. No hazardous materials shall be stored and/or used within the building which exceeds quantities listed in 2013 California Building Code. No class I, II, or IIIA of combustible/flammable liquid shall be used in any amount in the building.
15. Exit designs, exit signs, door hardware, exit markers, exit doors, and exit path marking shall be installed per the 2013 California Building Code.
16. Electrical room doors, FAC, fire riser, and roof access if applicable shall be labeled as per use.
17. Access shall be provided to all mechanical equipment located on the roof as per 2013 California Mechanical Code.
18. Air handling systems supplying air in excess of 2,000 cubic feet per minute to enclosed spaces within buildings shall be equipped with an automatic shutoff as per the 2013 California Mechanical Code.
19. Gate(s) shall be automatic or manually operated. Install Knox key-operated switches, mounted per recommended standard of the Knox Company. Building plans shall include mounting location/position and operating standards for Fire Department approval.
20. A survey and report by a Licensed Fire Protection Engineer may be required prior to building permit issuance.

***\*The proposed project may have a cumulative adverse impact on the Fire Department’s ability to provide an acceptable level of service. These impacts include an increase in the number of emergency and public service calls due to the increased presence of structures, traffic, and population. The project proponents/developers will be expected to provide for a proportional mitigation to these impacts via capital improvements and/or impact fees.***

## Appendix D: Conditions of Approval

### General Information

The following items are noted for the applicant's information. These items are generally required for all projects by City ordinances, other local agencies, and state or federal agencies. PLEASE NOTE: This list is not comprehensive. The project is subject to all applicable standards, fees, policies, rules, and regulations for Eastvale and many other agencies, including but not limited to the Jurupa Community Services District, Jurupa Area Recreation and Parks District, Riverside County Flood Control District, and state and federal agencies.

Developer and applicant are used interchangeably below.

- In compliance with Section 15075 of the CEQA Guidelines, a Notice of Determination (NOD) must be filed with the Riverside County Clerk within five (5) County working days of certification of the EIR in order for the NOD to commence the 30-day statute of limitations on the EIR. The City must include the required California Department of Fish and Wildlife (Code Section 711.4.d.3) fee and the Riverside County Clerk administrative fee. The applicant shall submit to the Planning Department a check or money order made payable to "Riverside County Clerk" in the amount of \$3,079.75 within two (2) City working days after EIR certification.

Failure to pay the required fees will result in the project being deemed null and void (California Fish and Game Code Section 711.4(c)). The fee is broken down as follows:

- a. California Department of Fish and Wildlife fee of \$3,029.75.
  - b. Riverside County Clerk administrative fee of \$50.00.
- Development Plan approval is not in effect until Specific Plan/Zoning approval takes effect.
  - The applicant shall design and construct all improvements in accordance with City of Eastvale Road Improvement Standards & Specifications, Improvement Plan Check Policies and Guidelines, as further conditioned herein and to the satisfaction of the City Engineer.
  - Prior to the issuance of certificate of occupancy, the development shall be annexed into all applicable Community Service Areas and Landscaping Maintenance Districts for lighting, drainage, and maintenance to the satisfaction of the City Engineer or otherwise form a district where one is not currently in place.
  - The applicant shall comply with all provisions and procedures of the Eastvale Building Department related to the plan check review process. (Please contact the Building Department at 951-703-4450.)
  - Transportation Uniform Mitigation Fees and any development impact fees that are in effect at that time shall be paid prior to the issuance of certificate of occupancy, or as otherwise allowed per ordinance.
  - The applicant should coordinate the traffic signal installation at the intersection of Hamner Avenue and Eucalyptus Avenue with the City on Ontario. All underground conduits needed for such installation shall be installed along with Hamner Avenue improvements.

## General Information

- No obstruction shall be placed on any existing easement. An approval document from easement holders shall be required for any easement encroachment.
- Written permission shall be obtained from the affected property owners allowing the proposed grading and/or facilities to be installed outside of the project boundaries.
- Project runoff shall be directed to a safe point of discharge. Any additional easement that may be necessary to accomplish such shall be obtained prior to issuance of grading permit. The applicant shall submit a Final Water Quality Management Plan (WQMP) in conformance with the requirements of the Santa Ana Regional Water Quality Control Board. All stormwater quality treatment devices shall be located outside of the ultimate public right-of-way. The applicant shall design the stormwater quality treatment devices to accommodate all project runoff, ensuring post-construction flow rate, volumes, velocity, and duration do not exceed pre-construction levels, in accordance with City of Eastvale's Hydrology Manual, Stormwater Quality Best Management Practice Design Handbook, Improvement Standards, and to the satisfaction of the City Engineer. These best management practices shall be consistent with the Final WQMP and installed to the satisfaction of the City Engineer.
- All connection to flood control facilities shall be reviewed by the Riverside County Flood Control District and shall be submitted through the City of Eastvale, unless otherwise directed by the City Engineer.
- Prior to the issuance of certificate of occupancy, the applicant shall pay the appropriate storm drain impact mitigation fee to the Riverside County Flood Control and Water Conservation District.
- The applicant shall prepare and submit to the City for review and approval all required development plans including but not limited to Grading (Rough and/or Precise), Street Improvement, Street Light, Storm Drain, and Traffic Signal. All applicable processing and review fees and/or deposits shall be submitted with the first plan submittal.
- No grading shall be performed without prior issuance of a grading permit by the City.
- All grading shall conform to the California Building Code and to all other relevant laws, rules, and regulations governing grading in the City of Eastvale. Prior to commencing any grading which includes 50 or more cubic yards, the developer shall obtain a grading permit from the Public Works/Engineering Department.
- All necessary measures to control dust shall be implemented by the applicant during grading to the satisfaction of the City Engineer.
- Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved by the City Engineer.
- Grading in excess of 199 cubic yards will require performance security to be posted with the City.

## Appendix D: Conditions of Approval

### General Information

- Erosion control-landscape plans, required for manufactured slopes greater than 3 feet in vertical height, are to be signed by a registered landscape architect and bonded. Planting shall occur within 30 days of meeting final grades to minimize erosion and to ensure slope coverage prior to the rainy season. The developer shall plant and irrigate all manufactured slopes steeper than a 4:1 (horizontal to vertical) ratio and 3 feet or greater in vertical height with grass or ground cover; slopes 15 feet or greater in vertical height shall be planted with additional shrubs or trees or as approved by the City Engineer.
- The applicant's contractor is required to submit for a haul route permit for the hauling of material to and from the project site. Said permit will include limitations of haul hours, number of loads per day, and the posting of traffic control personnel at all approved entrances/exits onto public roads. This permit shall be in place prior to the issuance of the grading permit and the mobilization of equipment on the project site.

Figure 5.11 of the EIR



Figure 5.11-1 Noise Receivers  
Goodman Commerce Center at Eastvale

## Appendix D: Conditions of Approval

Table 5.11-M of the EIR

Table 5.11-M, Distance and STC Ratings for Temporary Noise Barriers

Receiver Location <sup>1</sup>	Construction Noise for Phase 1a/1b <sup>2</sup> Leq (in dBA)	Existing Modeled Noise Levels <sup>3</sup> Leq (in dBA)	Desired Noise Levels <sup>4</sup> Leq (in dBA)	Distance in which Construction Requires a Temporary Barrier (feet) <sup>5</sup>	Required STC Rating for the Barrier (rounded to the nearest whole dBA) <sup>6</sup>
R5	72.5	56	60	1,150	13
R6	62.5	55	59	900	4
R9	81.9	56	60	550	22
R10	81.9	54	58	650	24
R11	81.9	64	68	250	14

<sup>1</sup> Receiver location as shown on Figure 5.11-1

<sup>2</sup> Leq from Table 5.11-K

<sup>3</sup> Leq from Table 5.11-C

<sup>4</sup> Existing Modeled Noise Levels plus 4 dBA.

<sup>5</sup> Construction within a radius of these distances from the receivers will require a temporary noise barrier. Any construction outside of this radius may occur without a barrier.

<sup>6</sup> The STC rating is the difference between the Desired Existing Levels and the Construction Noise for Phase 1a/1b.



**CONDITIONS OF APPROVAL**

**Planning Application Number and Description: Project No. 11-0271** – TPM No. 36487 for the subdivision of approximately 193 acres into 10 parcels and four lettered lots.

**Assessor's Parcel Number:** 160-020-005 and -006; 160-020-023 and -025; 160-020-029 through -032

**City Council Approval Date: November 12, 2014**

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
<b>General Conditions/ Requirements</b>				
79.	<p>The applicant shall review and sign below verifying the “Acceptance of the Conditions of Approval” and return the signed page to the Eastvale Planning Department. Project approval is not final until a signed copy of these conditions is filed with the City.</p> <p>_____</p> <p>Applicant Signature    Date</p>		Planning Department	
80.	<p>The applicant shall indemnify, protect, defend, and hold harmless the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including but not limited to arbitrations, mediations, and other such procedures) (collectively “Actions”), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the</p>	Ongoing	Planning Department	

## Appendix D: Conditions of Approval

	Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
	Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.			
81.	The project shall be developed in accordance with the Specific Plan, Tentative Parcel Map, and Major Development Review applications approved by the City Council on <u>November 12, 2014</u> , including the approved site plan, architectural elevations, conceptual landscape plan, etc., unless otherwise conditioned herein. The applicant may request modifications or revisions to the approved project as outlined in the Specific Plan and Eastvale Zoning Code.	Ongoing	Planning Department	
82.	Any approval shall not be final until and unless the applicant's deposit account is (1) paid in full to cover all expenditures up to and including the final public hearing and (2) an additional deposit of <b>\$10,000</b> is made as an initial payment to cover staff time for follow-up, monitoring, and other post-approval work by staff. The City reserves the right to request additional deposits to cover post-approval staff work and to halt work if the deposit account is exhausted. Make check payable to the <b>City of Eastvale</b> and include <b>Project No. 11-0271</b> on the check.	Ongoing	Planning Department	
<b>Prior to Map Recordation</b>				
83.	Prior to final map recordation, various blanket and specific transportation and/or water easements that are no longer in use are to be quit claimed/abandoned on the final map.	Prior to Map Recordation	Public Works Department	

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
84.	The developer shall annex the development into all applicable Community Service Areas and Landscaping Maintenance District for landscaping, lighting, drainage, and maintenance to the satisfaction of the City Engineer or otherwise form a district where one is not currently in place.	Prior to Map Recordation	Public Works Department	
85.	<p>Show on the final map dedication of the rights-of-way for, and design Hamner Avenue, Cantu-Galleano Ranch Road, Bellegrave Avenue, and Streets A and B, as listed below, in accordance with the City of Eastvale Road Improvement Standards &amp; Specification, Improvement Plan Check Policies and Guidelines, to the satisfaction of the City Engineer, and in coordination with adjacent agencies as applicable.</p> <ul style="list-style-type: none"> <li>a. Dedicate Cantu-Galleano Ranch Road 85 feet south of the centerline from Hamner Avenue to Interstate 15, except when additional width is required at street intersection(s) and/or freeway on-ramps which shall be as depicted in the traffic study, Specific Plan (SP), and Tentative Parcel Map (TPM).</li> <li>b. Dedicate Hamner Avenue 72 feet east of the centerline from Cantu-Galleano Ranch Road to Bellegrave Avenue, except when additional width is required at street and/or driveway intersection(s) which shall be as depicted in the traffic study, SP, and TPM.</li> <li>c. Dedicate Bellegrave Avenue to provide a full right-of-way width of 116 feet from Hamner Avenue to Interstate 15, except when additional width is required at street and/or driveway intersection(s) which shall be as depicted in the traffic study, SP, and TPM.</li> <li>d. Dedicate Street A 85 feet wide except when additional width is required per the traffic study, SP, or TPM.</li> <li>e. Dedicate Street B 70 feet wide, except when additional width is required at street and/or driveway intersection(s) which shall be as depicted in the traffic study, SP, or TPM.</li> <li>f. Dedicate necessary right-of-way for the installation of traffic signals as required by the traffic study, SP, or TPM.</li> </ul>	Prior to Map Recordation	Public Works Department	

## Appendix D: Conditions of Approval

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
86.	The developer shall guarantee by posting security(ies) for the construction of Hamner Avenue, Cantu-Galleano Ranch Road, Bellegrave Avenue, Streets A and B, and other public improvements, as required to the satisfaction of the City Engineer.	Prior to Map Recordation	Public Works Department	
87.	The developer shall guarantee by posting security(ies) for the construction of public facilities under the City of Eastvale and/or other service agencies' jurisdictions, including but not limited to storm drain facilities up to 36 inches in diameter and sewer, water, and flood control facilities to the satisfaction of each respective agency and the City Engineer.	Prior to Map Recordation	Public Works Department	
88.	The developer shall enter into a Subdivision Improvement Agreement with the City to include all public improvements the developer is conditioned to construct as part of this approval.	Prior to Map Recordation	Public Works Department	
89.	The developer shall enter into a Roadway Improvement Maintenance Agreement with the City to include all of Streets A and B.	Prior to Map Recordation	Public Works Department	
90.	The developer shall record appropriate easement(s) and agreement(s) for the construction and maintenance of water quality basin(s) to meet the Storm Water Permit/Water Quality Management Plan requirements.	Prior to Map Recordation	Public Works Department	
91.	The developer shall submit to the City for review and approval Covenants, Conditions and Restrictions (CC&Rs) and a Property Owners Association document to maintain and operate common areas and/or facilities including but not limited to water quality basins.	Prior to Map Recordation	Public Works Department	
92.	The developer shall provide to the City's and the Jurupa Area Recreational and Park District's (JARPD) satisfaction documentation for providing adequate funding for the cost of the construction and acquisition of public park improvements as required by the City and the JARPD and for the ongoing maintenance in perpetuity of parks, parkways, and open space areas, including street trees, trails, entry monumentation, landscaping, and appurtenances. This condition may be satisfied through the formation of or annexation to a community facilities district or other forms of financing acceptable to the City and the JARPD.	Prior to Map Recordation	Public Works Department	

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
93.	Prior to final map recordation, the developer shall provide \$89,600 to fund the City's process for identifying other residential site(s) to address the loss of General Plan Housing Element residential unit capacity.	Prior to Map Recordation	Planning Department	
94.	Show on the final map dedication of the full rights-of-way for Street A, including the bike and pedestrian sidewalk, along the entire west side of the street. The developer will make every reasonable effort to work with the property owner for the parcel that is not a part (NAP) of the development proposal to dedicate the full rights-of-way adjacent to the NAP.	Prior to Map Recordation	Planning and Public Works Department	

## Appendix D: Conditions of Approval

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